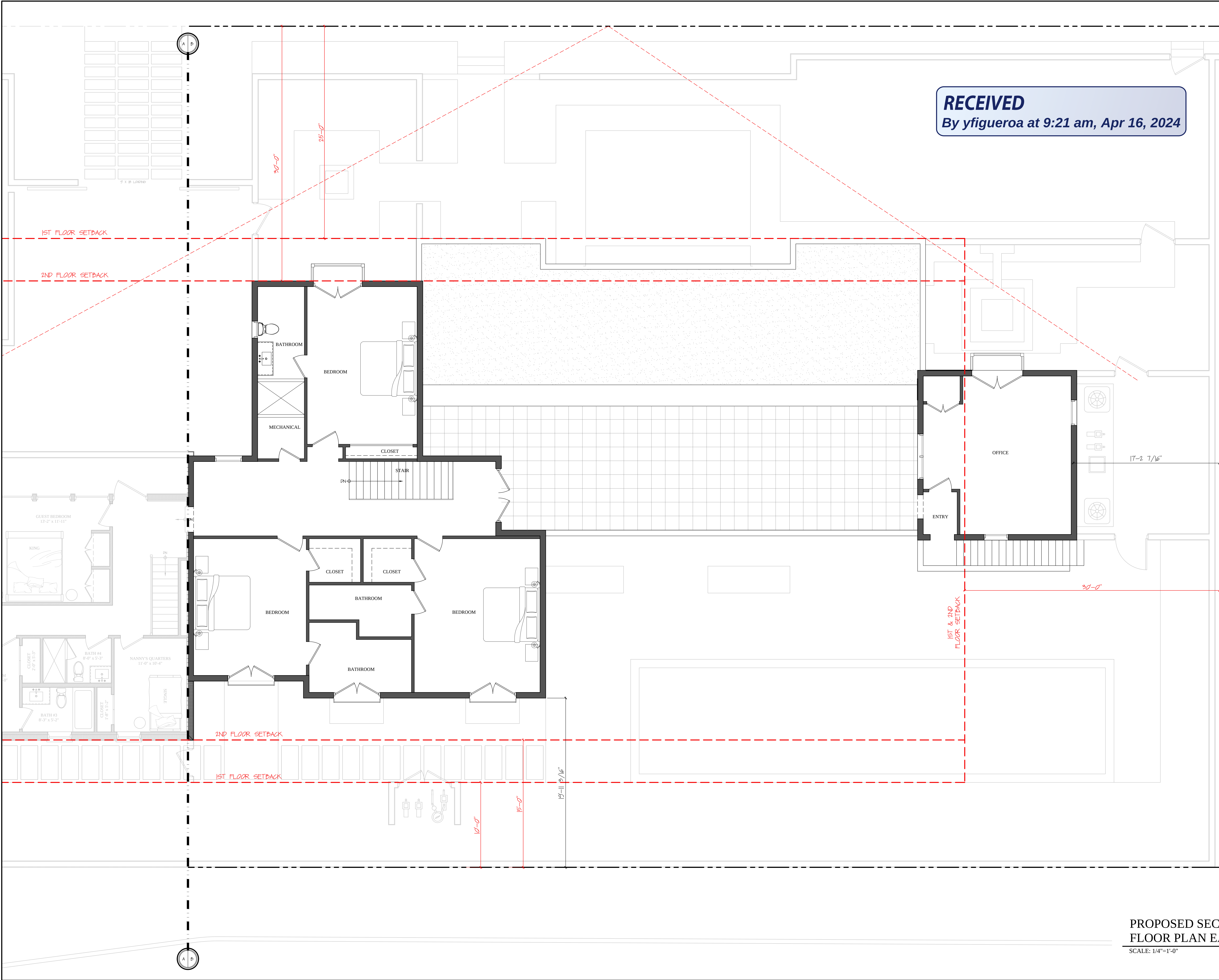




RECEIVED
By yfigueroa at 9:21 am, Apr 16, 2024

PROPOSED SECOND
FLOOR PLAN EAST
SCALE: 1/4"=1'-0"

S.M

NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA
SMITH AND MOORE ARCHITECTS, INC.
• 1500 SOUTH OLIVE AVENUE WEST PALM BEACH, FLORIDA 33401 • TEL (561) 855-1888 FAX (561) 852-7015 •

FLORIDA AAC

NO. 001285

HAROLD J. SMITH
REGISTERED ARCHITECT 8742

JONATHAN C. MOORE
REGISTERED ARCHITECT 13541

PETER G. PAPADOPOULOS
REGISTERED ARCHITECT 92952

DANIEL KAHAN
REGISTERED ARCHITECT 94757

PROGRAMSCHEDULE 2021-07-15
DESIGN PRES. 1 2021-08-02
DESIGN PRES. 2 2021-09-02
DESIGN PRES. 3 2021-09-15

NO:
DWG. BY: DK
SHEET:

FP-2B



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

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FLORIDA AAC

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JONATHAN C. MOORE
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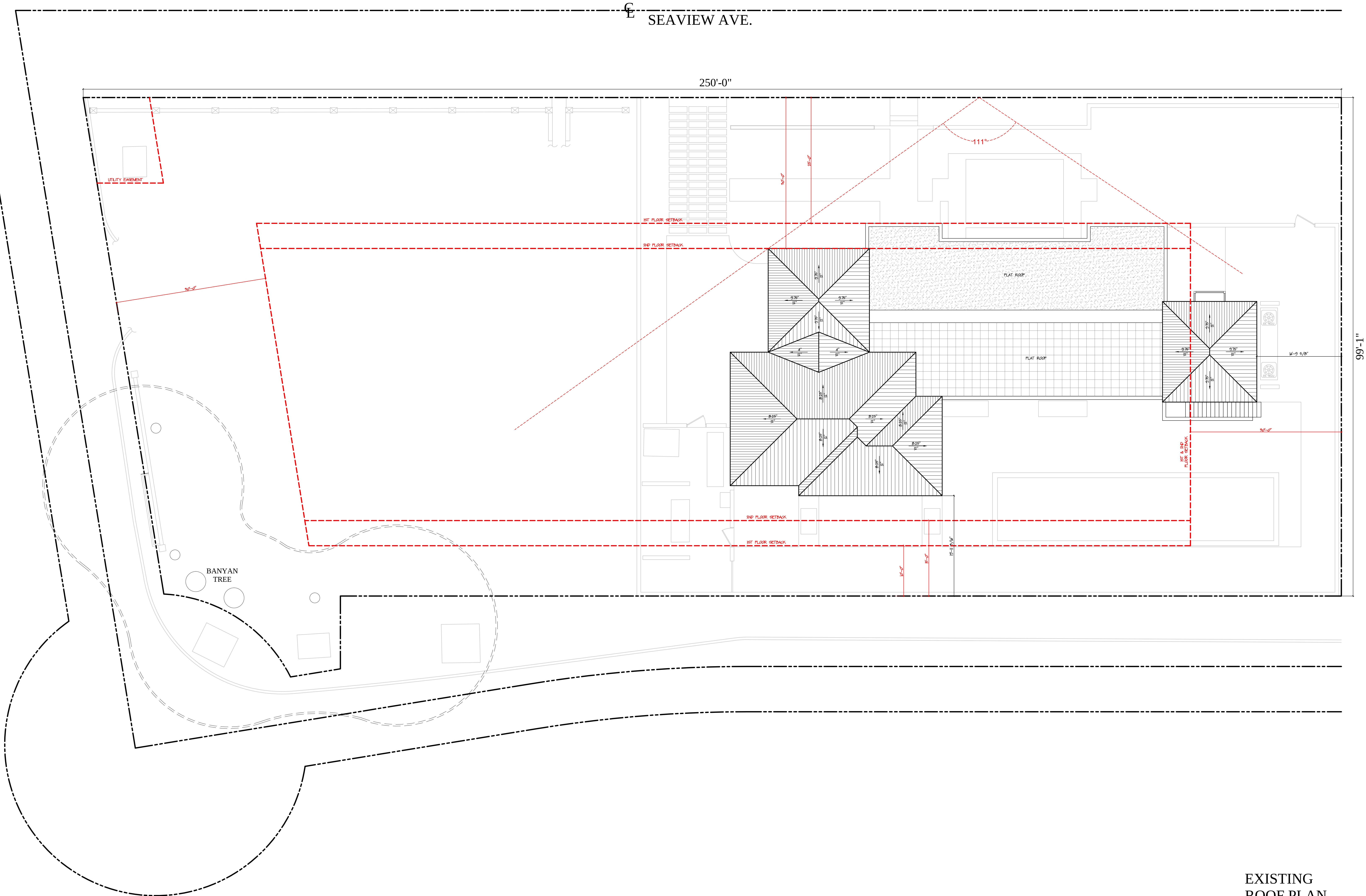
PETER G. PAPADOPOULOS
REGISTERED ARCHITECT 92952

DANIEL KAHAN
REGISTERED ARCHITECT 94757

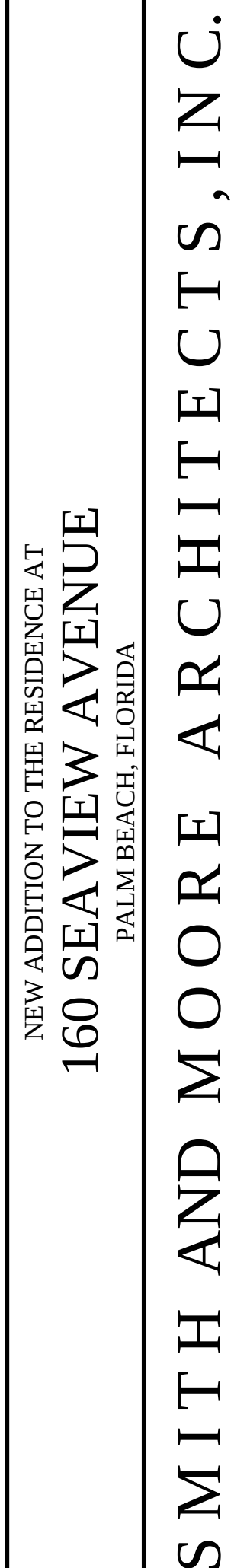
PROGRAM/SCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
DESIGN PRES. 2	2021-09-02
DESIGN PRES. 3	2021-09-15

NO:
DWG. BY: DK
SHEET:

FP-3E



EXISTING
ROOF PLAN
SCALE: 1/8"=1'-0"



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE

SMITH AND MOORE ARCHITECTS, INC.

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FLORIDA AAC

NO. 001285

HAROLD J. SMITH
REGISTERED ARCHITECT 87

JONATHAN C. MOORE
REGISTERED ARCHITECT 139

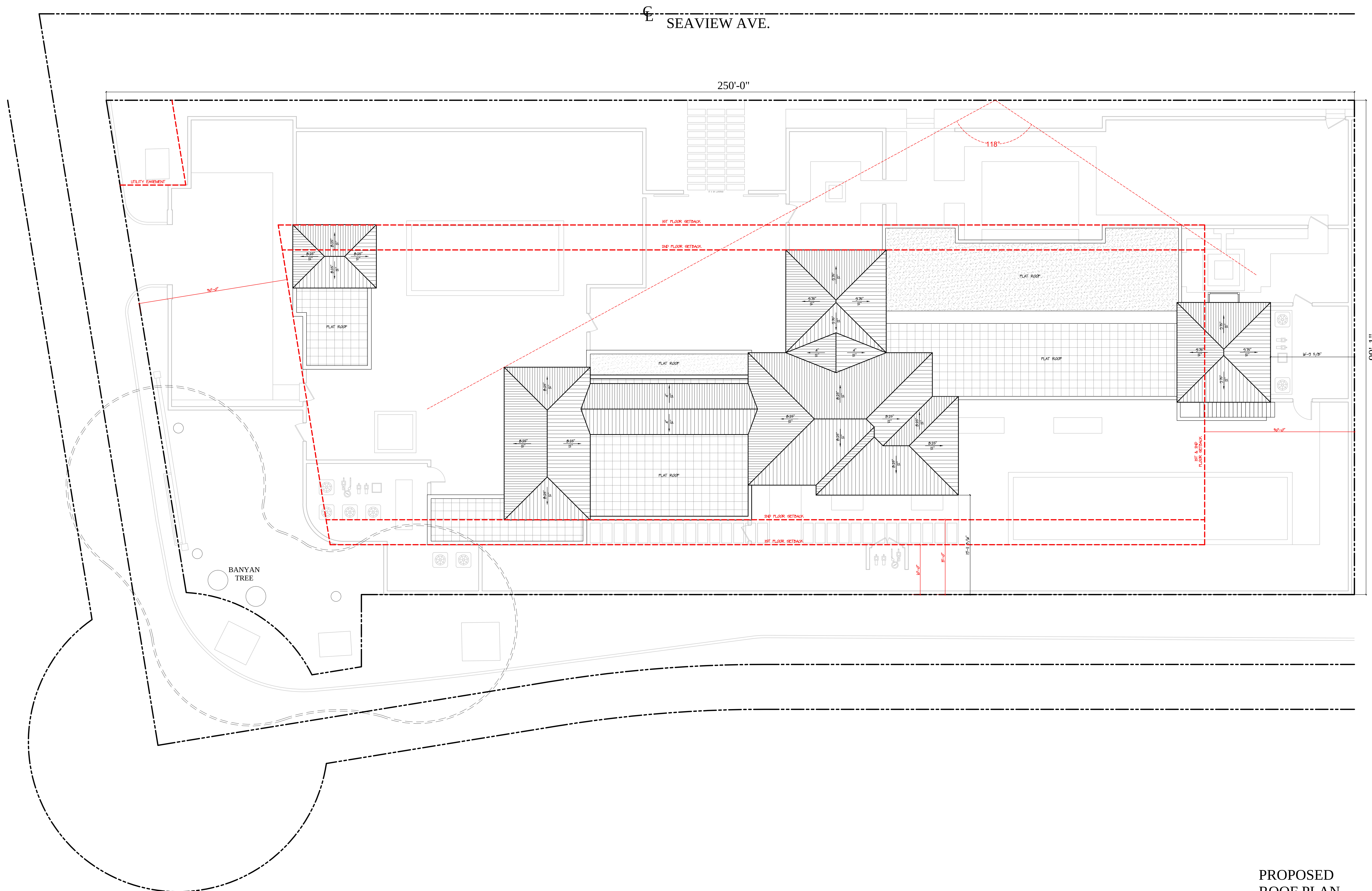
PETER G. PAPADOPOUL
REGISTERED ARCHITECT 929

DANIEL KAHAN
REGISTERED ARCHITECT 942

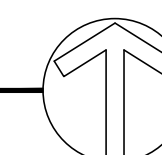
PROGRAM/SCHEDULE	2021-0
DESIGN PRES. 1	2021-0
DESIGN PRES. 2	2021-0
DESIGN PRES. 3	2021-0

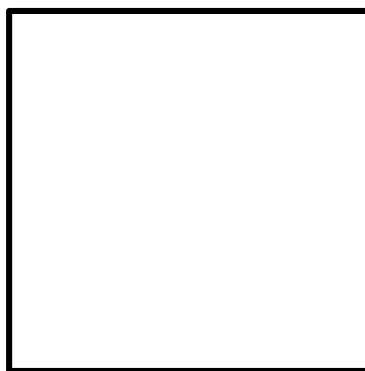
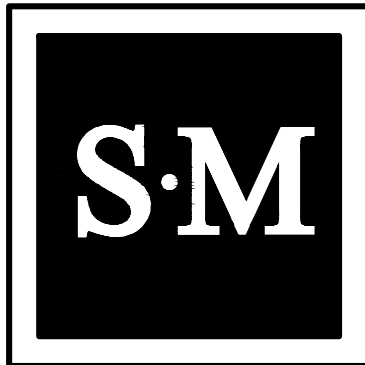
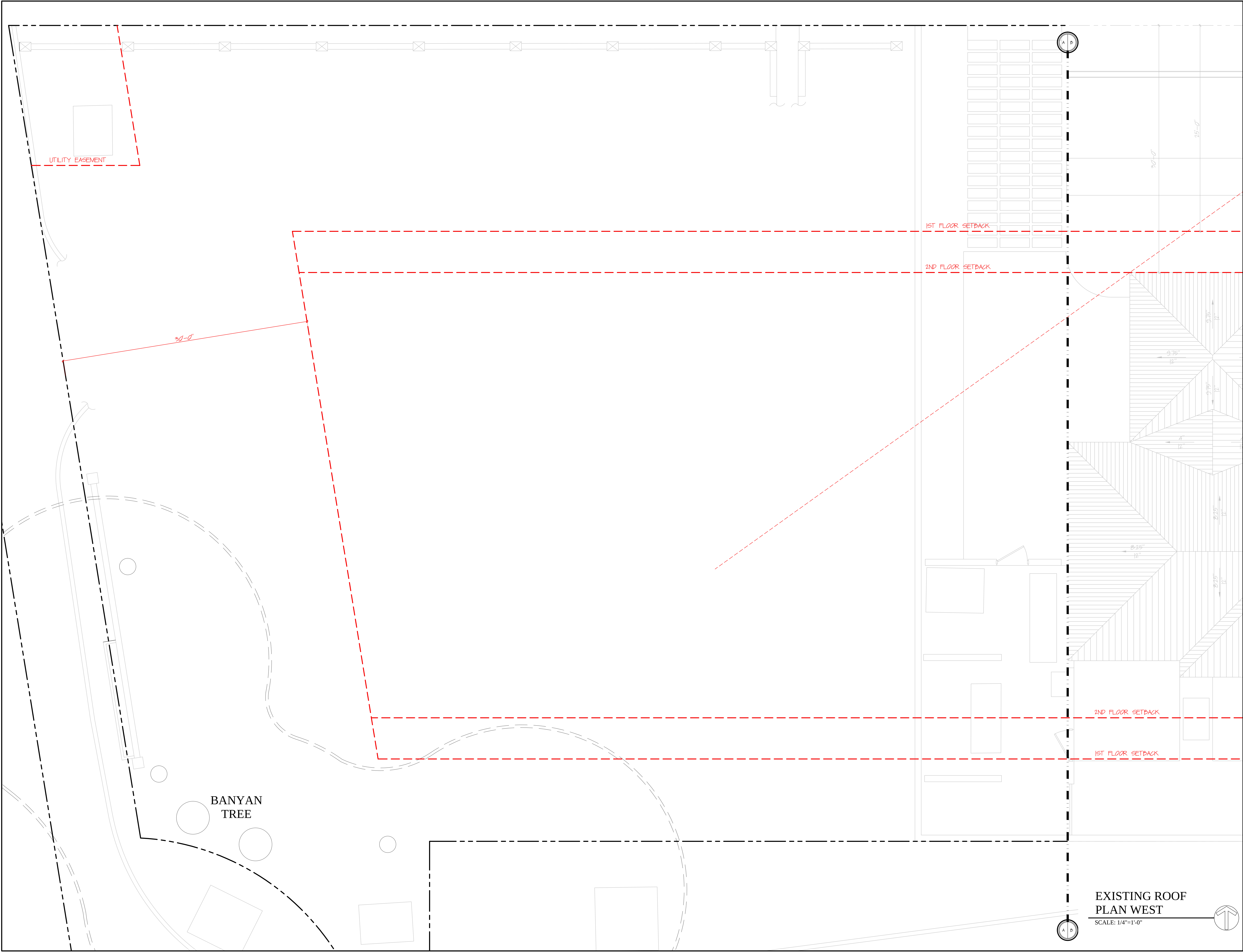
NO:
DWG. BY: DK
SHEET:

FP-3P



PROPOSED
ROOF PLAN
SCALE: 1/8"=1'-0"





NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

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FLORIDA AAC
NO. 001285

HAROLD J. SMITH
REGISTERED ARCHITECT 8742

JONATHAN C. MOORE
REGISTERED ARCHITECT 13541

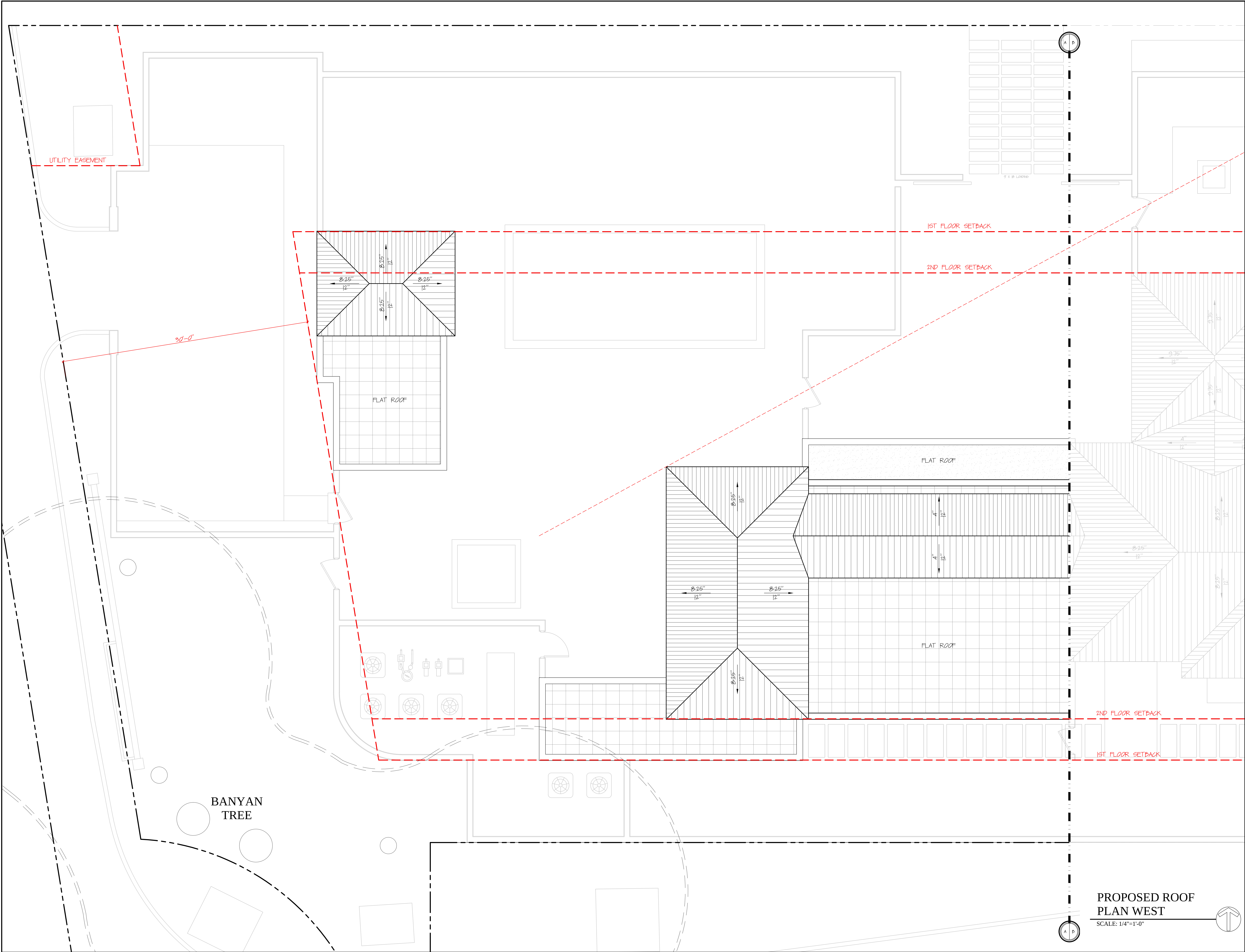
PETER G. PAPADOPOULOS
REGISTERED ARCHITECT 92952

DANIEL KAHAN
REGISTERED ARCHITECT 94757

PROGRAMSCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
DESIGN PRES. 2	2021-09-02
DESIGN PRES. 3	2021-09-15

NO:	
DWG. BY:	DK
SHEET:	

FP-3EA



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

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FLORIDA AAC
NO. 001285

HAROLD J. SMITH
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JONATHAN C. MOORE
REGISTERED ARCHITECT 13541

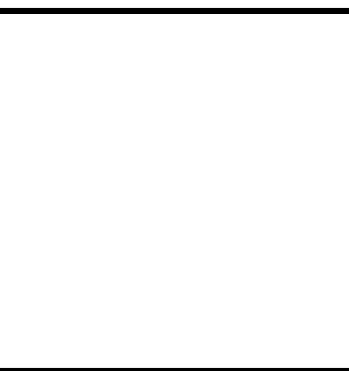
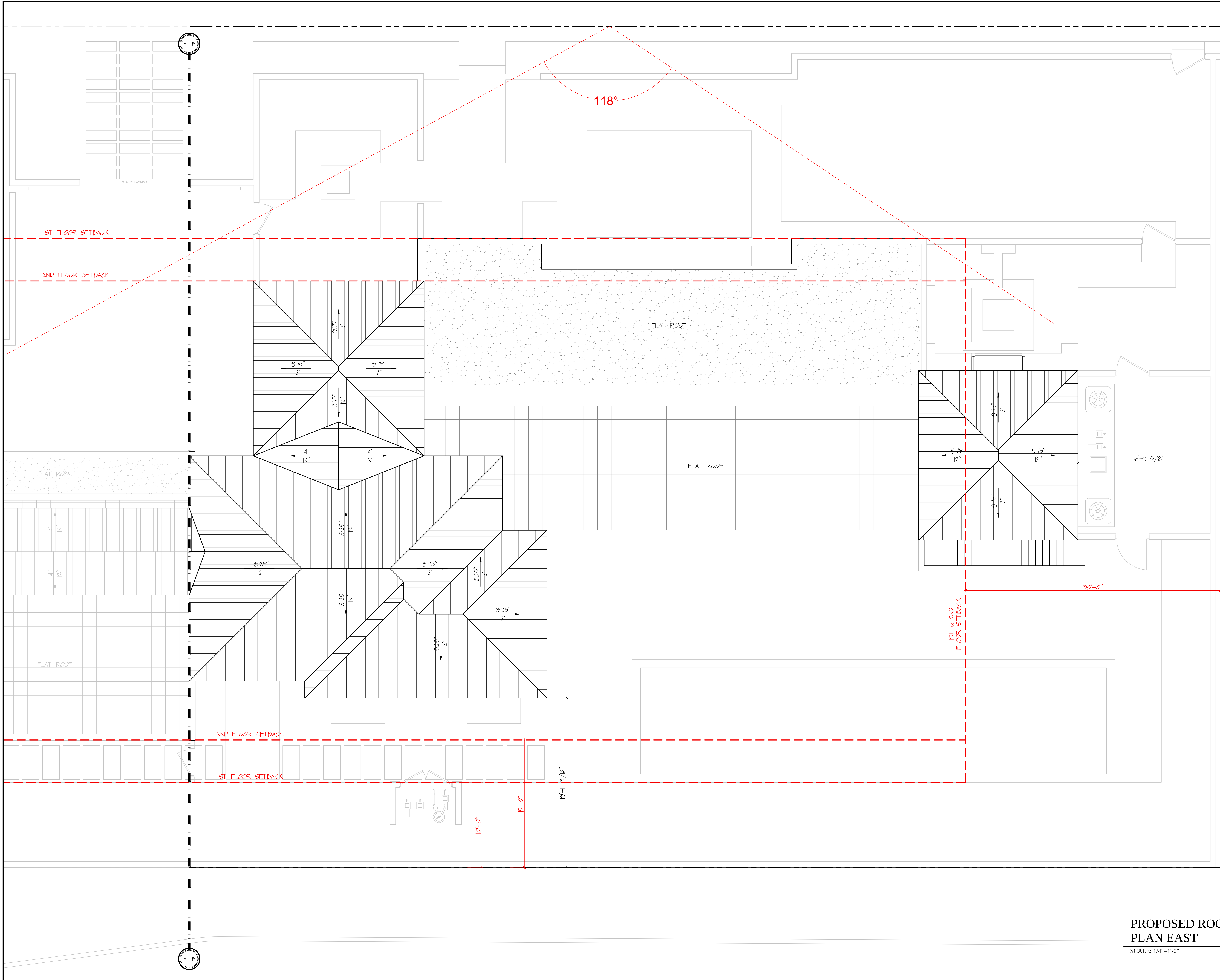
PETER G. PAPADOPOULOS
REGISTERED ARCHITECT 92952

DANIEL KAHAN
REGISTERED ARCHITECT 94757

PROGRAM/SCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
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DESIGN PRES. 3	2021-09-15

NO:	
DWG. BY:	DK
SHEET:	

FP-3A



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
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NO. 001285

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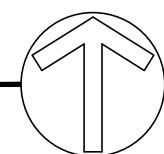
PETER G. PAPADOPOULOS
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REGISTERED ARCHITECT 94757

PROGRAMSCHEDULE 2021-07-15
DESIGN PRES. 1 2021-08-02
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DESIGN PRES. 3 2021-09-15

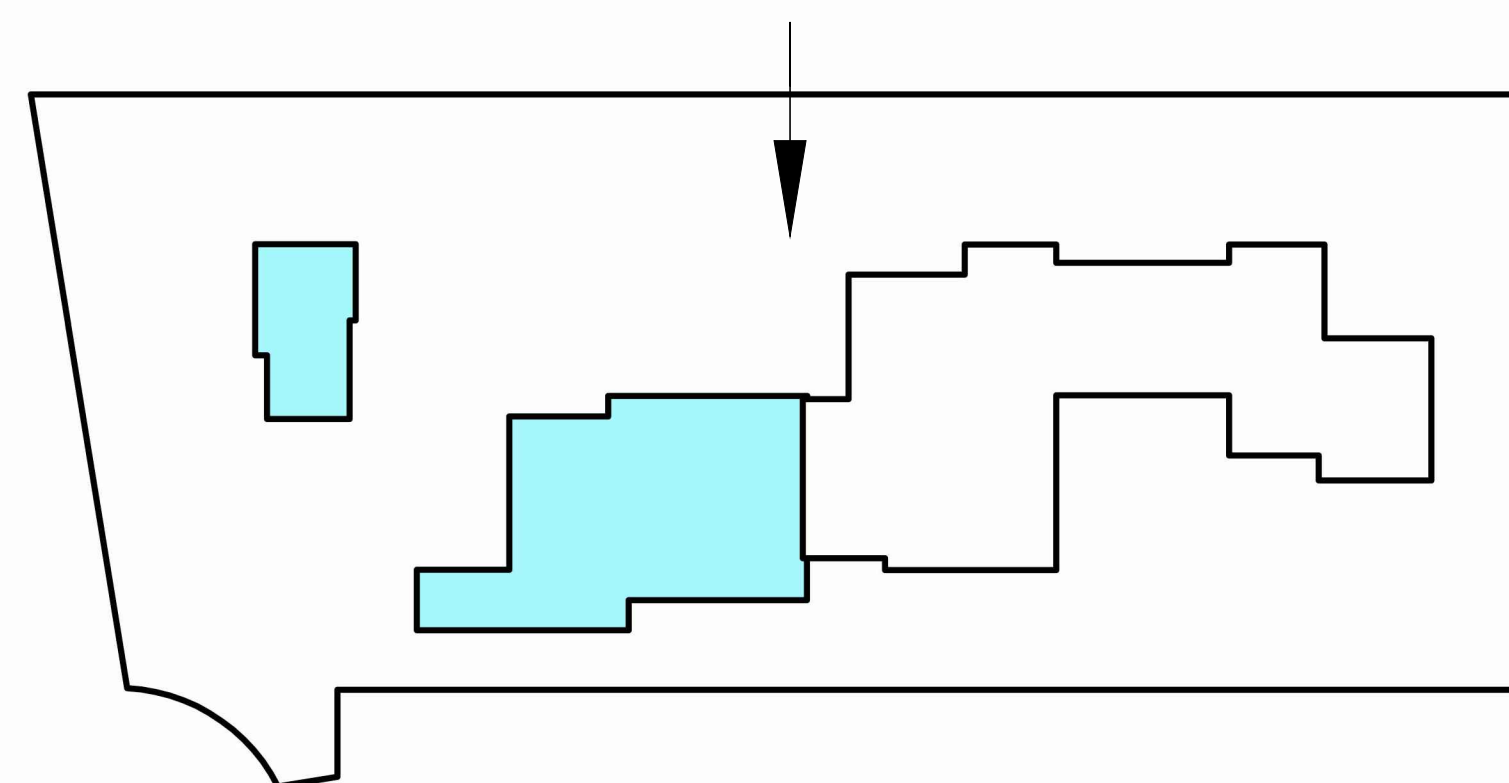
NO:
DWG. BY: DK
SHEET:
FP-3B

**PROPOSED ROOF
PLAN EAST**
SCALE: 1/4"=1'-0"



EXISTING
NORTH ELEVATION

SCALE: 3/16"=1'-0"



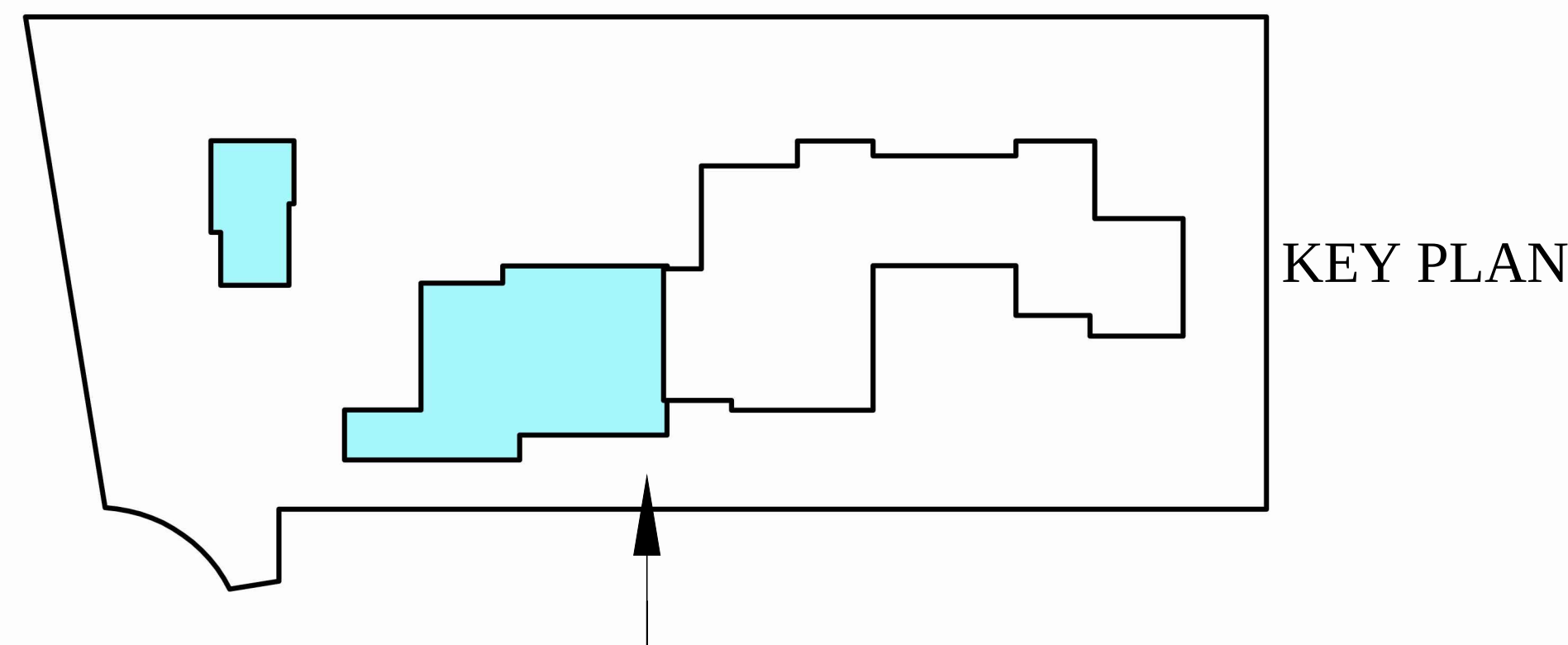
KEY PLAN

PROPOSED
NORTH ELEVATION

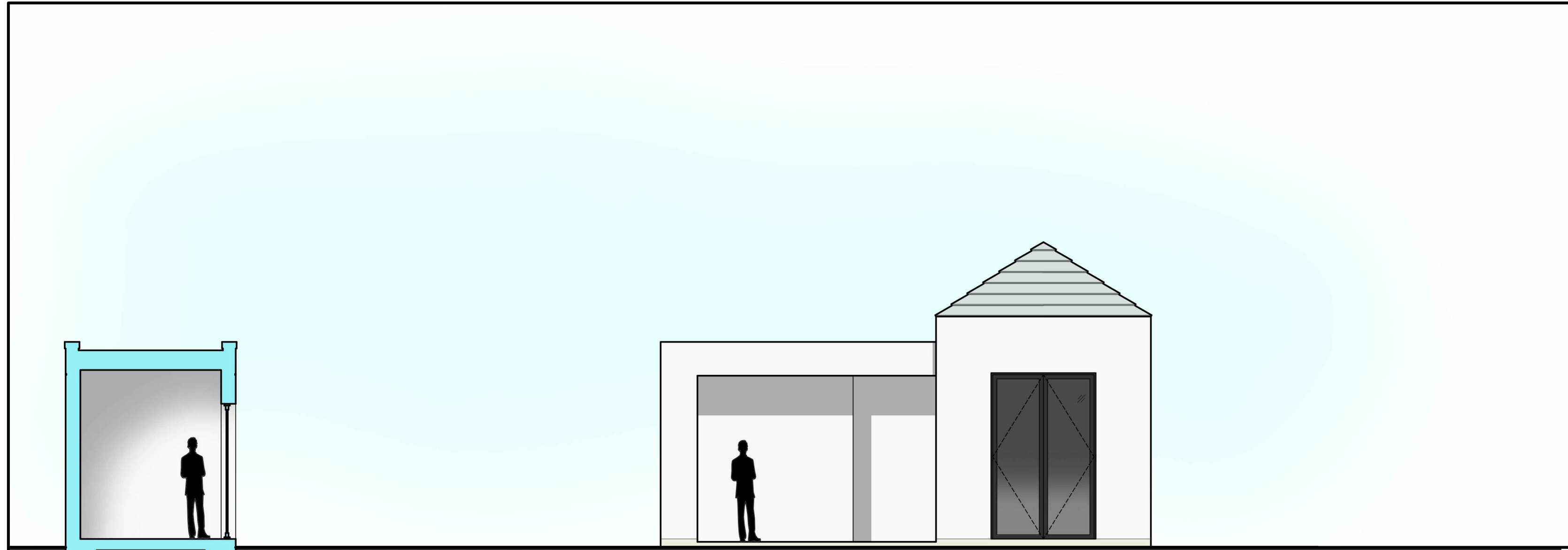
SCALE: 3/16"=1'-0"



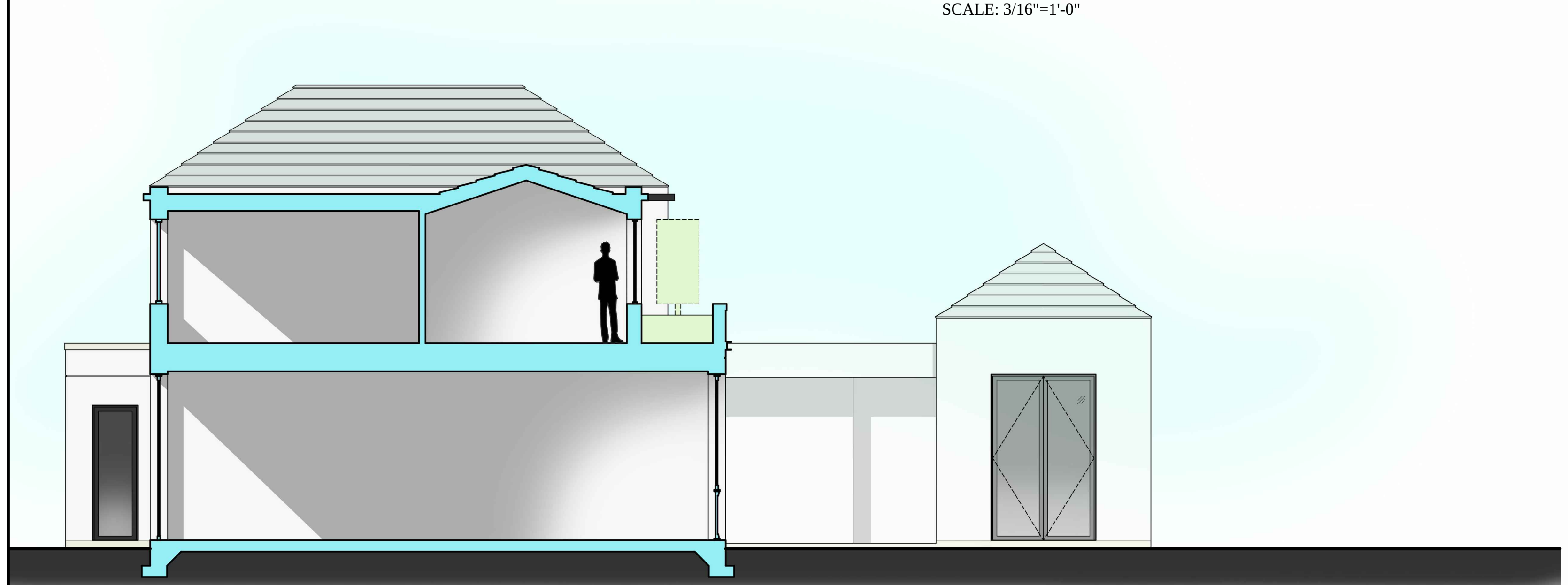
EXISTING
SOUTH ELEVATION
SCALE: 3/16"=1'-0"



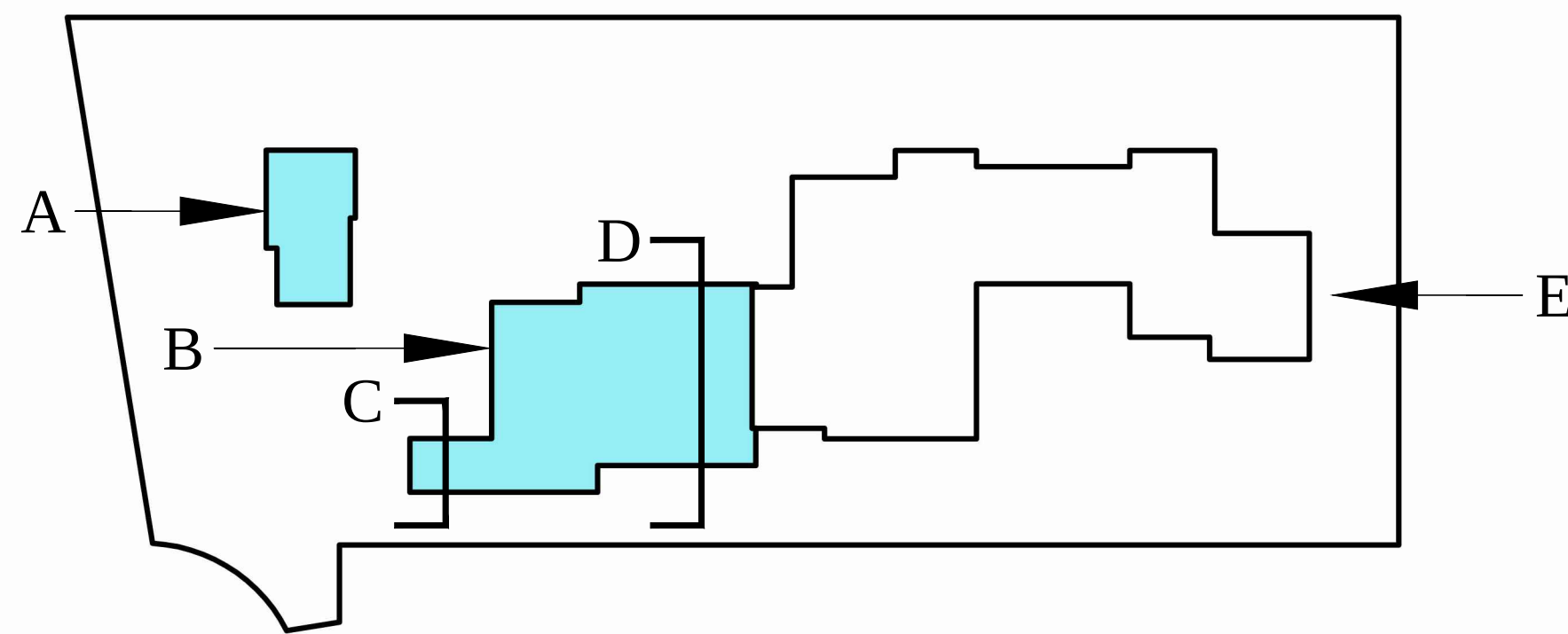
PROPOSED
SOUTH ELEVATION
SCALE: 3/16"=1'-0"



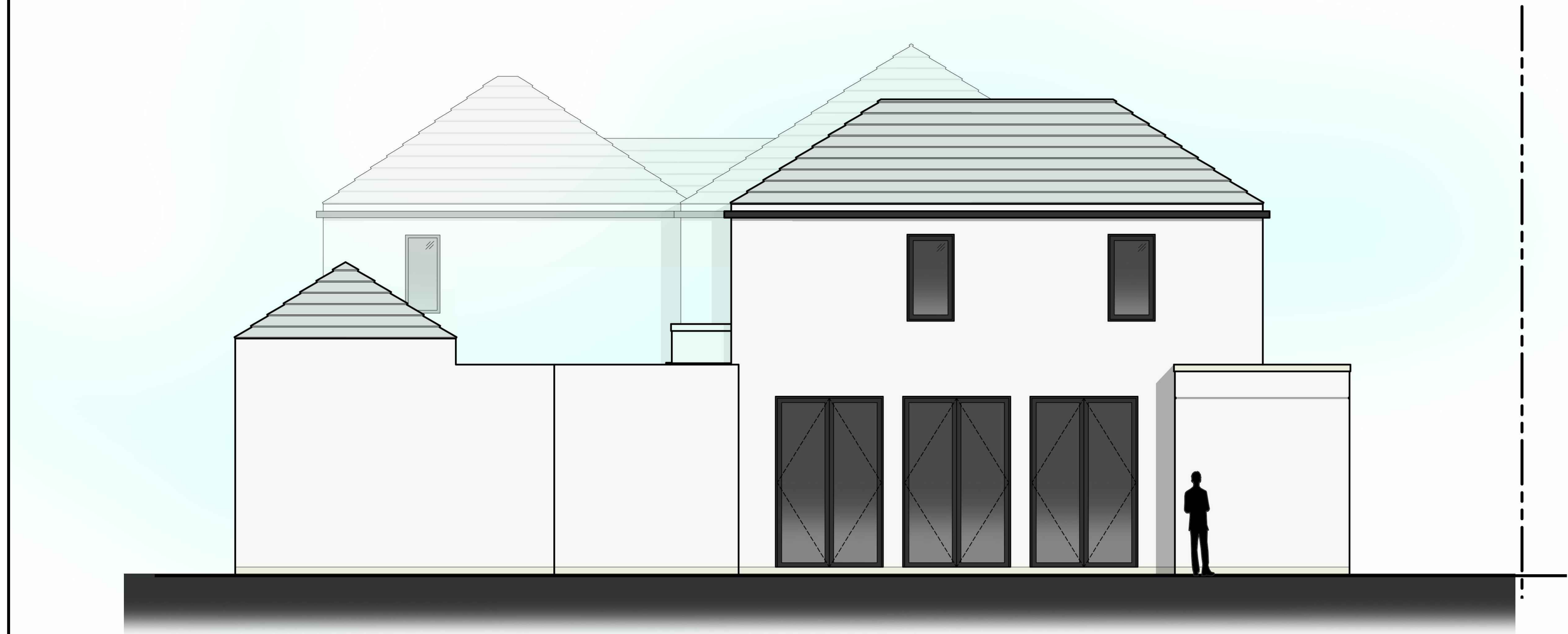
PROPOSED GUEST WING SECTION C
SCALE: 3/16"=1'-0"



PROPOSED GUEST WING SECTION D
SCALE: 3/16"=1'-0"



KEY PLAN



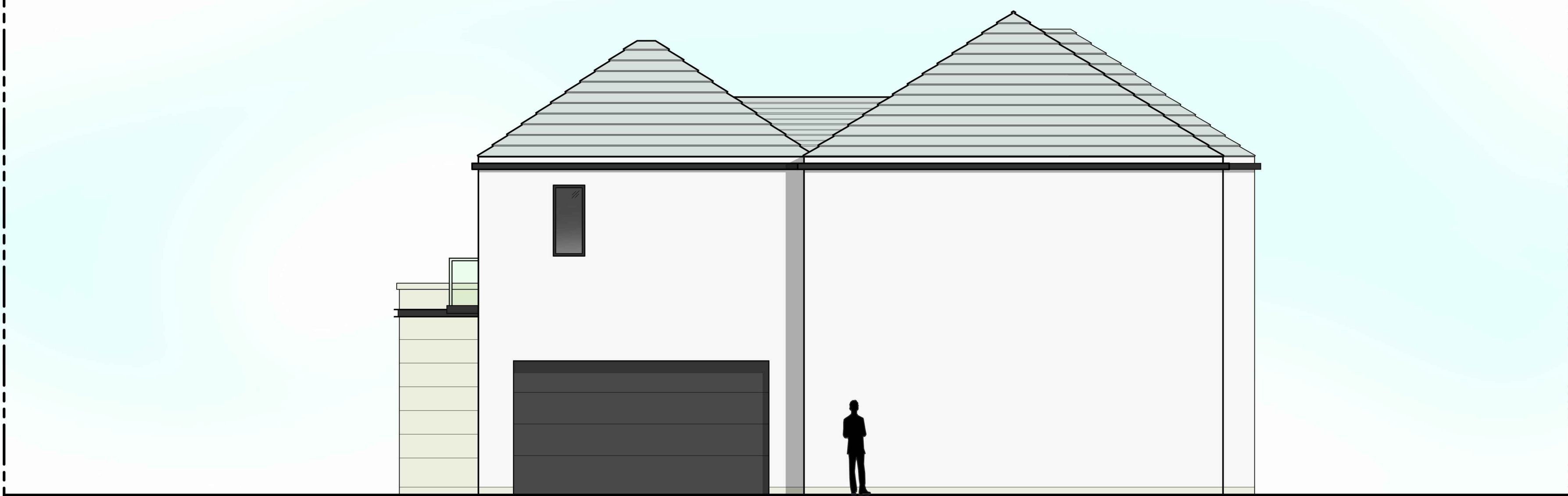
PROPOSED WEST ELEVATION A
SCALE: 3/16"=1'-0"



EXISTING EAST ELEVATION E
SCALE: 3/16"=1'-0"



PROPOSED EAST ELEVATION E
SCALE: 3/16"=1'-0"



EXISTING WEST ELEVATION B
SCALE: 3/16"=1'-0"



PROPOSED WEST ELEVATION B
SCALE: 3/16"=1'-0"

S·M

NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
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FLORIDA AAC

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PROGRAMSCHEDULE 2021-07-15
DESIGN PRES. 1 2021-08-02
DESIGN PRES. 2 2021-08-02
DESIGN PRES. 3 2021-08-15

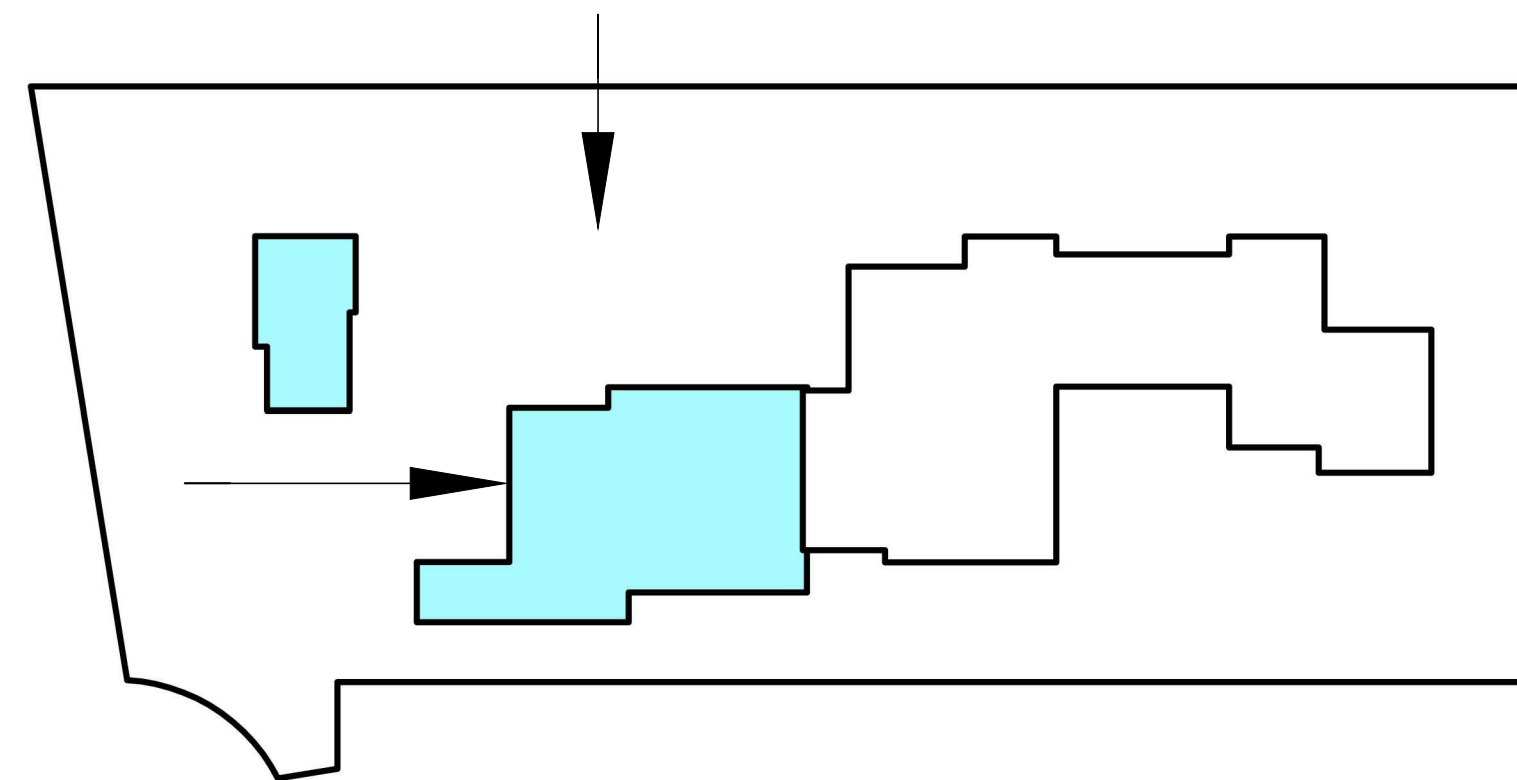
NO:
DWG. BY: DK
SHEET:

EL-3



PROPOSED
NORTH ELEVATION

SCALE: 1/4"=1'-0"



KEY PLAN



PROPOSED
WEST ELEVATION

SCALE: 1/4"=1'-0"

S.M

NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

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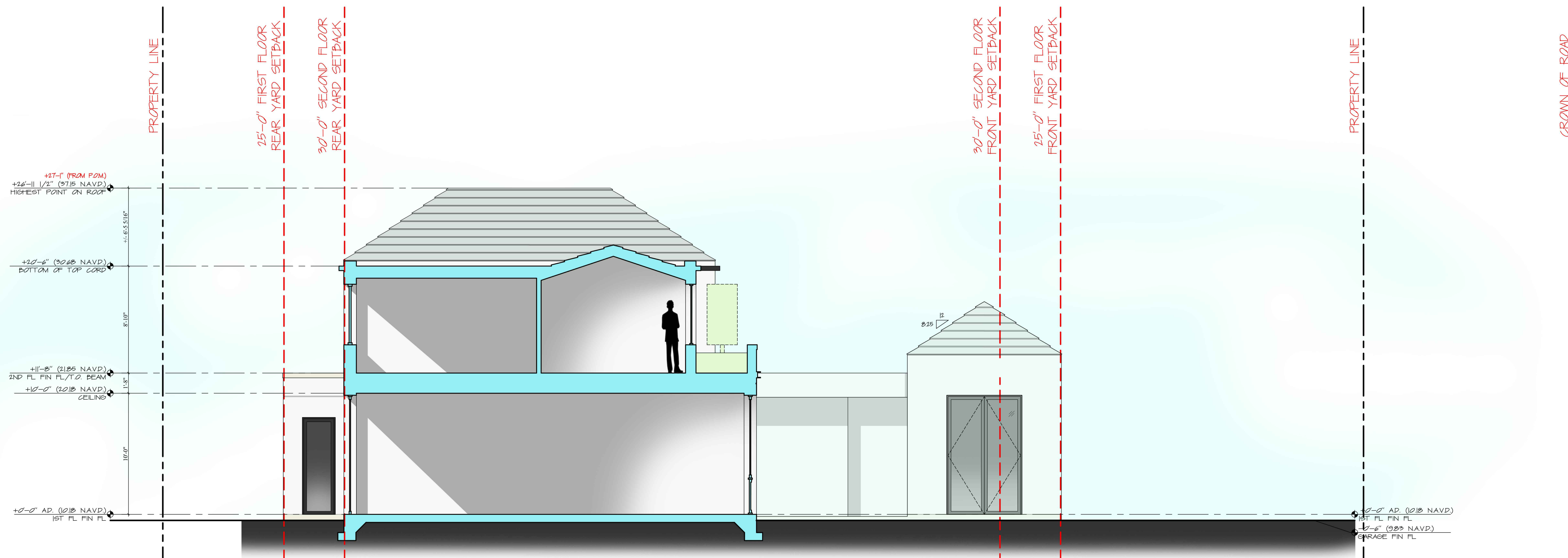
PETER G. PAPADOPOULOS
REGISTERED ARCHITECT 92952

DANIEL KAHAN
REGISTERED ARCHITECT 94757

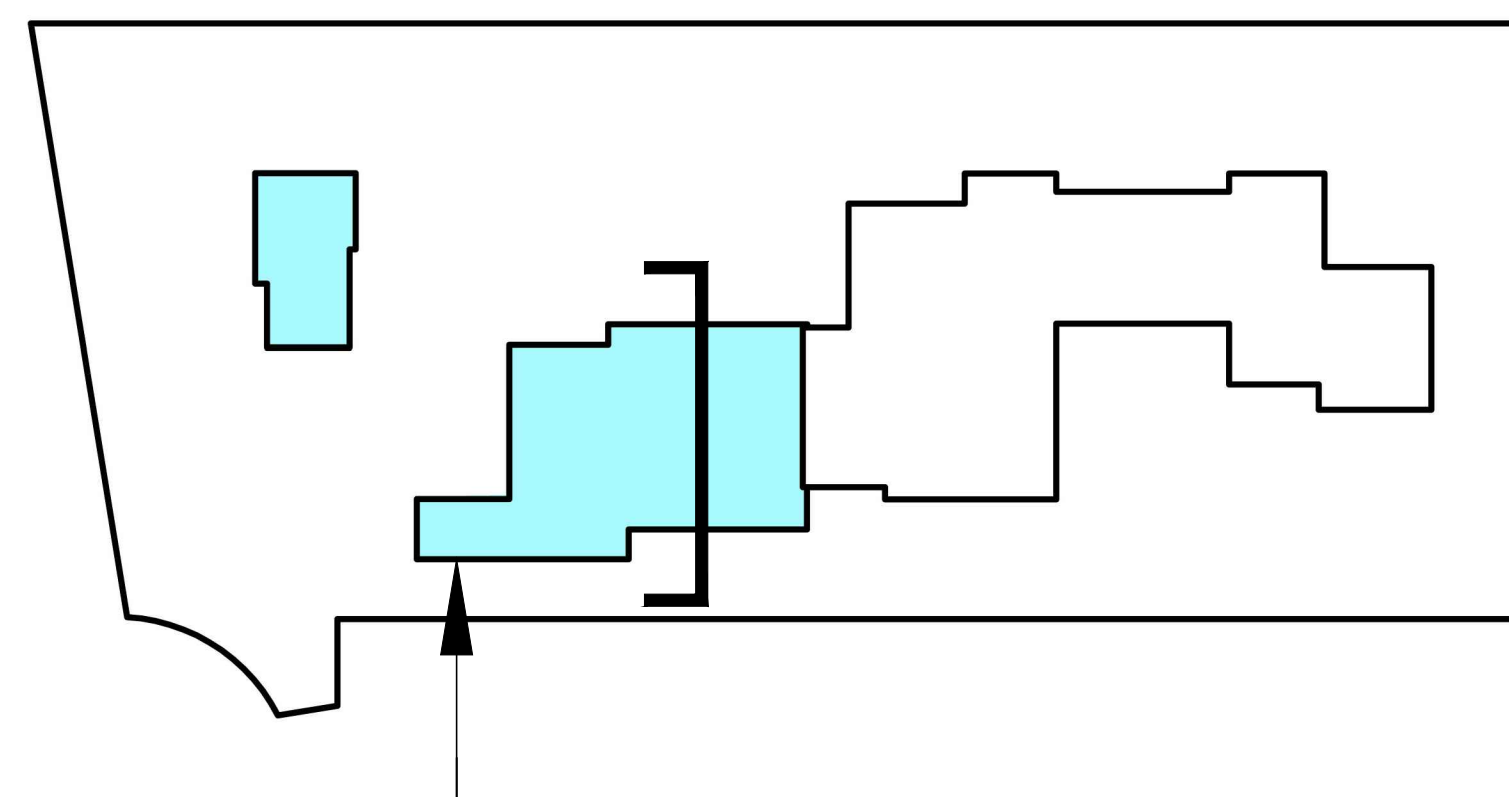
PROGRAMSCHEDULE 2021-07-15
DESIGN PRES. 1 2021-08-02
DESIGN PRES. 2 2021-08-02
DESIGN PRES. 3 2021-08-15

NO:
DWG. BY: DK
SHEET:

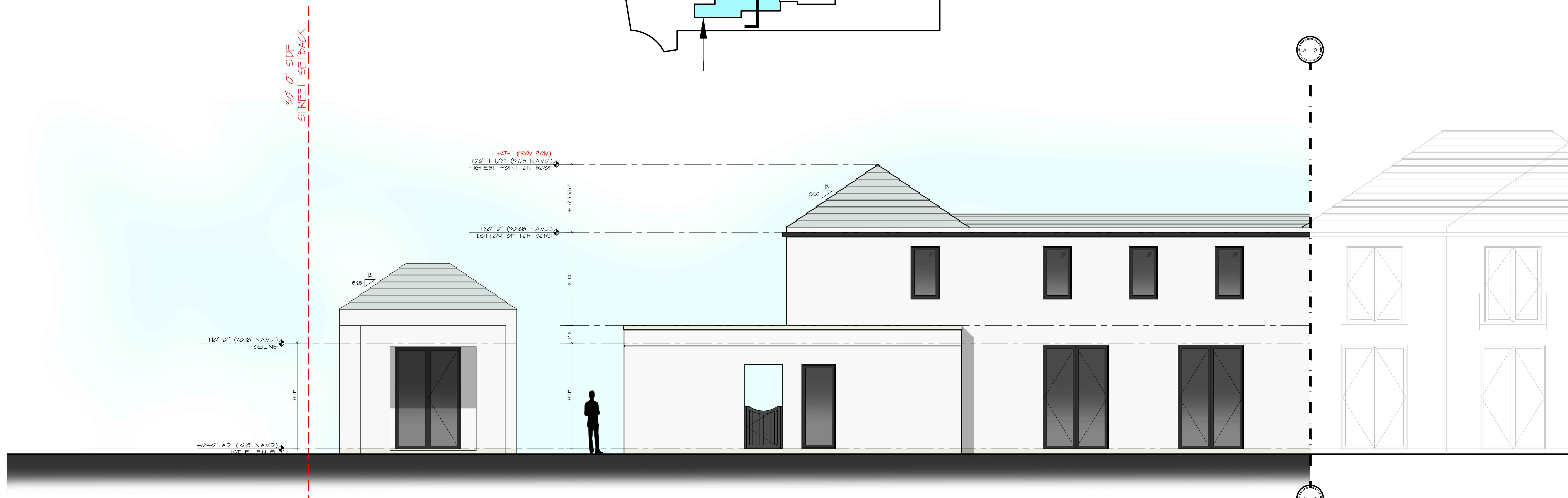
EL-4

PROPOSED
SECTION / ELEVATION

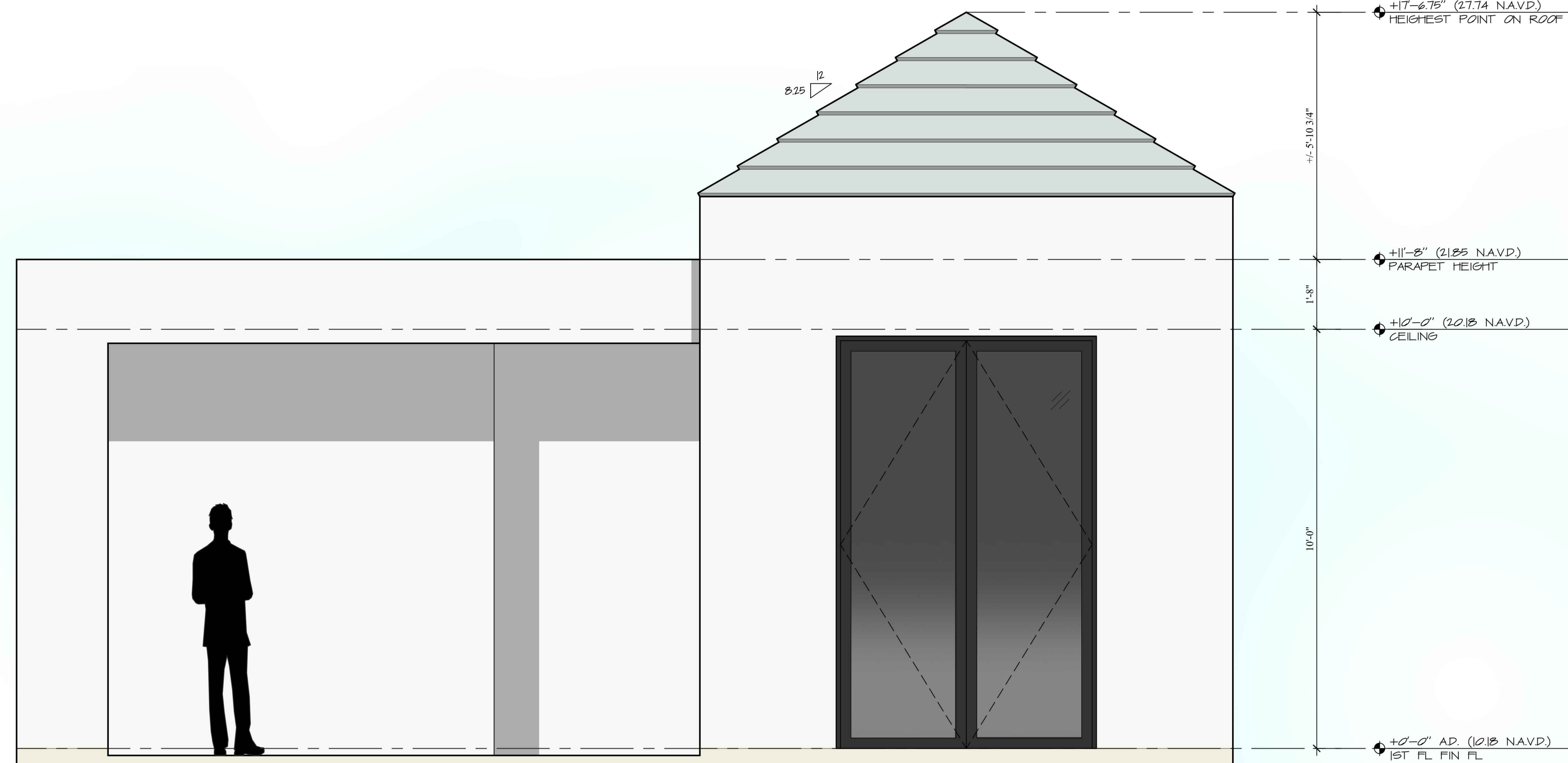
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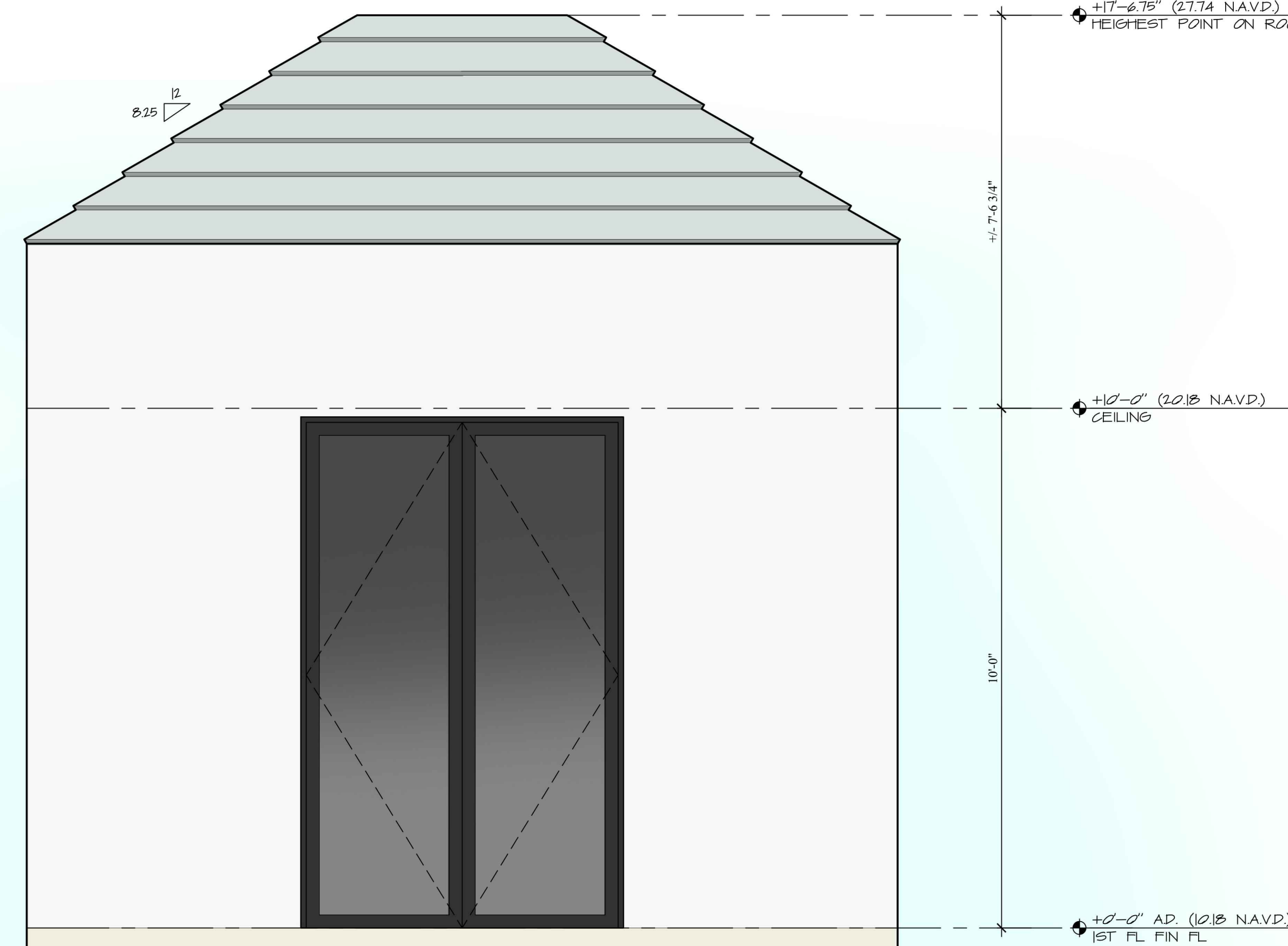
KEY PLAN

PROPOSED
SOUTH ELEVATION

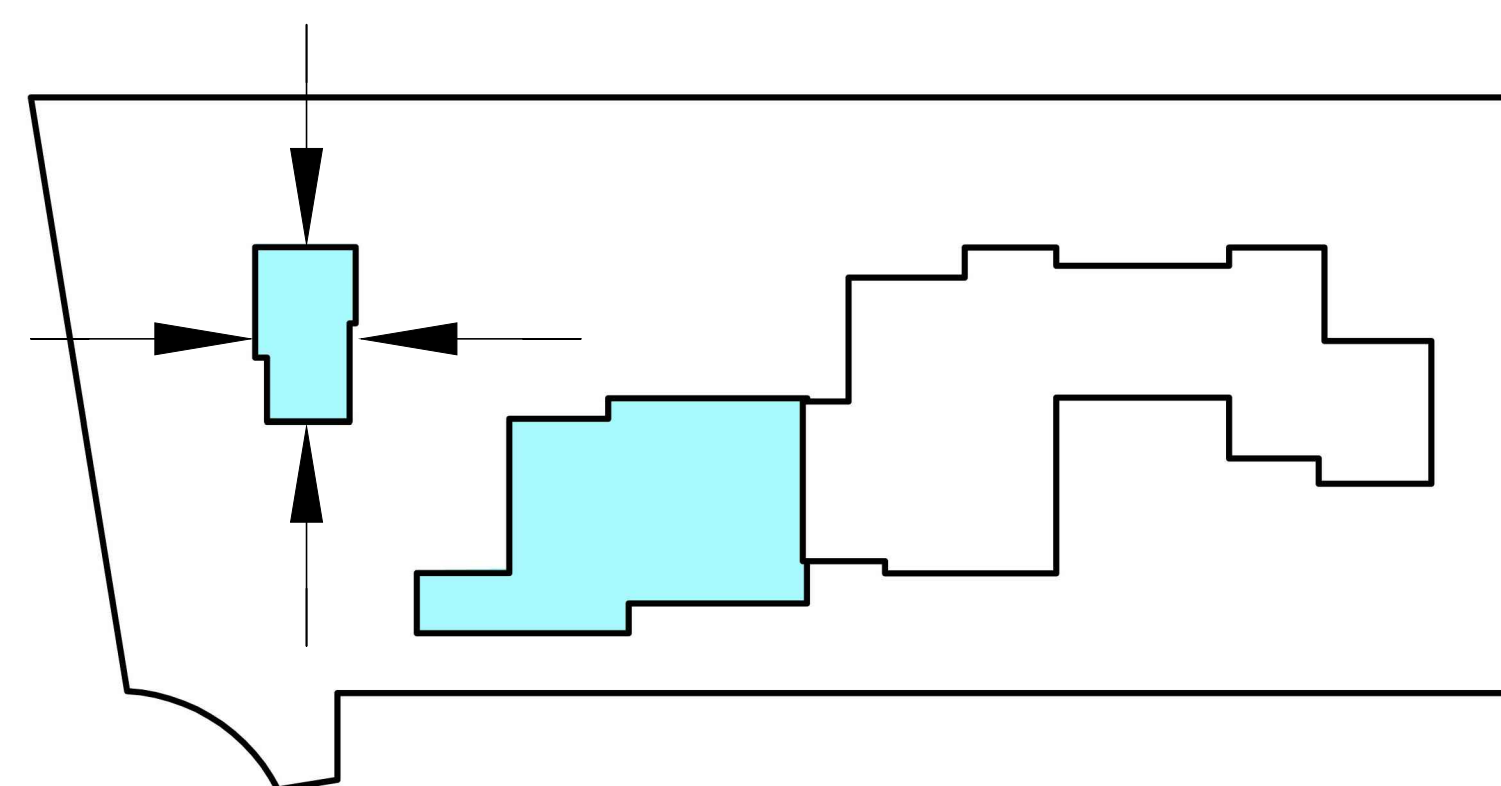
SCALE: 1/4"=1'-0"

CABANA
EAST ELEVATION

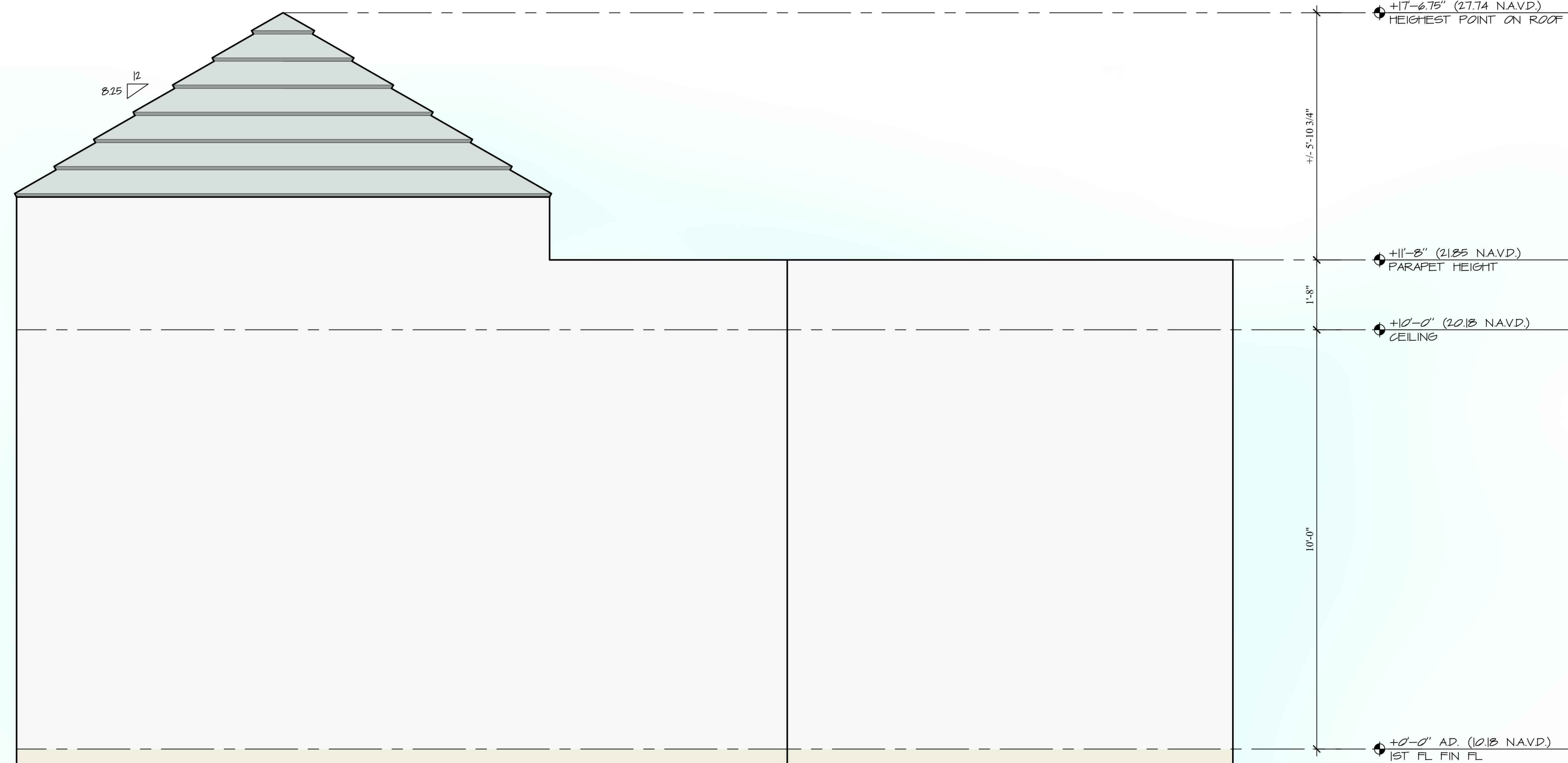
SCALE: 1/2"=1'-0"

CABANA
NORTH ELEVATION

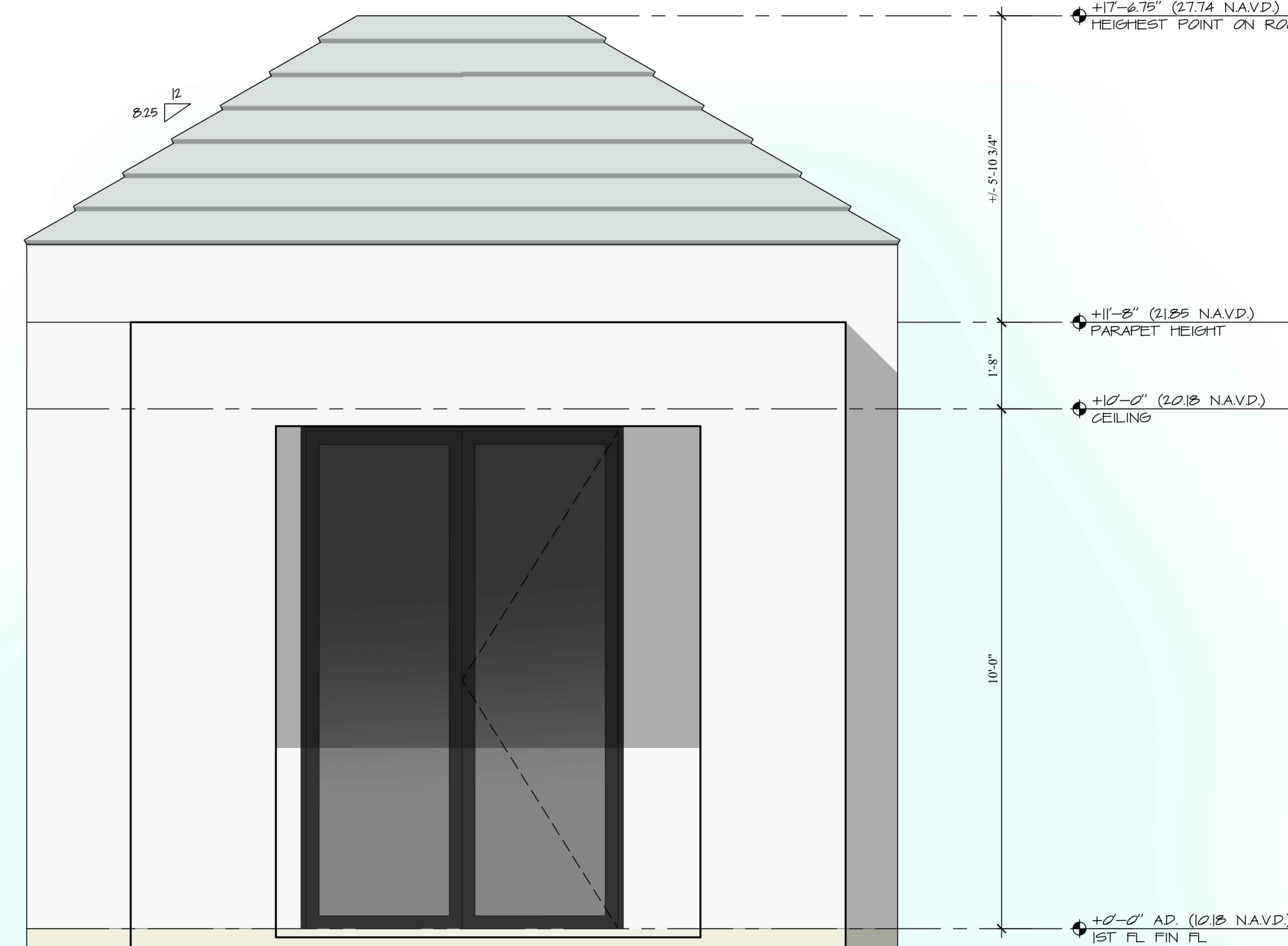
SCALE: 1/2"=1'-0"



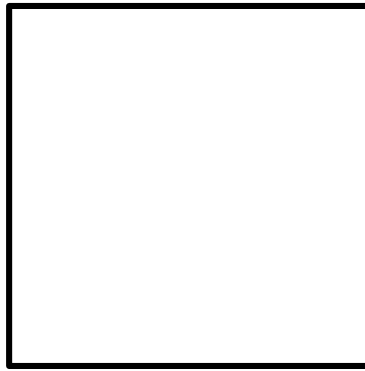
KEY PLAN

CABANA
WEST ELEVATION

SCALE: 1/2"=1'-0"

CABANA
SOUTH ELEVATION

SCALE: 1/2"=1'-0"



NEW ADDITION TO THE RESIDENCE AT
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PROGRAM/SCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
DESIGN PRES. 2	2021-08-02
DESIGN PRES. 3	2021-08-15

NO:
DWG. BY: DK
SHEET:

EL-MA1



CONCRETE ROOF TILES TO MATCH EXISTING HOUSE



METAL BANDING DETAIL, STUCCO FINISH REVEAL,
WINDOW DETAILS TO MATCH EXISTING HOUSE.



STUCCO COLOR TO MATCH EXISTING
HOUSE AND SITE WALLS



BALCONY GLASS AND RAILING
TO MATCH EXISTING HOUSE

EXTERIOR MATERIALS
SCALE: 1/4"=1'-0"



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
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PROGRAM/SCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
DESIGN PRES. 2	2021-08-02
DESIGN PRES. 3	2021-08-15

FAMILY WING & DRIVEWAY

NO:
DWG. BY: DK
SHEET:

R-1



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

SMITH AND MOORE ARCHITECTS, INC.
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FLORIDA AAC

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REGISTERED ARCHITECT 92952
DANIEL KAHAN
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PROGRAM/SCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
DESIGN PRES. 2	2021-08-02
DESIGN PRES. 3	2021-08-15

FAMILY WING & POOL / LAWN

NO:	
DWG. BY:	DK
SHEET:	

R-2



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

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PROGRAM/SCHEDULE	2021-07-15
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DESIGN PRES. 3	2021-08-15

FAMILY WING & POOL CABANA

NO:
DWG. BY: DK
SHEET:

R-3



STREET VIEW



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
PALM BEACH, FLORIDA

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PROGRAM/SCHEDULE	2021-07-15
DESIGN PRES. 1	2021-08-02
DESIGN PRES. 2	2021-08-02
DESIGN PRES. 3	2021-08-15

NO:	
DWG. BY:	DK
SHEET:	

R-4



AERIAL VIEW OF DESIGN



NEW ADDITION TO THE RESIDENCE AT
160 SEAVIEW AVENUE
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NO:
DWG. BY: DK
SHEET:

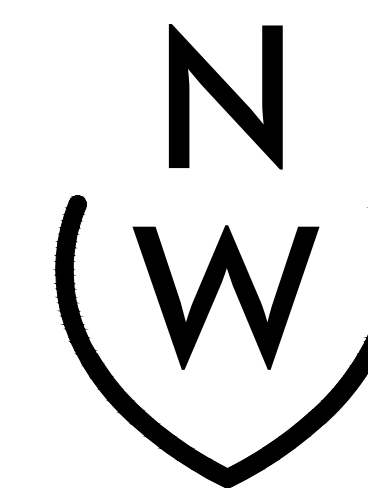
R-5

State of Florida
Landscape Architect
Registration No.
6666856

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

5 APRIL 2024 - DROP OFF

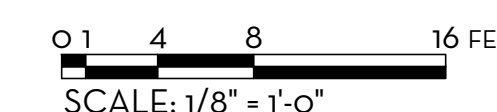
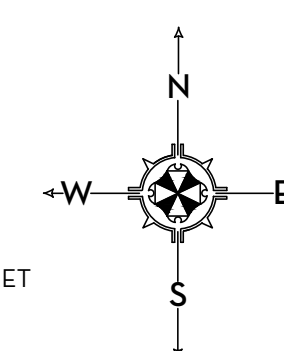
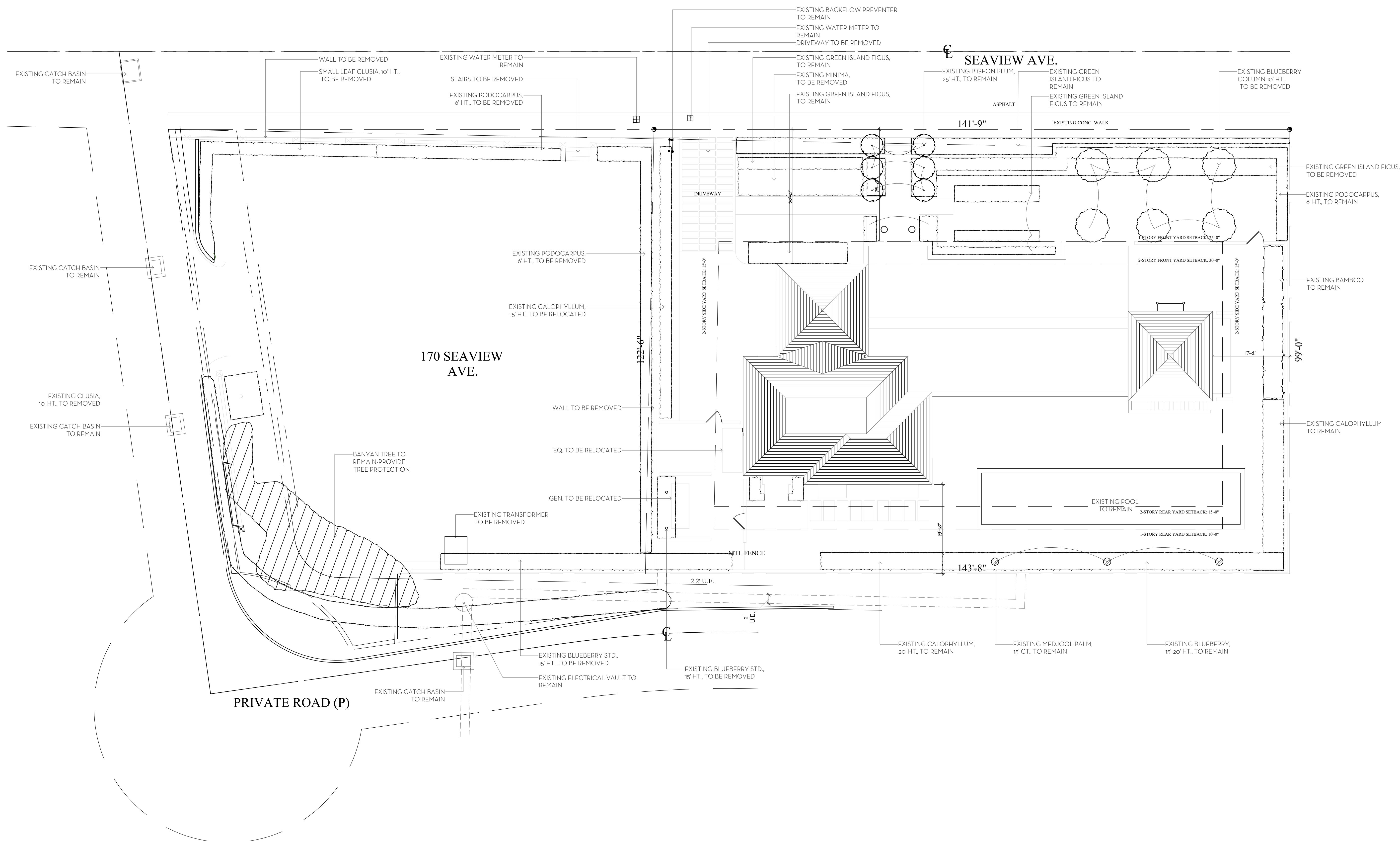
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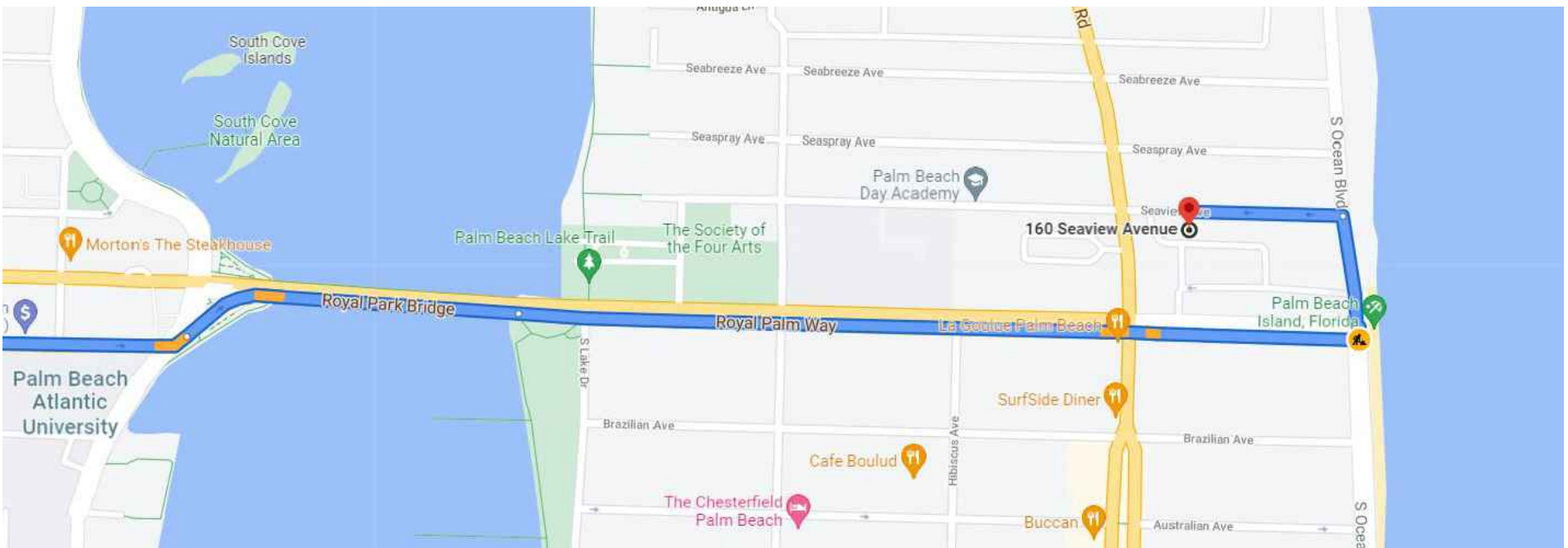
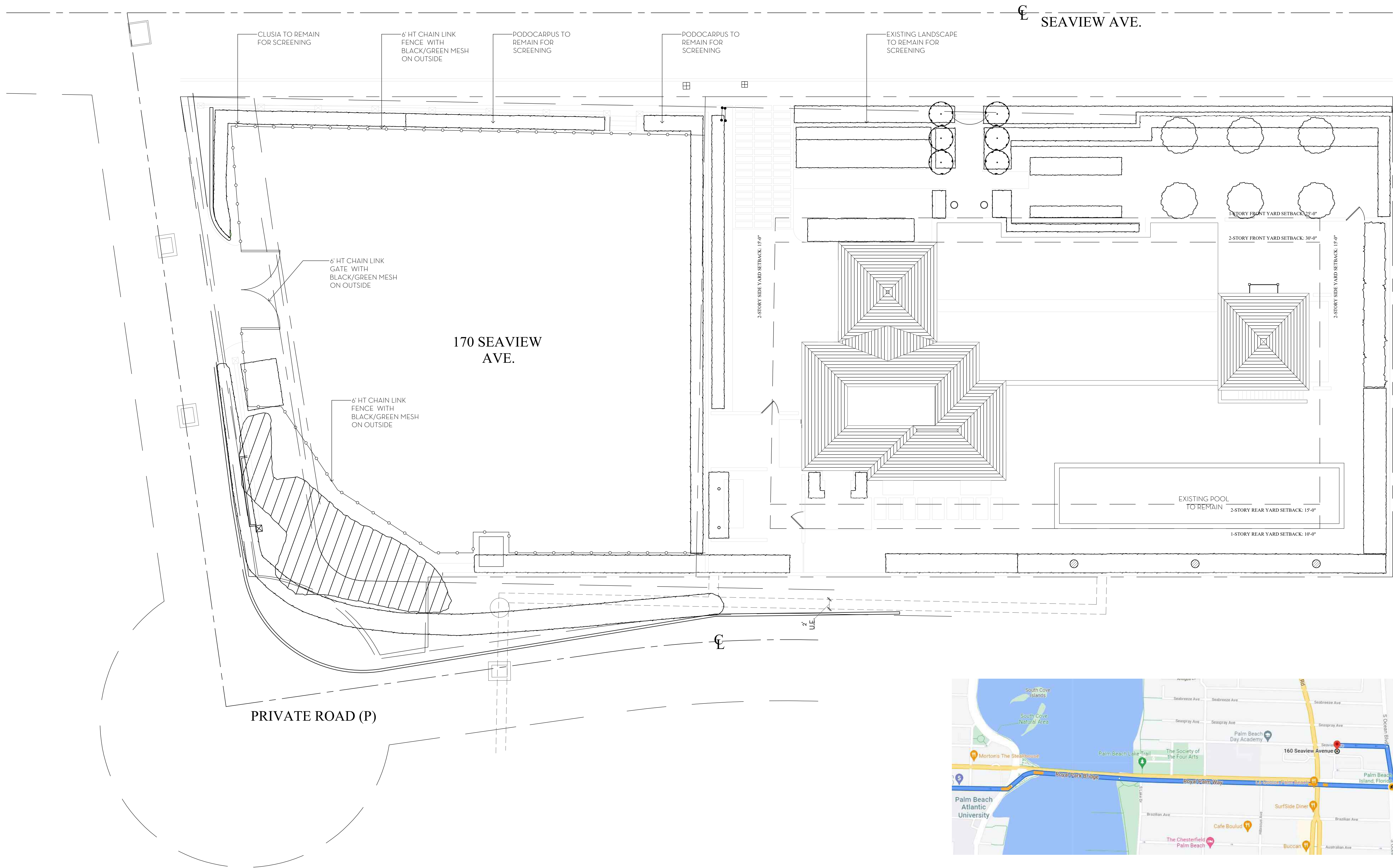


625 North Flagler Drive
Suite 502
West Palm Beach, FL 33480
P: 561-659-2820
F: 561-659-2113

EX

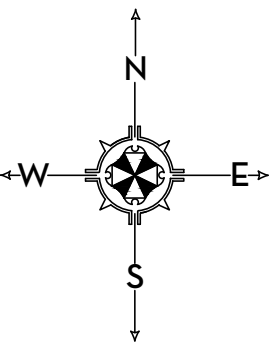
ARC-23-165





TRUCK ROUTE

0 1 4 8 16 FEET
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

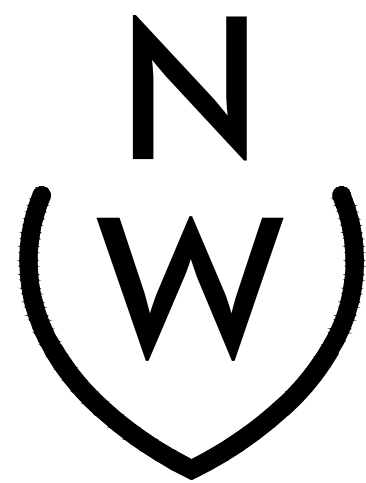
State of Florida
Landscape Architect
Registration No.
6666856

CONSTRUCTION SCREENING PLAN
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

SCALE: 3/32" = 1'-0"

15 APRIL 2024 - DROP OFF

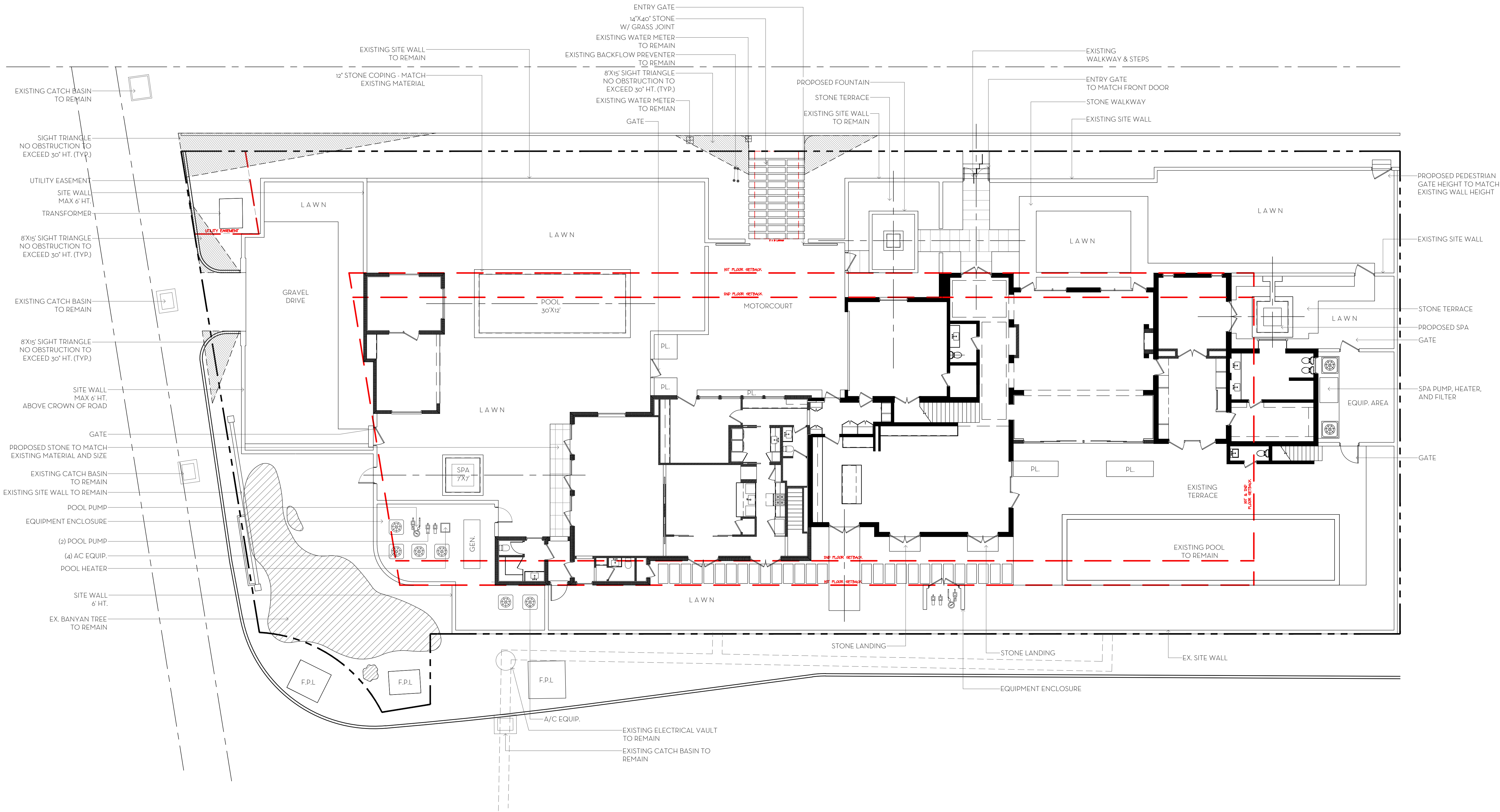


NIEVERA WILLIAMS
DESIGN

625 North Flagler Drive
Suite 502
West Palm Beach, FL 33480
P: 561-659-2820
F: 561-659-2113

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CSP
ARC-23-165

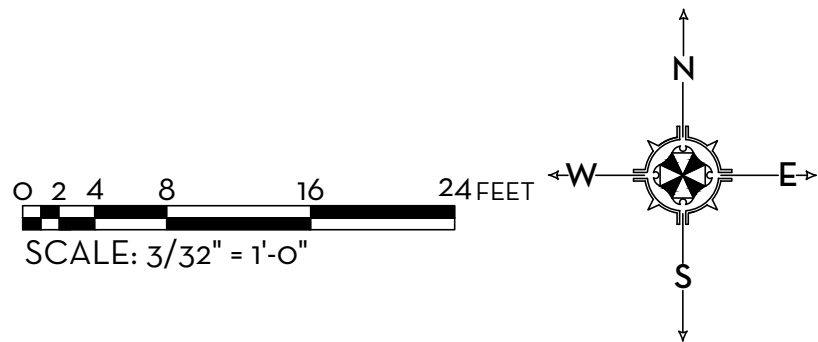


OVERALL R-B SITE CALCULATIONS:

SITE AREA =	24,242	SQ. FT.	100%
MINIMUM LANDSCAPE:			
REQUIRED =	12,121	SQ. FT.	50%
PROPOSED =	12,176	SQ. FT.	50.2%

FRONT SETBACK SITE CALCULATIONS:

35' SETBACK AREA =	8,652	SQ. FT.	100%
MINIMUM LANDSCAPE:			
REQUIRED =	3,893	SQ. FT.	45%
PROPOSED =	5,009	SQ. FT.	64.8%



MARIO F. NIEVERA

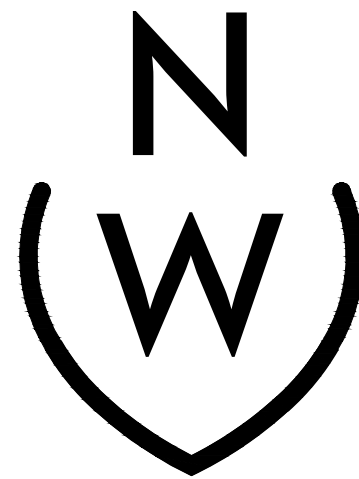
State of Florida
Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
FELDMAN RESIDENCE

160-770 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 • DROP OFF

SCALE: 3/32" = 1'-0"



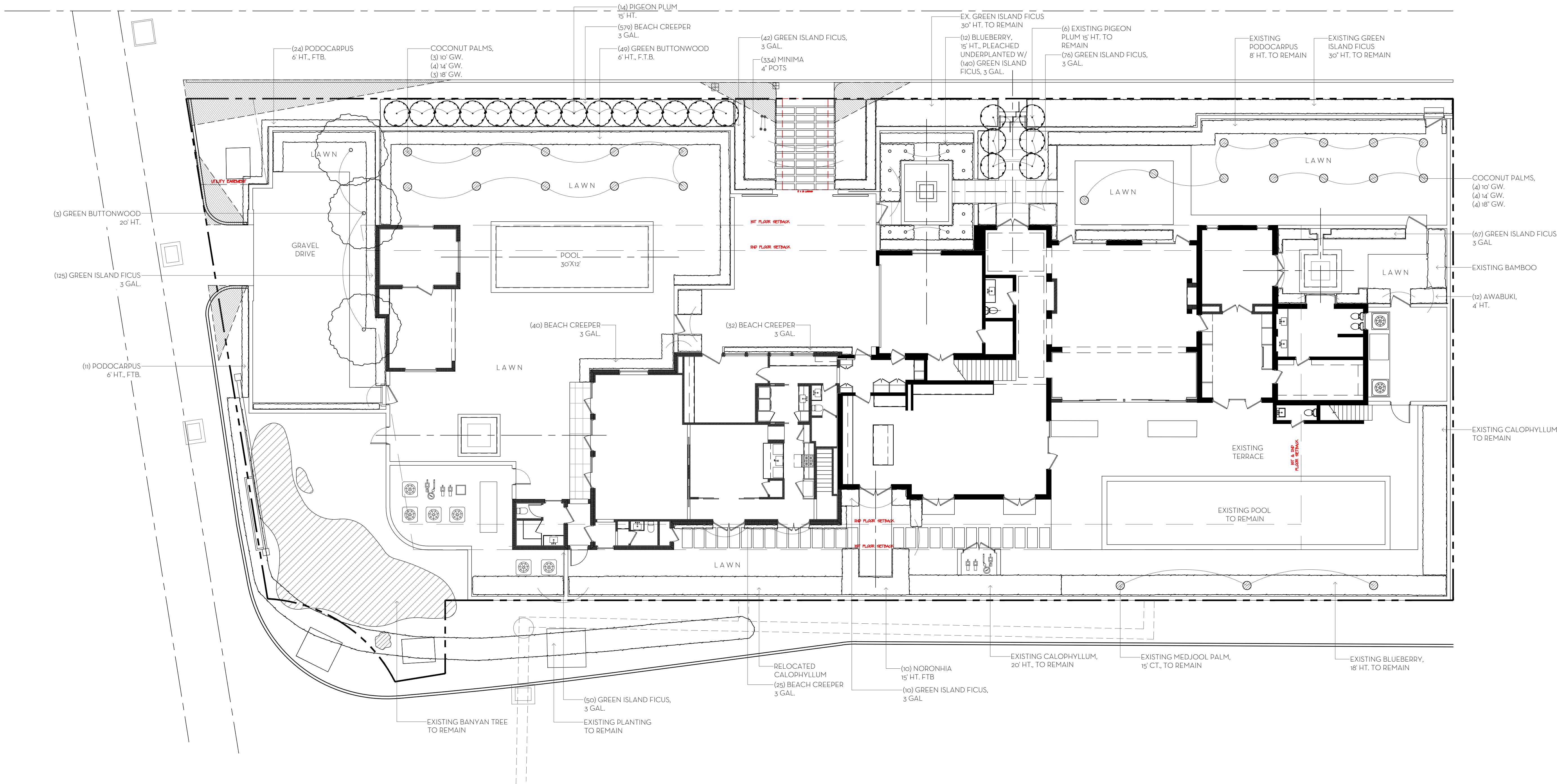
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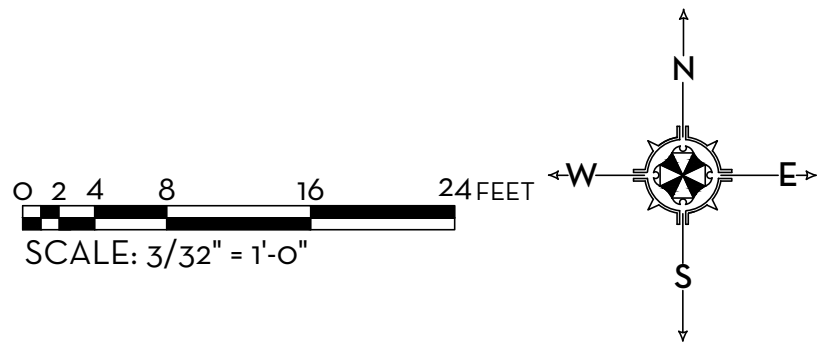


OVERALL R-B SITE CALCULATIONS:

SITE AREA =	24,242	SQ FT	100%
MINIMUM LANDSCAPE:			
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35' SETBACK AREA =	8,652	SQ FT	100%
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REQUIRED =	3,893	SQ FT	45%
PROPOSED =	5,009	SQ FT	64.8%



MARIO F. NIEVERA

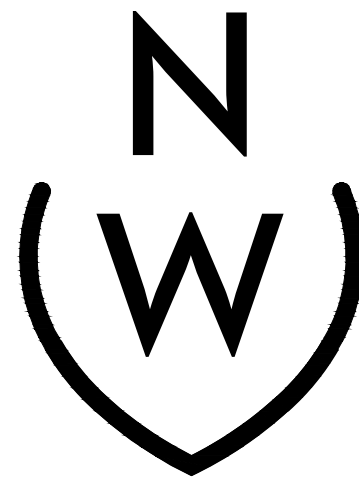
State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE PLAN
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 - DROP OFF

SCALE: 3/32" = 1'-0"



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LP1

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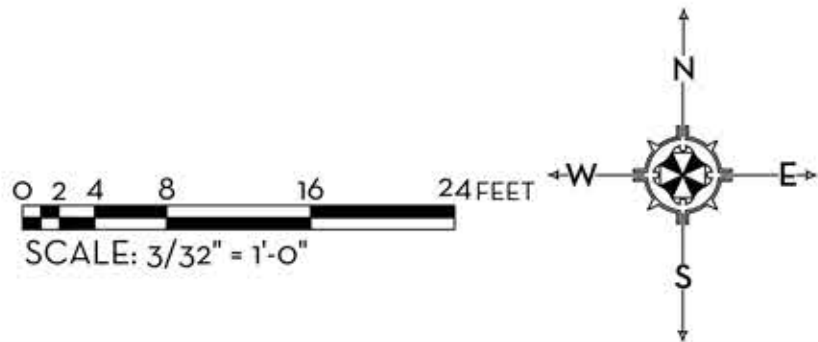


OVERALL R-B SITE CALCULATIONS:

SITE AREA =	24,242	SQ. FT.	100%
MINIMUM LANDSCAPE:			
REQUIRED =	12,121	SQ. FT.	50%
PROPOSED =	12,176	SQ. FT.	50.2%

FRONT SETBACK SITE CALCULATIONS:

35' SETBACK AREA =	8,652	SQ. FT.	100%
MINIMUM LANDSCAPE:			
REQUIRED =	3,893	SQ. FT.	45%
PROPOSED =	5,609	SQ. FT.	64.8%



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE PLAN
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 - DROP OFF

SCALE: 3/32" = 1'-0"



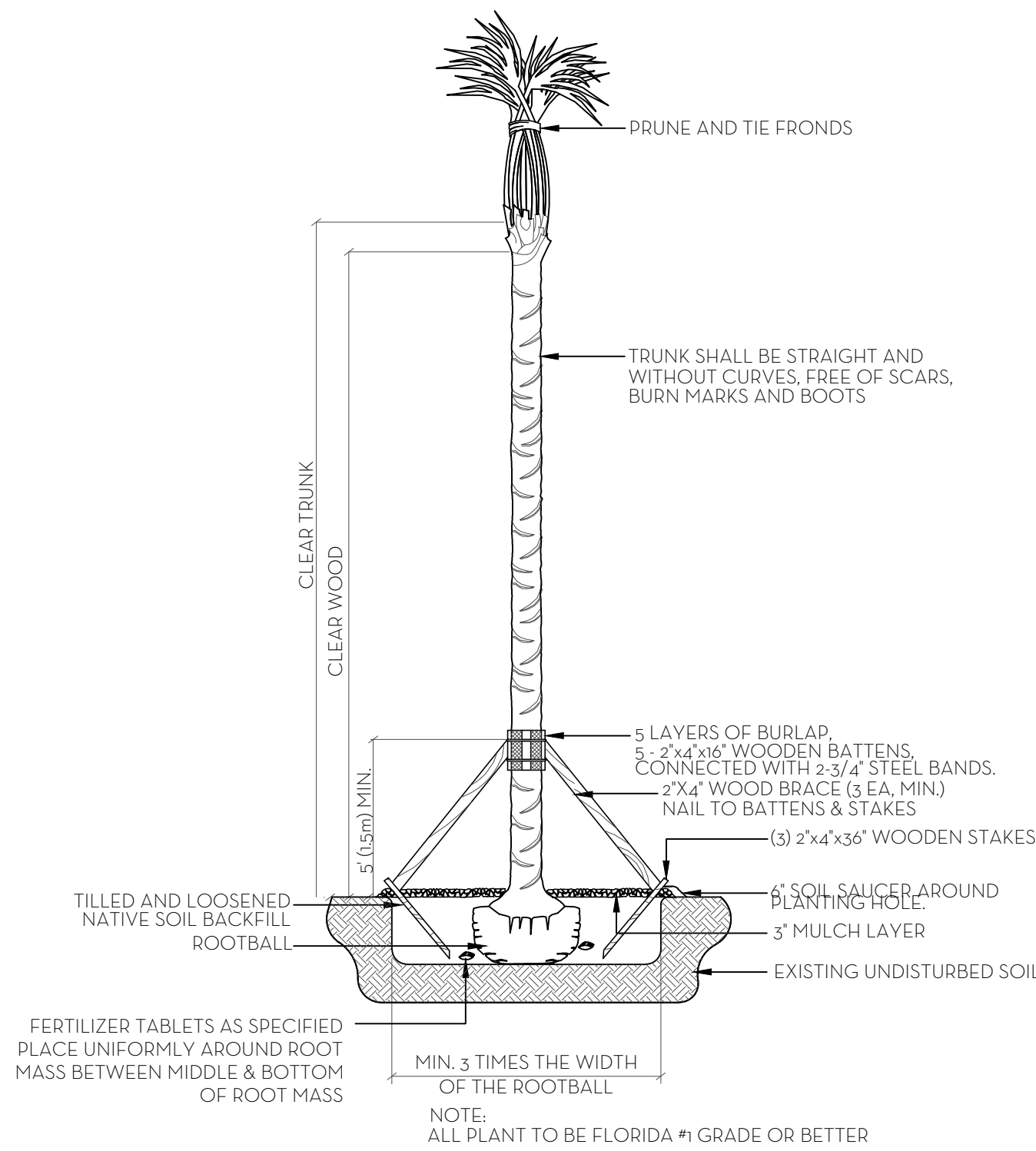
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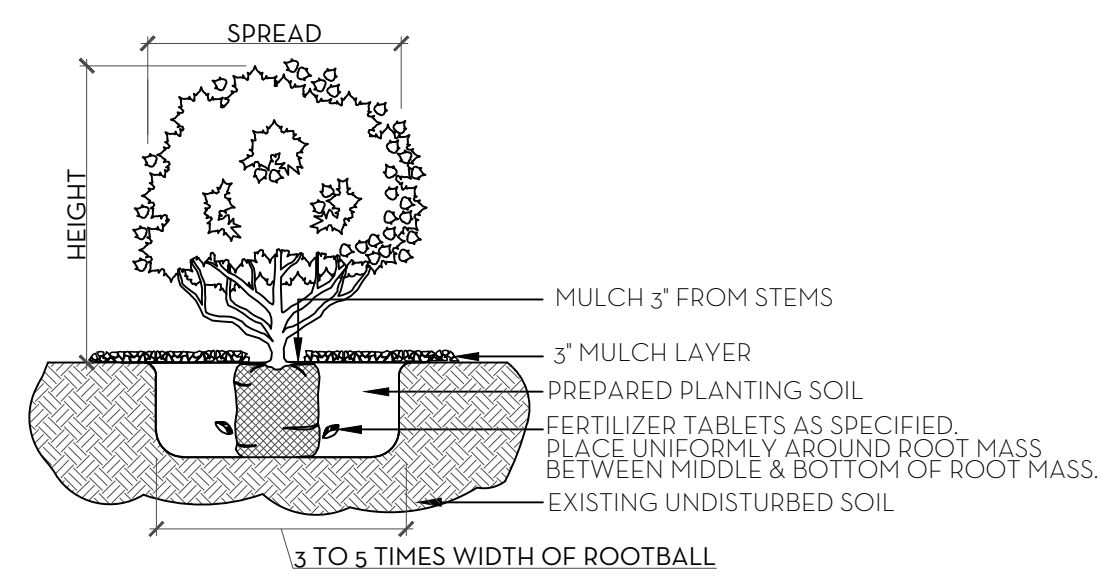
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ARC-23-165

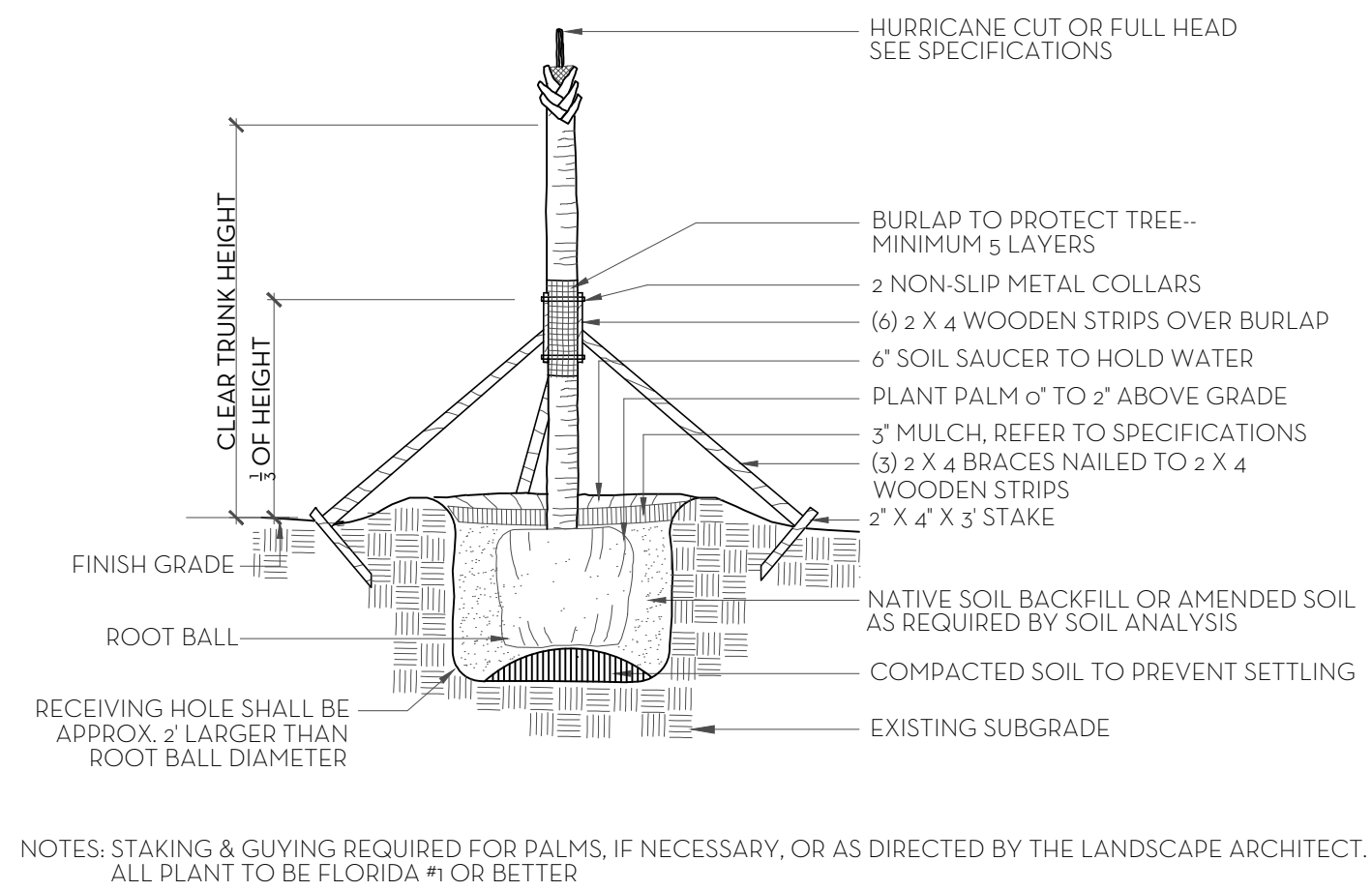


PALM PLANTING DETAIL
N.T.S.



SHRUB & GROUNDCOVER PLANTING DETAIL
N.T.S.

NOTE: BUD SHALL BE PERPENDICULAR TO GROUND PLANE. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES. NO SCARRED OR BLACKENED TRUNKS.



PALM TREE PLANTING AND STAKING DETAIL
N.T.S.

FERTILIZATION

SHRUBS AND TREES

ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

1 GALLON CAN: 1 - 21 GRAM TABLET

3 GALLON CAN: 2 - 21 GRAM TABLETS

5 GALLON CAN: 3 - 21 GRAM TABLETS

7 GALLON CAN: 4 - 21 GRAM TABLETS

TREES:

3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER

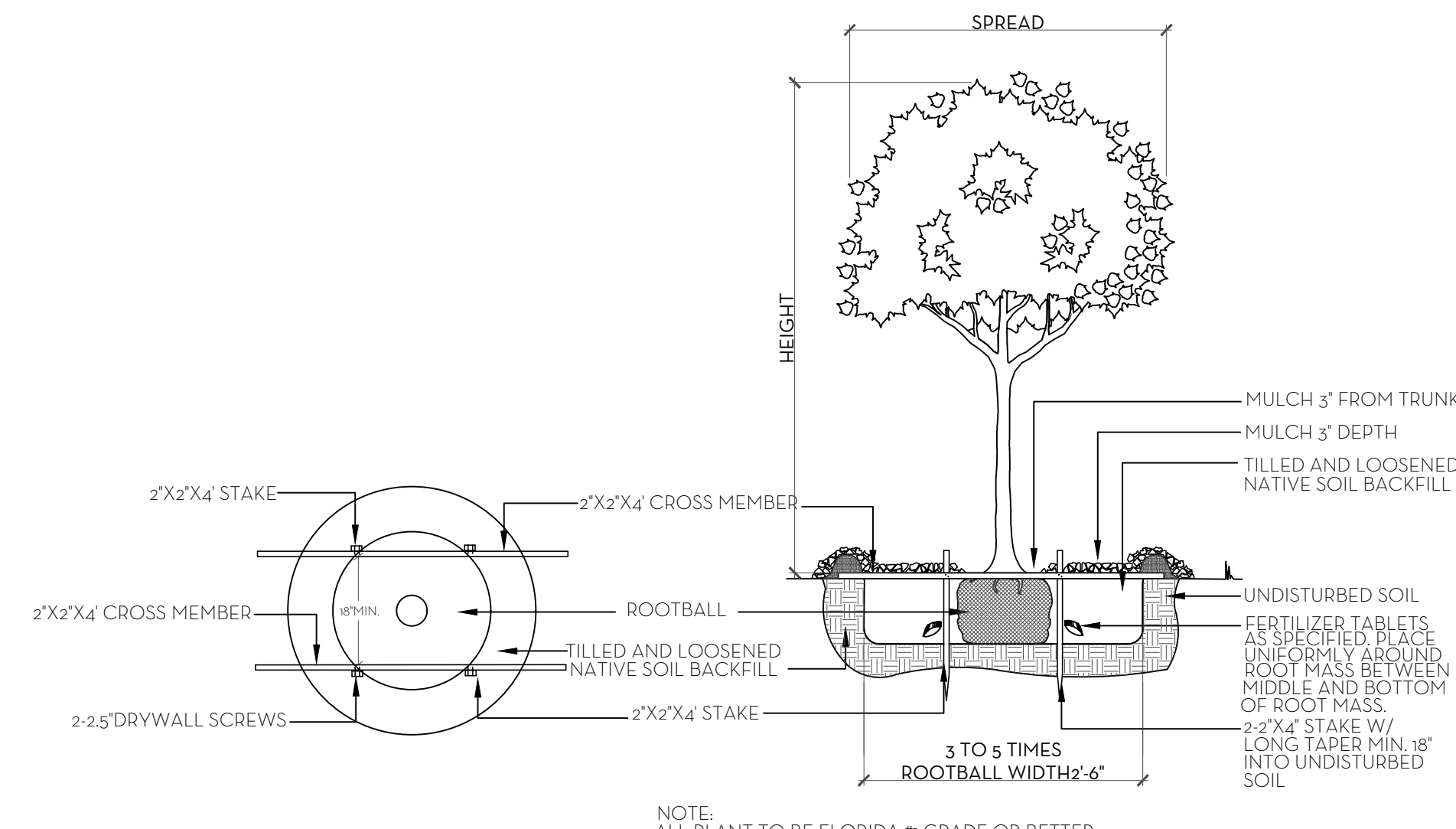
PALMS:

7 - 21 GRAM TABLETS

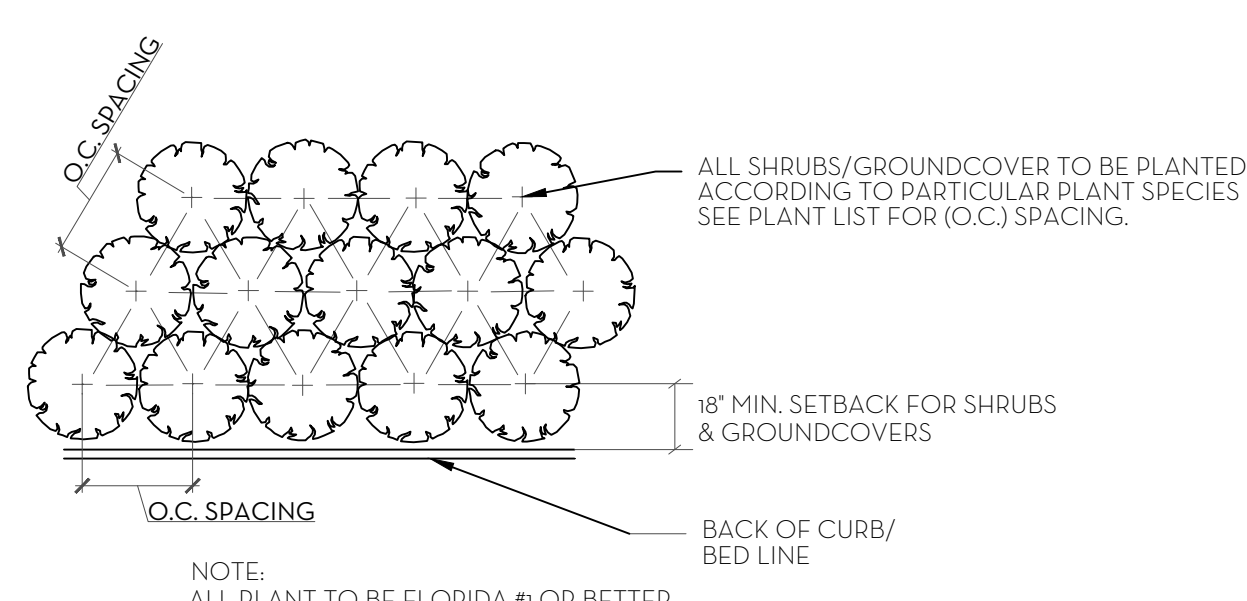
GROUNDCOVER AREAS

ALL GROUNDCOVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURER'S SPECIFICATIONS.

- NOTES:
1. ALL WOOD SHALL BE SPRUCE OR PINE NOT PRESSURE TREATED.
 2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
 3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
 4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
 6. TOP OF ROOTBALL TO BE SET 2" BELOW FINISH SURROUNDING FINISH GRADE.

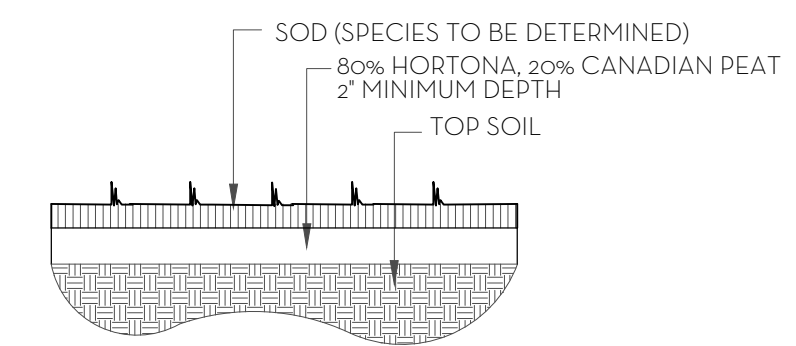


TREE PLANTING DETAIL
N.T.S.

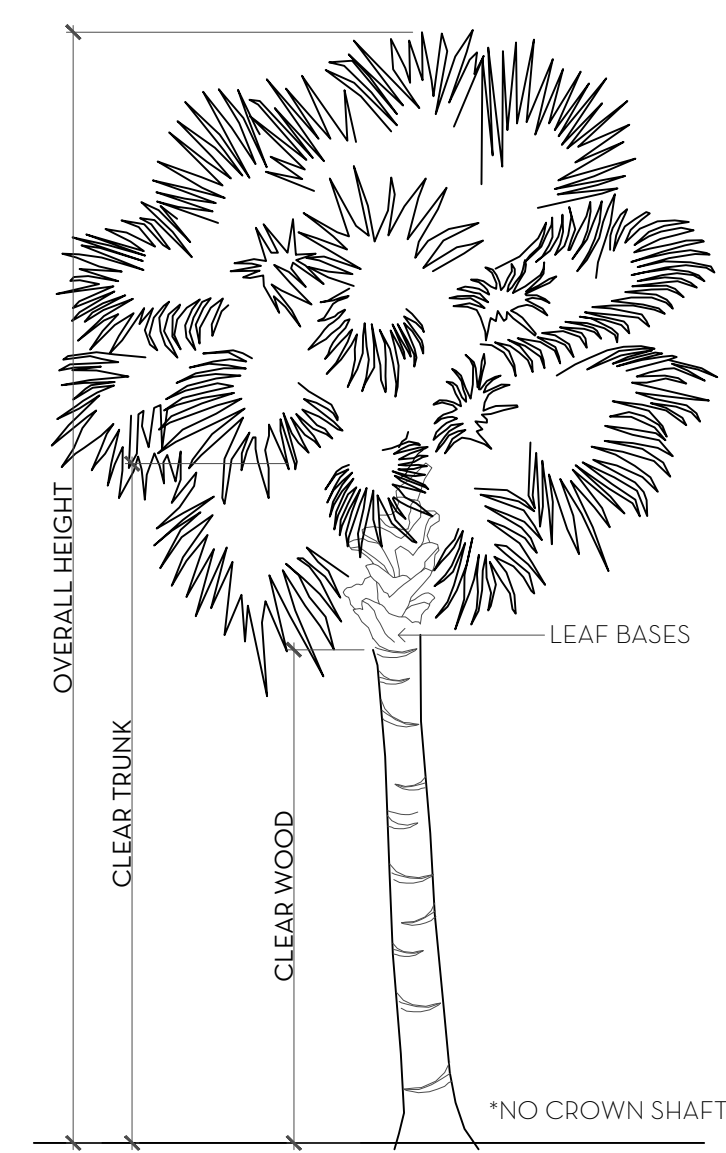


PLANT SPACING DETAIL
N.T.S.

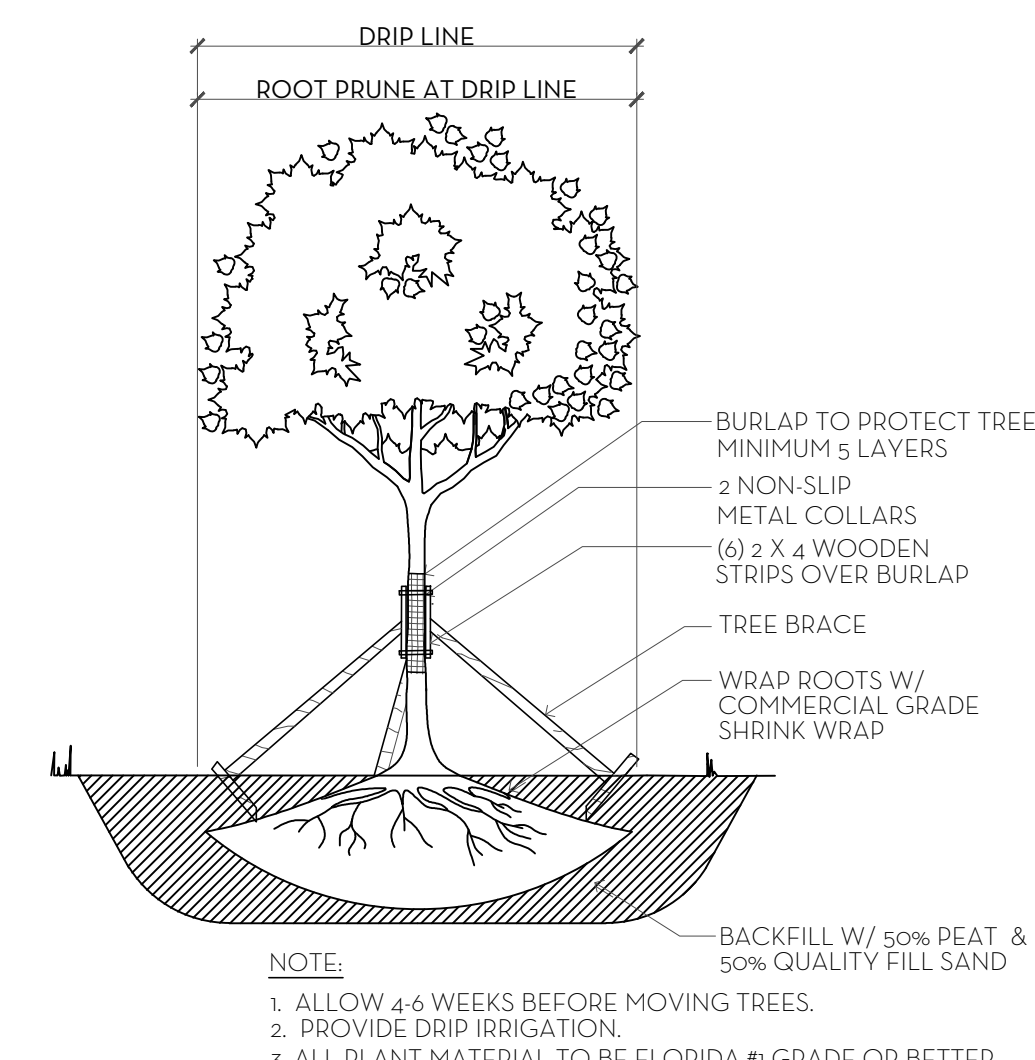
- SOD NOTES:
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5" BELOW GRADE
 2. RAKE AND REMOVE ALL CONSTRUCTION DEBRIS
 3. PRIOR TO LAYING SOD ADD 80% HORTANA AND 20% CANADIAN PEAT, 2" MIN.
 4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
 5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



SOD PLANTING DETAIL
N.T.S.



PALM SPECIFICATION DETAIL
N.T.S.



TREE ROOT PRUNING DETAIL
N.T.S.



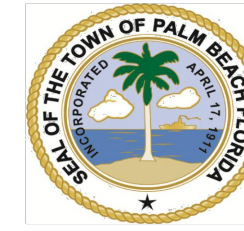
NIEVERA WILLIAMS
DESIGN

160-170 Seaview Avenue
Palm Beach, FL

January 03, 2024

LANDSCAPE MATERIAL SCHEDULE

ITEM NO.	COMMON NAME	BOTANICAL NAME	QUANTITY	SPECIFICATION	COVERED AREA (SF)	NATIVE
1	TREES					
2	Japanese Blueberry	Elaeocarpus decipiens	12	15' HT, PLEACHED		
3	Pigeon Plum	Coccoloba diversifolia	14	15' HT.		✓
4	Green Buttonwood	Conocarpus erectus	2	20' HT.		✓
5			28			57%
6	PALMS					
7	Coconut Palm	Cocos nucifera	7	10' GW.		
8	Coconut Palm	Cocos nucifera	7	14' GW.		
9	Coconut Palm	Cocos nucifera	7	18' GW.		
10			21			
11	HEDGE/SHRUB					
12	Awabuki	Viburnum odoratissimum	12	4' HT., F.T.B.		
13	Noronia	Noronia emarginata	10	15' HT., F.T.B.		
14	Green Buttonwood	Conocarpus erectus	49	6' HT., F.T.B.		✓
15			71			69%
16	GROUND COVERS/VINES					
17	Beach Creeper	Erodea littoralis	644	3 Gal.	567	✓
18	Green Island Ficus	Ficus microcarpa 'Green Island'	463	3 Gal.	506	
19	Minima	Trachelospermum asiaticum	334	4" Pots	168	
20			1441		1241	46%
21	SOD					
22	Zoysia	Diamond zoysia	6,675 SF	CONTRACTOR TO VERIFY QTY		



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend	
1	Property Address:	160-170 SEAVIEW AVE.
2	Lot Area (sq. ft.):	24,242
3		REQUIRED PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	12,121 (50%) 12,220 (50.4%)
5	LOS to be altered (Sq Ft and %)	N/A >50%
6	Perimeter LOS (Sq Ft and %)	N/A N/A
7	Front Yard LOS (Sq Ft and %)	3,893 (45%) 5,301 (61.3%)
8	Native Trees %	30% (number of trees) 57%
9	Native Shrubs & Vines %	30% (number of shrubs & vines) 46%
10	Native Groundcover %	30% (groundcover area) 44%

To determine qualifying native vegetation use either:

[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)

OR

[the Florida Native Plant Society Native Plants for Your Area List](#)

Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

See Ord. 003-2023

REV BF 20230727

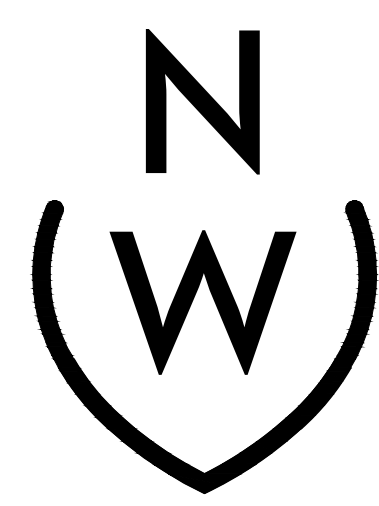
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

PLANT LIST AND DETAILS
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 - DROP OFF



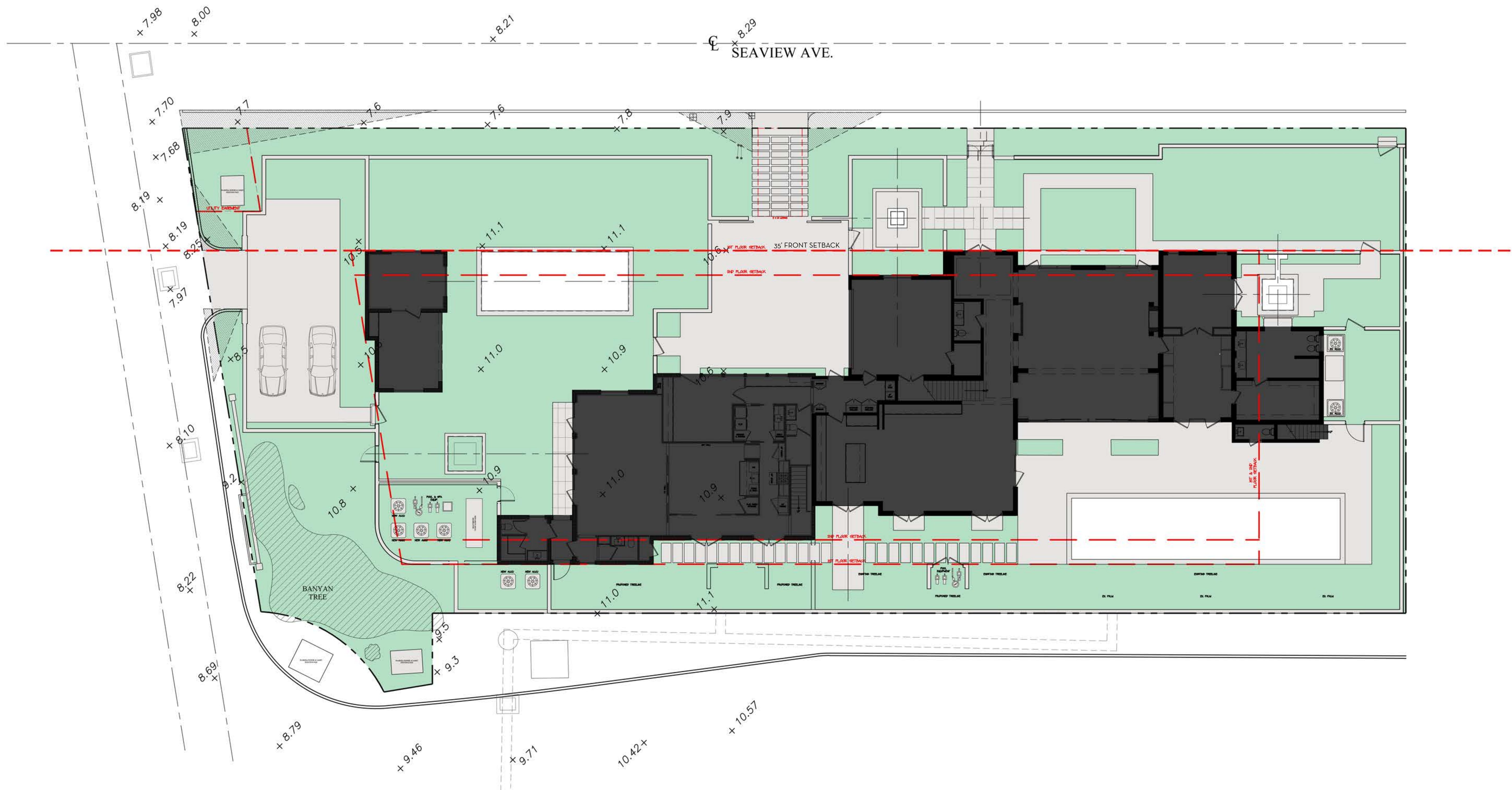
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LP2

ARC-23-165



OVERALL R-B SITE CALCULATIONS:

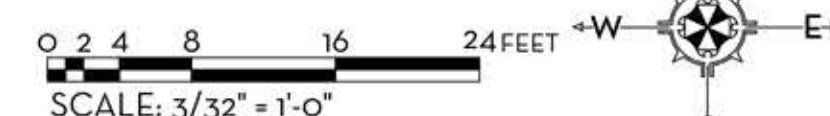
SITE AREA =	24,242	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	12,121	SQ FT	50%
PROPOSED =	12,116	SQ FT	50.2%

FRONT SETBACK SITE CALCULATIONS:

35' SETBACK AREA =	8,652	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	3,893	SQ FT	45%
PROPOSED =	5,609	SQ FT	64.8%

OPEN SPACE LEGEND:

BUILDING	
HARDSCAPE	
WATER	
LANDSCAPE	



MARIO F. NIEVERA

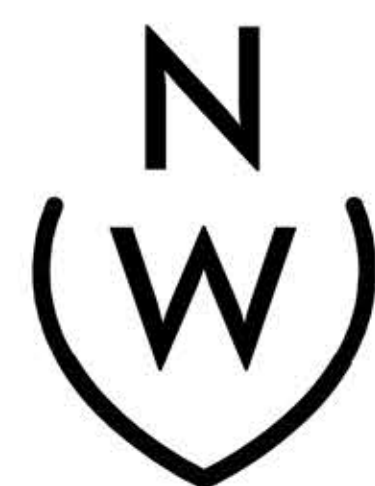
State of Florida
Landscape Architect
Registration No.
6666856

OPEN SPACE DIAGRAM
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 - DROP OFF

SCALE: 3/32" = 1'-0"



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OS1

ARC-23-165



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

NORTH ELEVATION
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

SCALE: 3/32" = 1'-0"

15 APRIL 2024 - DROP OFF



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EL1



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Landscape Architect
Registration No.
6666856

EAST ELEVATION
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 • DROP OFF

SCALE: 3/16" = 1'-0"



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EL2



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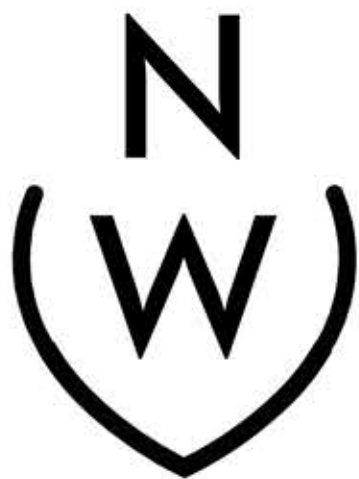
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Landscape Architect
Registration No.
6666856

SOUTH ELEVATION
FELDMAN RESIDENCE

160170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 - DROP OFF

SCALE: 3/32" = 1'-0"



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EL3



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Registration No.
6666856

WEST ELEVATION
FELDMAN RESIDENCE

160-170 SEAVIEW AVENUE, PALM BEACH, FL.

15 APRIL 2024 - DROP OFF

SCALE 3/16" = 1'-0"

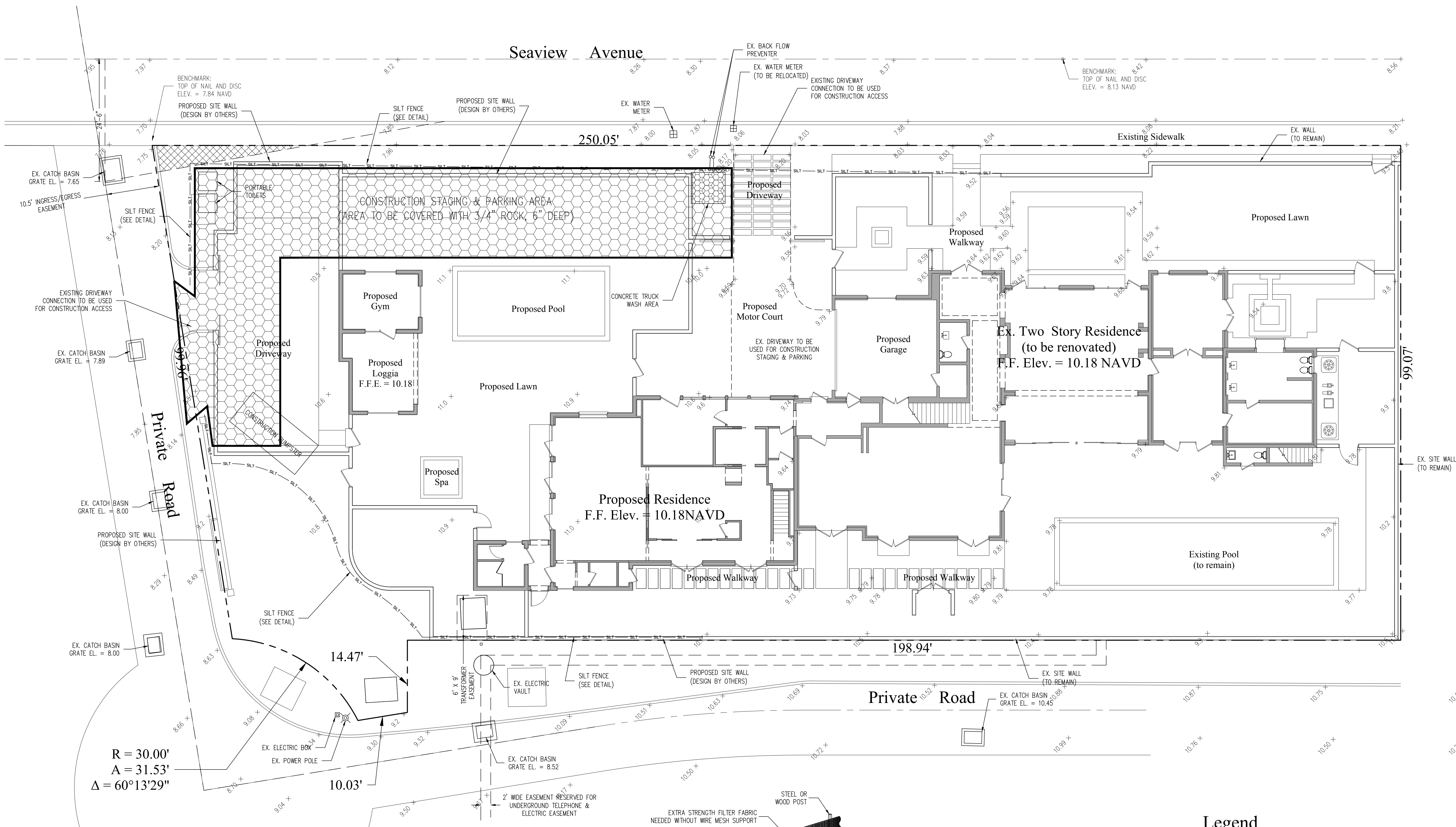


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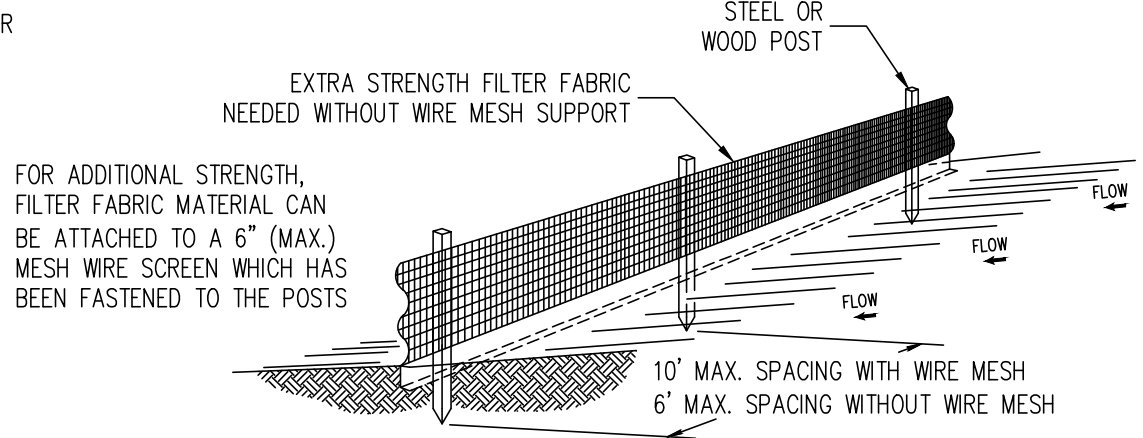
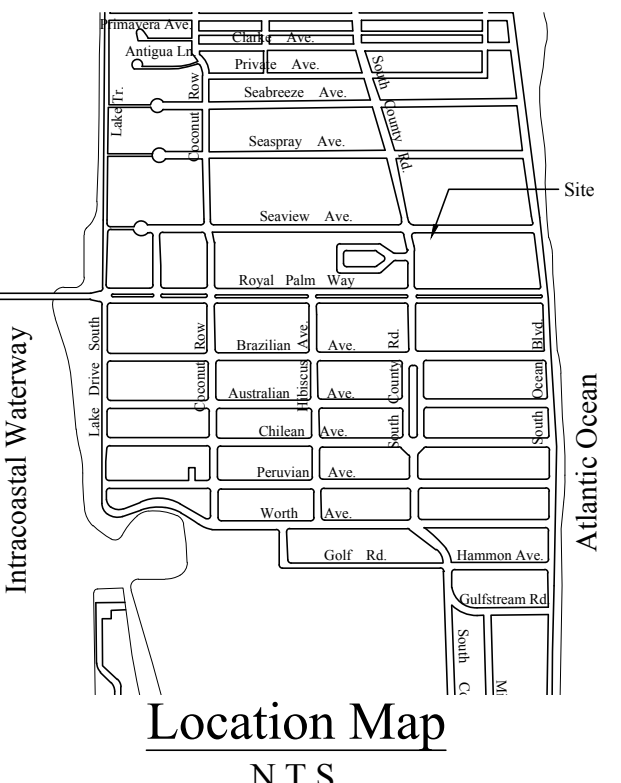
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West Palm Beach, FL 33480
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EL4



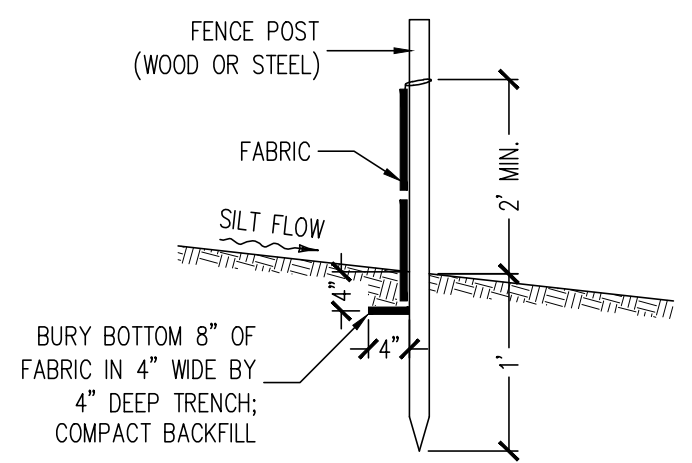
Notes:
1) Contractor is responsible for installing and maintaining erosion control measures during construction.



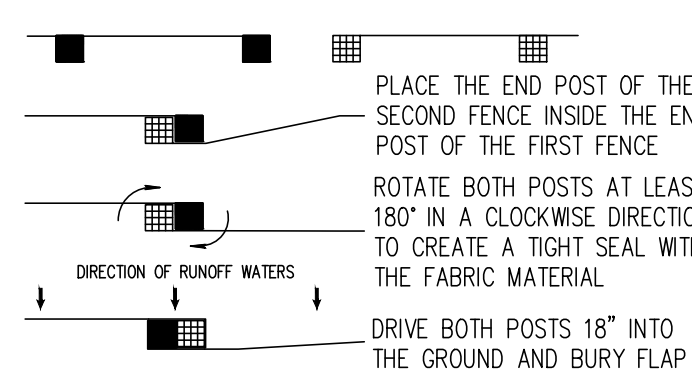
Notes:

- 1) The height of a silt fence shall not exceed 36".
- 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
- 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or lag rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
- 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
- 7) The trench shall be backfilled and the soil compacted over the filter fabric.

SILT FENCE DETAIL
N.T.S.



SILT FENCE SECTION
N.T.S.

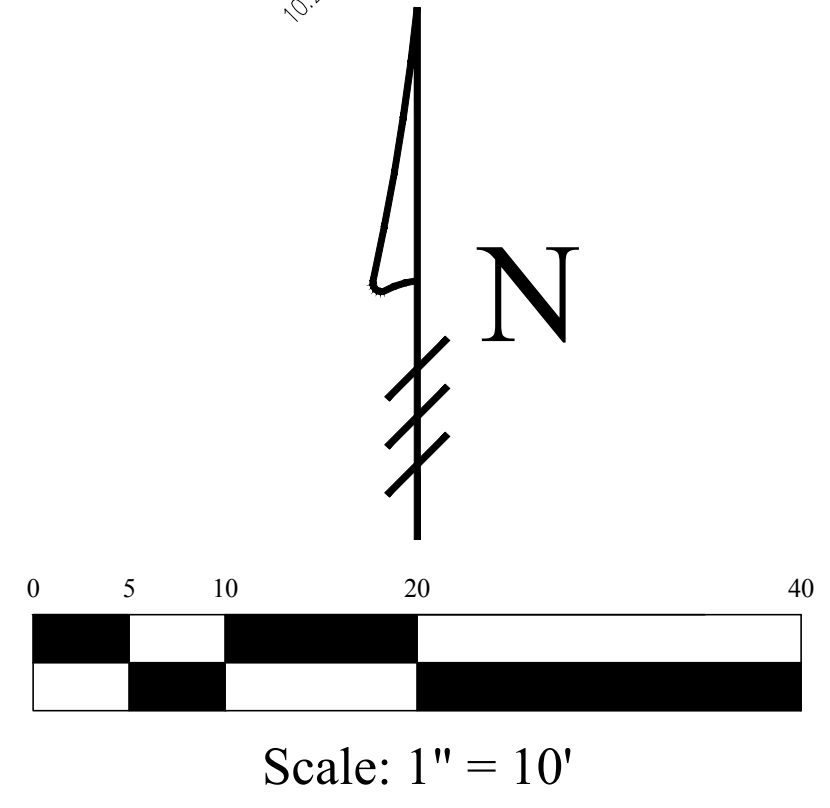


ATTACHING TWO SILT FENCES
N.T.S.

Legend

CONSTRUCTION STAGING AREA

SILT FENCE (SEE DETAIL)



48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting Engineers, Inc.
SUNSHINE AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 861.312.2841
office@gruberengineers.com

Project Information				
Project No.	2021-0155	Issue Date	05/27/2024	Scale
Scale	1" = 10'	Drawn By	KM	Checked By
			CG	

Conceptual Construction Staging & Parking and Erosion Control Plan For:
Proposed Renovation
160 Seaview Avenue
Palm Beach, Florida

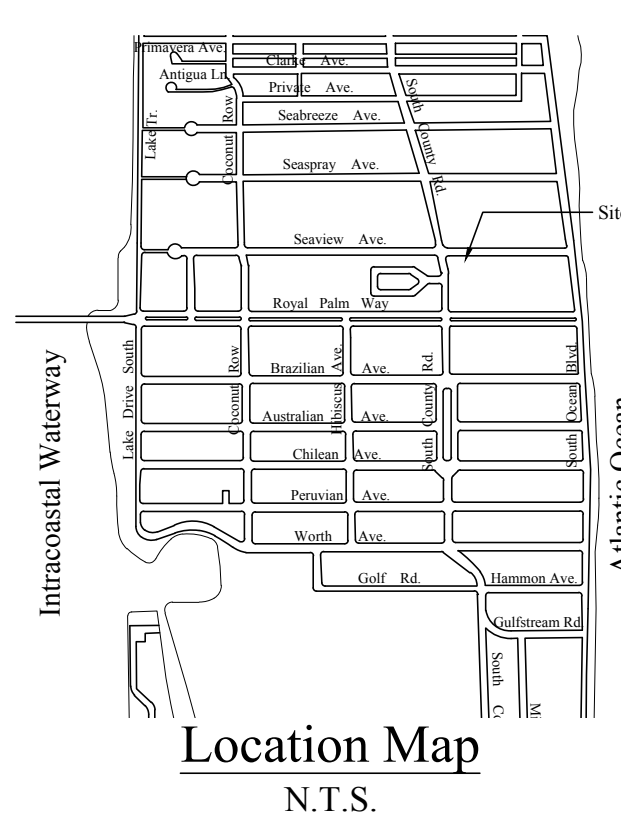
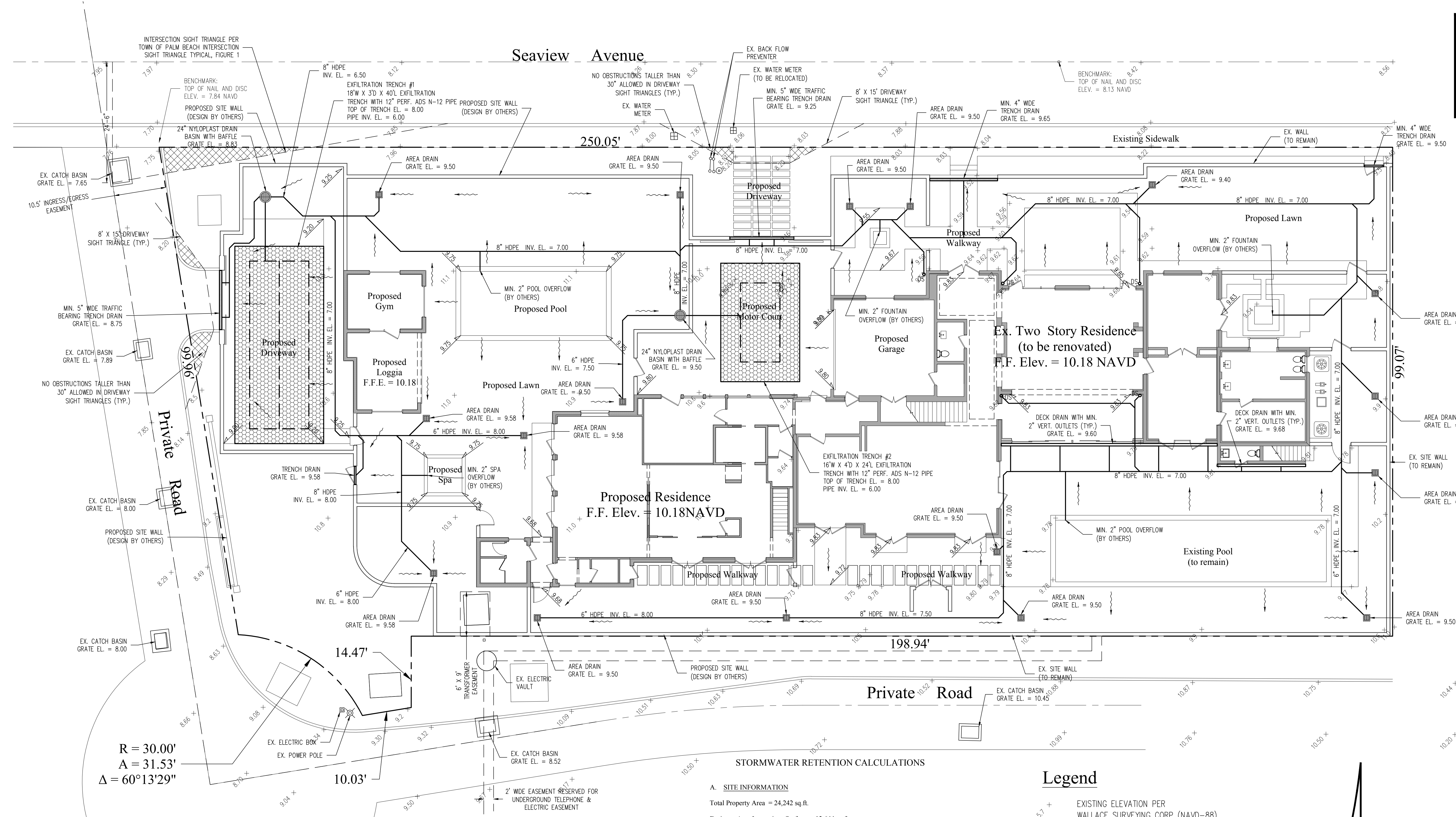
Revisions	
1	
2	
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9	
10	

Chad M. Gruber
FL P.E. No. 57466

Sheet No.
EC-1

Plan Background from Site Plan by
Smith and Moore Architects Received 1/3/24
ARC-23-165
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This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.



Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 24,242 sq.ft.

Drainage Area Impervious Surface = 12,644 sq.ft.

Drainage Area Pervious Surface = 11,598 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q=CiA) where:

C = 1.0 (impervious surface)

C = 0.2 (pervious surface)

i = 2 in/hr

Impervious Surface Runoff Volume:

1.0 x 2 in/hr x 12,644 sq.ft. x 1 ft./12 in. = 2,107 cu.ft.

Pervious Runoff Volume:

0.2 x 2 in/hr x 11,598 sq.ft. x 1 ft./12 in. = 387 cu.ft.

Total Volume to be Retained = 2,494 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1

L = Total Length of Trench Provided = 40 ft

W = Trench Width = 18 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

H2 = Depth to Water Table = 6.00 ft

DU = Un-Saturated Trench Depth = 3.00 ft

DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 2,069 cu.ft.

Exfiltration Trench #2

L = Total Length of Trench Provided = 24 ft

W = Trench Width = 16 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

H2 = Depth to Water Table = 6.00 ft

DU = Un-Saturated Trench Depth = 4.00 ft

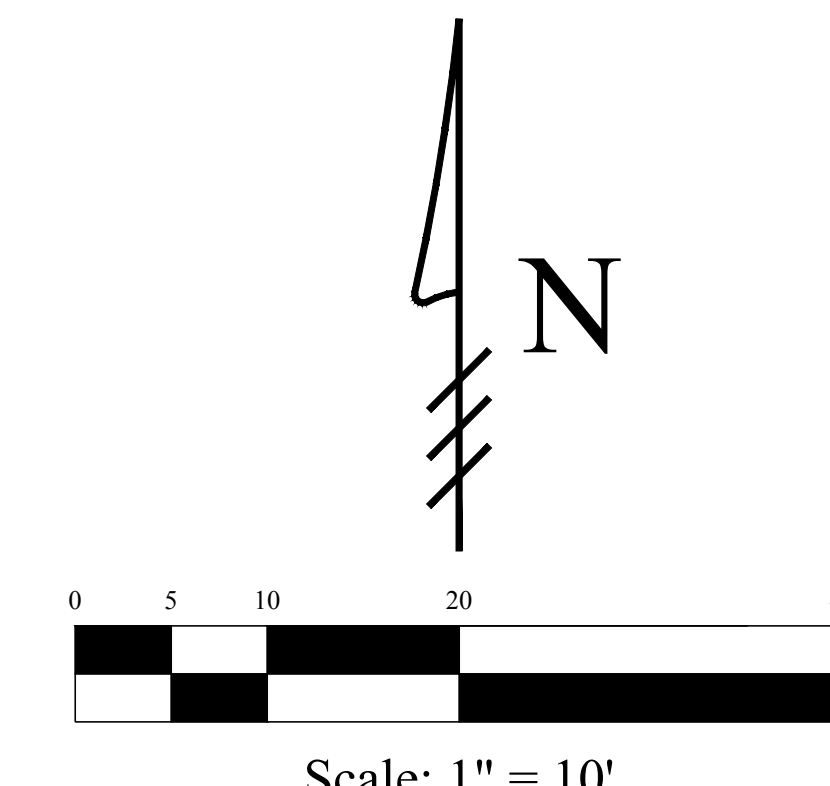
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 1,332 cu.ft.

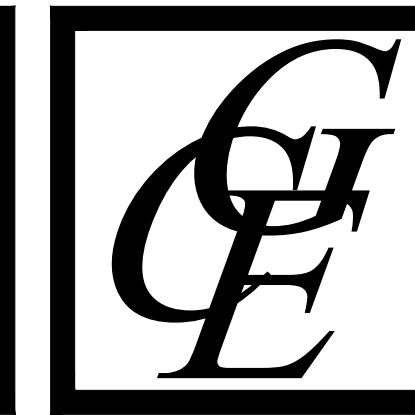
Total Volume Retained in Exfiltration Trenches = 3,401 cu.ft.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
5754 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 863.312.2841
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Project Information				
Project No.	2021-0155	Issue Date	03/27/2024	Scale
Scale	1" = 10'	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading & Drainage Plan For:
Proposed Renovation
Palm Beach, Florida
160 Seaview Avenue

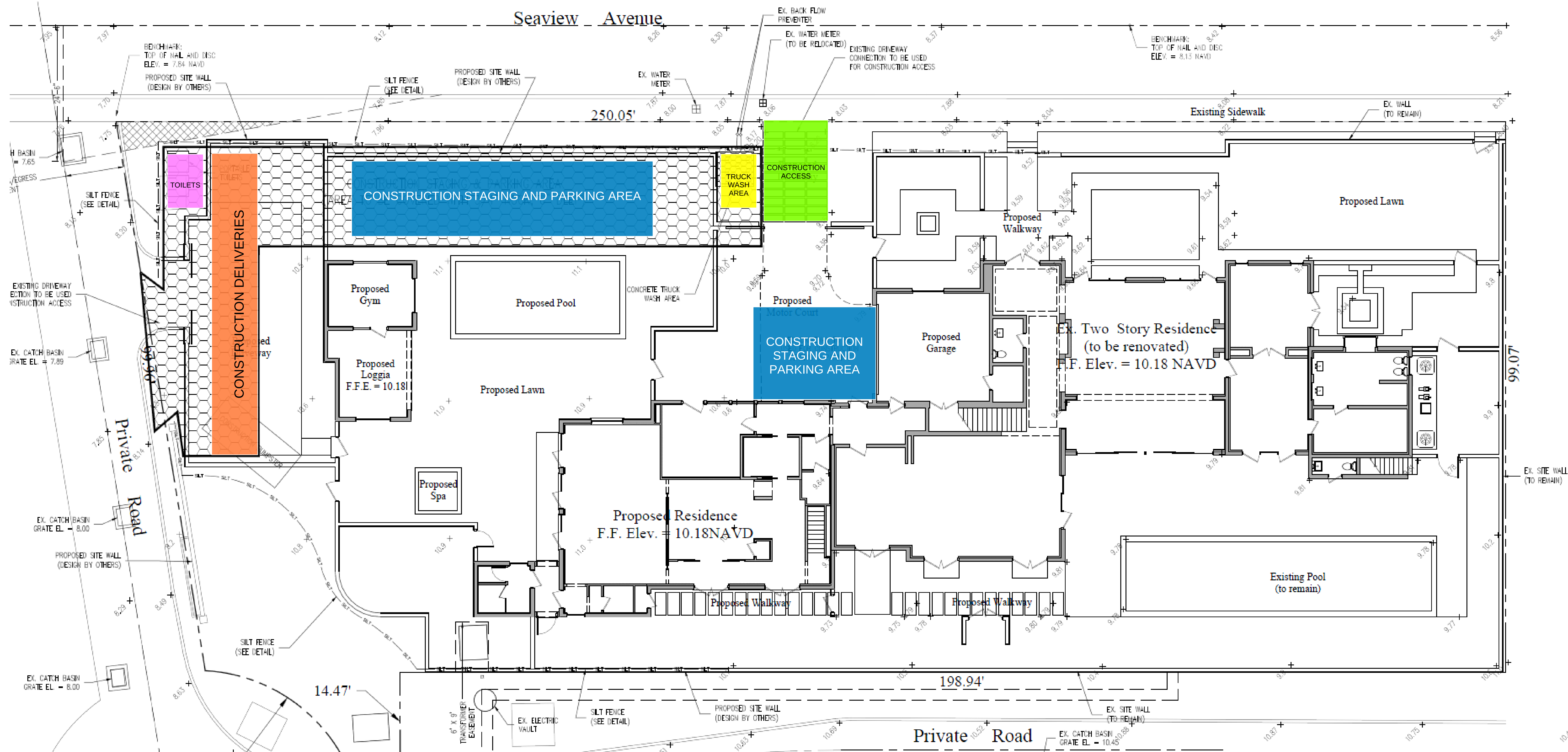
Revisions	
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Chad M. Gruber
FL P.E. No. 57466

Sheet No.
C-1

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Site Plan by
Smith and Moore Architects Received 3/20/24
ARC-23-165
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1 CONSTRUCTION	410 days		
2 COMMENCEMENT	20 days		
3 Start / Mobilization	1 days		
4 Silt Fencing, etc.	4 days		
5 Demolition	8 days		
6 Site Prep	5 days		
7 Surveying / Stake Out	2 days		
8 STRUCTURE	233 days		
9 Piling Installations & Cleanup	8 days		
10 Footings & Stem Walls	22 days		
11 SOG - Underground Roughs	15 days		
12 Slab On Grade	8 days		
13 1st Floor Block delivery	2 days		
14 1st Floor Vertical	25 days		
15 2nd Floor System	10 days		
16 2nd Floor Block Delivery	2 days		
17 2nd Floor Vertical	25 days		
18 Truss Installations, Sheathing & Engineering	15 days		
19 Windows & Exterior Doors	30 days		
20 Dry-in Roof	2 days		
21 Sitewalls	20 days		
22 INTERIORS	237 days		
23 Interior Framing	35 days		
24 MEP Roughs	50 days		
25 Insulation	5 days		
26 Hang & Finish Drywall	45 days		
27 Tile & Marble	30 days		
28 Flooring - Wood & Stone	36 days		
29 Interior Paint	90 days		
30 Interior Railings	15 days		
31 Millwork Installations	30 days		
32 Cabinetry & Countertops	45 days		
33 MEP Trim, Appliances, etc.	30 days		
34 Enclosures	30 days		
35 EXTERIORS	180 days		
36 Landscaping - Large Trees	5 days		
37 Roofing	30 days		
38 Swimming Pool - Structure	15 days		
39 Swimming Pool - Piping	10 days		
40 Site Drainage	15 days		
41 Hardscape - Driveway, Walkways, Decks	60 days		
42 Stucco	45 days		
43 Exterior Painting	40 days		
44 Exterior Finishes	30 days		
45 Exterior Railings	15 days		
46 Landscaping - Small Trees, plantings, sod	25 days		
47 Swimming Pool - Finishes	20 days		
48 FINAL INSPECTIONS / COMPLETIONS	43 days		
49 Punch Out	25 days		
50 Final Inspections	15 days		
51 Final Clean	10 days		
52 Temporary Certificate of Occupancy	2 days		
53 Furniture Deliveries	11 days		
54 Move-In	5 days		

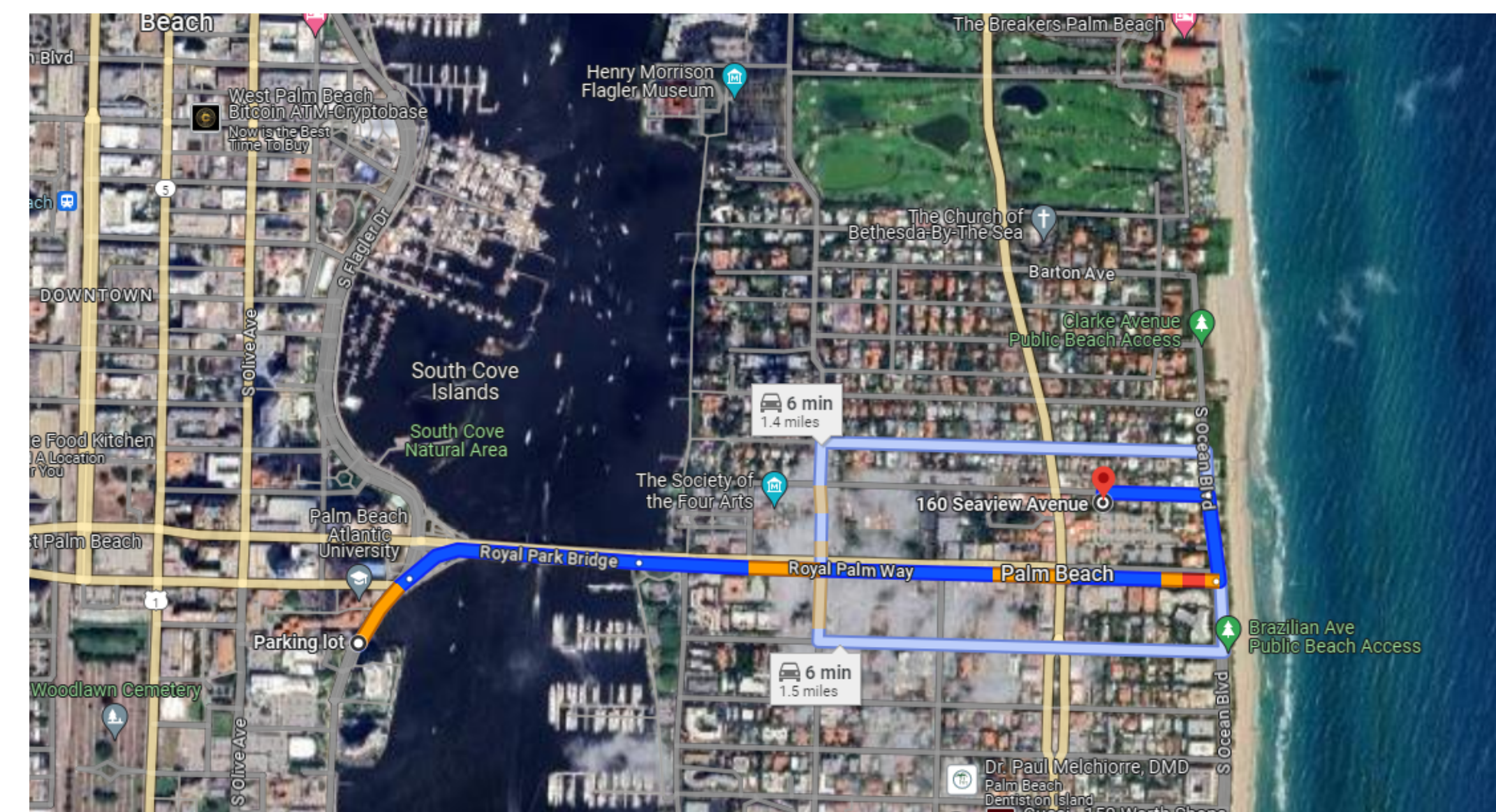
PROPOSED TRUCK LOGISTICS

A. ROADWAYS

- DELIVERIES AND WORKERS WILL BE USING THE ROYAL PARK BRIDGE, EAST TO ROYAL PALM WAY, TURNING NORTH ON SOUTH OCEAN BOULEVARD, THEN WEST ON SEAVIEW AVE TO 160-170 SEAVIEW AVE.

B. MAXIMUM TRUCK LENGTH = 30 FEET

C. TOTAL NUMBER OF ESTIMATED DELIVERIES GENERATED BY THE PROJECT = 100
-DUMP TRUCKS, DEMOLITION, FILL CONCRETE, EQUIPMENT, HARDSCAPE, LANDSCAPE, ETC.

SITE CONSTRUCTION STAGING, TRUCK
LOGISTICS PLAN AND SCHEDULE

SCALE: NTS

