

389 South Lake Drive Proposed Exterior Renovations

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Project Team

CLIENT: Three Eighty-Nine Corp Lessee
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Palm Beach, Florida 33480

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SCOPE OF WORK:

389 S. Lake Drive Condominium is currently in the process of a full exterior renovation including structural repairs and reconstruction. The required renovations include full removal of the existing concrete screen walls, waterproofing repairs, stucco repairs, structural repairs, and reconstruction of existing components. The proposed building improvements include new stucco and paint finishes, deletion of the concrete screen walls, enhancement of the window openings with new stucco surrounds and sills, new decorative stucco between windows, and associated improvements. There are no proposed site improvements.

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FINAL SUBMITTAL
APRIL 24, 2024

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CS-1

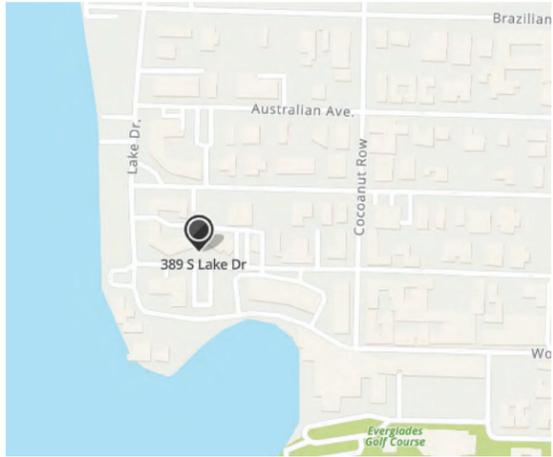
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AERIAL VIEW - FROM SOUTH WEST



LOCATION PLAN - AERIAL VIEW
N.T.S.



VICINITY LOCATION MAP



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Project Location

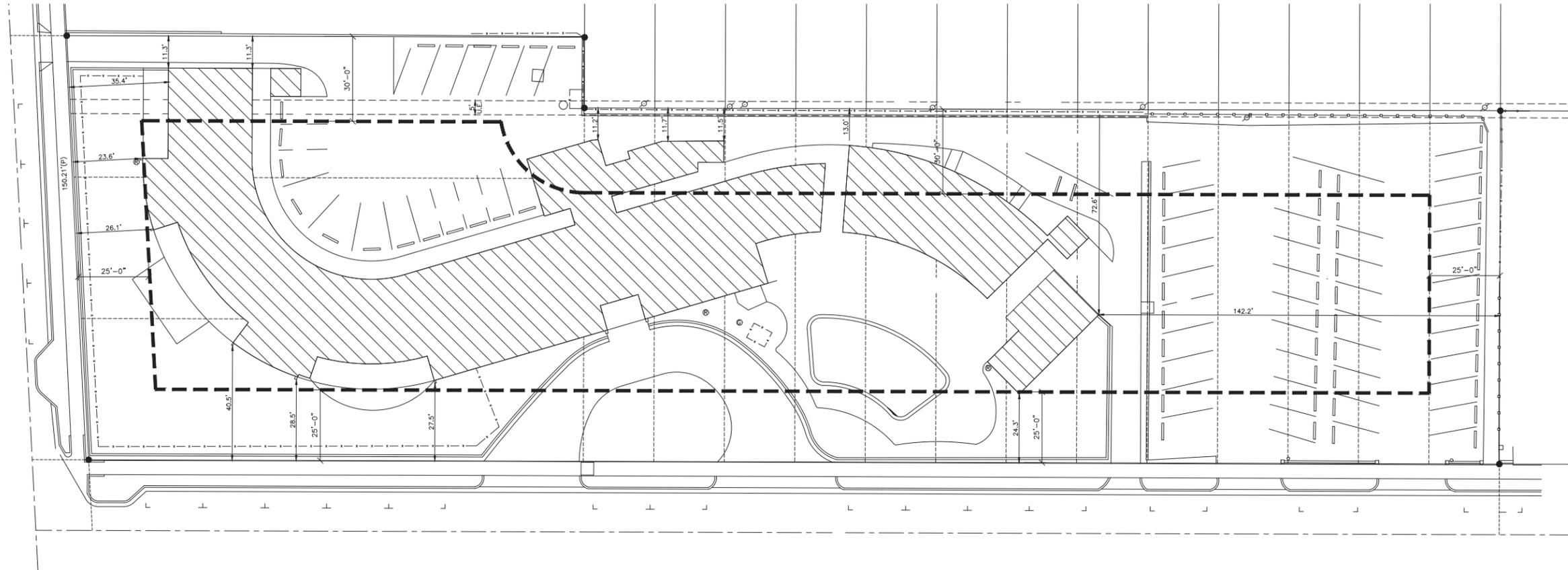
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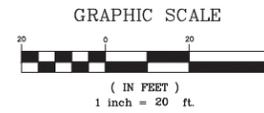
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OVERALL SITE PLAN
1" = 20'



Town of Palm Beach Planning Zoning and Building 360 S County Rd Palm Beach, FL 33480 www.townofpalmbeach.com			
Zoning Legend			
1	Property Address:	389 South Lake Drive	
2	Zoning District:	R-D(2) (Heavy Density Residential)	
3	Structure Type:	Condominium	
4		Required/Allowed	Existing
5	Lot Size (sq Ft)	40,000 SF min	67,572 s.f.
6	Lot Depth	200'	500.25'
7	Lot Width	150'	125'
8	Lot Coverage (Sq Ft and %)	40%	N/C
9	Enclosed Square Footage		N/A
10	Cubic Content Ratio (CCR) (R-B ONLY)		N/A
11	*Front Yard Setback (Ft.)	25'	24.7'/25.0'
12	*Side Yard Setback (1st Story) (Ft.)	30'	142.2'
13	*Side Yard Setback (2nd Story) (Ft.)	N/A	N/A
14	*Rear Yard Setback (Ft.)	30'	11.3', 11.2'
15	Angle of Vision (Deg.)		N/A
16	Building Height (Ft.)		N/C
17	Overall Building Height (Ft.)		N/C
18	Crown of Road (COR) (NAVD)		N/A
19	Max. Amount of Fill Added to Site (Ft.)		N/A
20	Finished Floor Elev. (FFE)(NAVD)		N/C
21	Zero Datum for point of meas. (NAVD)		N/C
22	FEMA Flood Zone Designation		AE
23	Base Flood Elevation (BFE)(NAVD)		N/C
24	Landscape Open Space (LOS) (Sq Ft and %)		N/C
25	Perimeter LOS (Sq Ft and %)		N/C
26	Front Yard LOS (Sq Ft and %)		N/C
27	*Native Plant Species %	Please refer to separate landscape legend.	

* Indicate each yard area with cardinal direction (N, S, E, W) if value is not applicable, enter N/A
** Provide native plant species calculation per category as required by Ord. 24-2021 on separate table if value is not changing, enter N/C

REV #P 20230304

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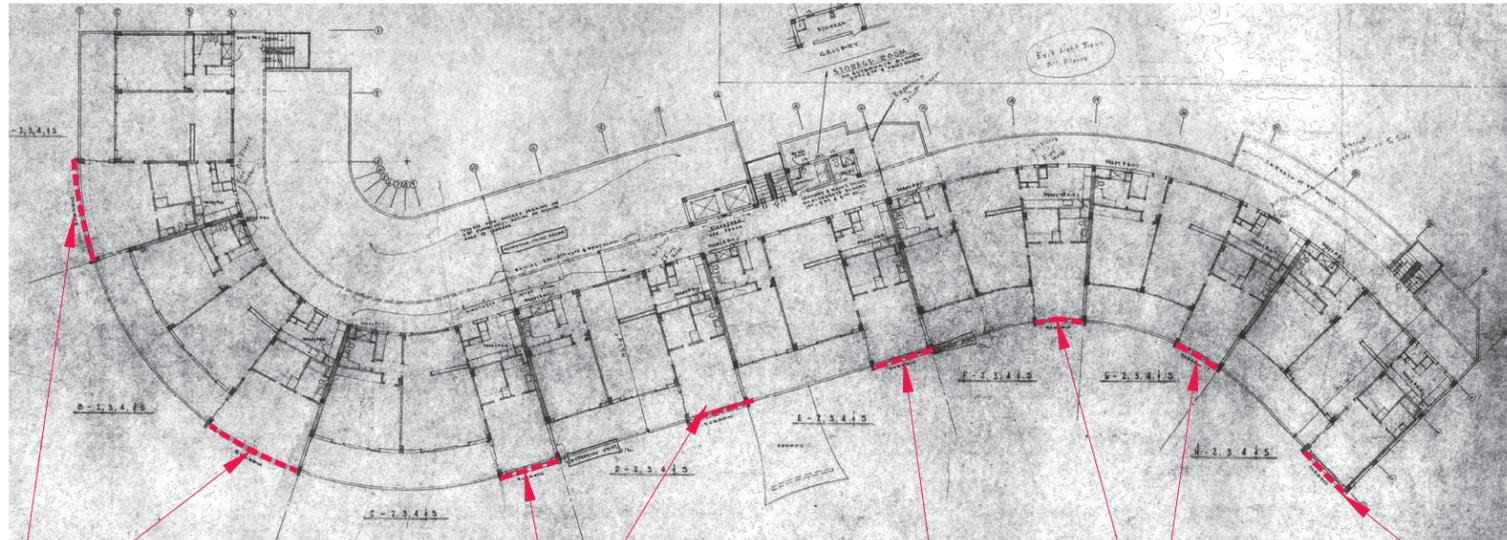
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PLAN OF TYPICAL FLOOR - ORIGINAL CDs

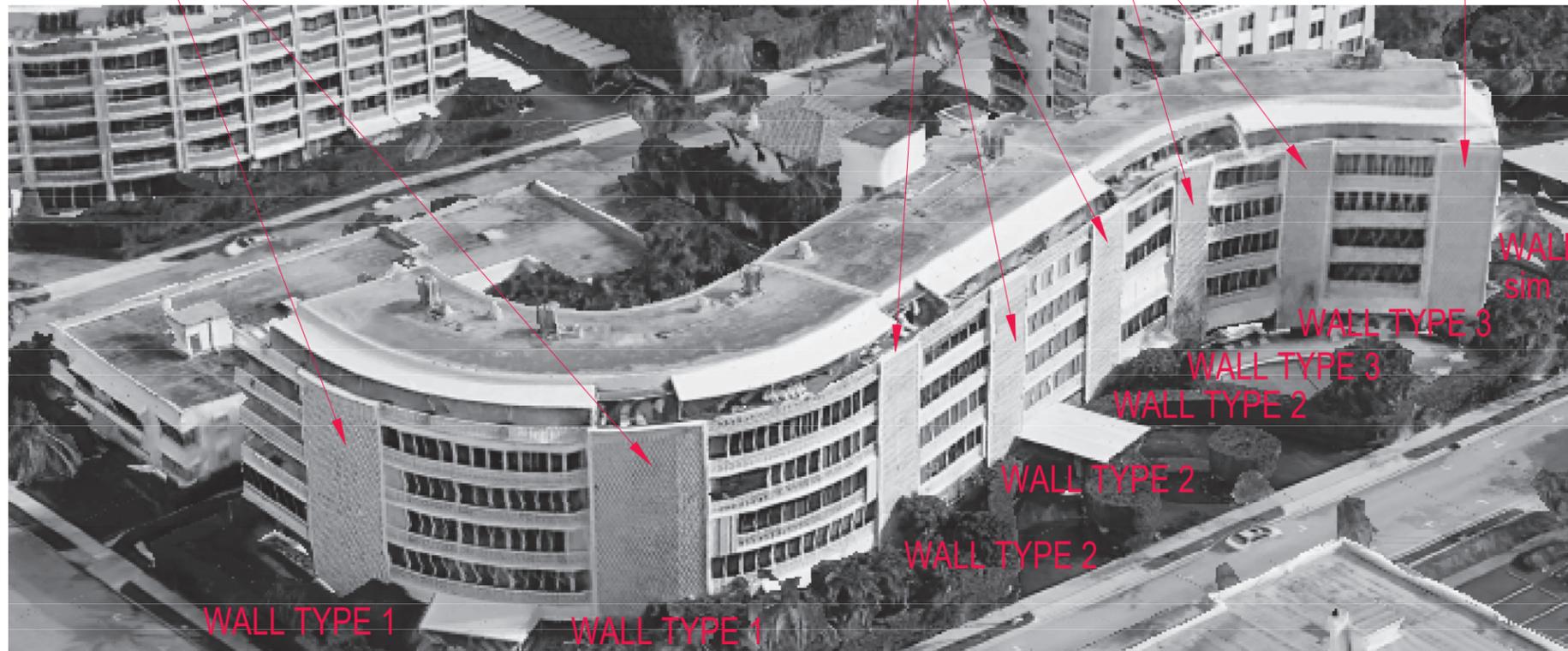


WALL TYPE 1

WALL TYPE 2

WALL TYPE 3

WALL TYPE 2
sim



WALL TYPE 1

WALL TYPE 1

WALL TYPE 2

WALL TYPE 2

WALL TYPE 2

WALL TYPE 3

WALL TYPE 3

WALL TYPE 2
sim

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AERIAL VIEW OF PREVIOUS CONDITIONS - FROM SW

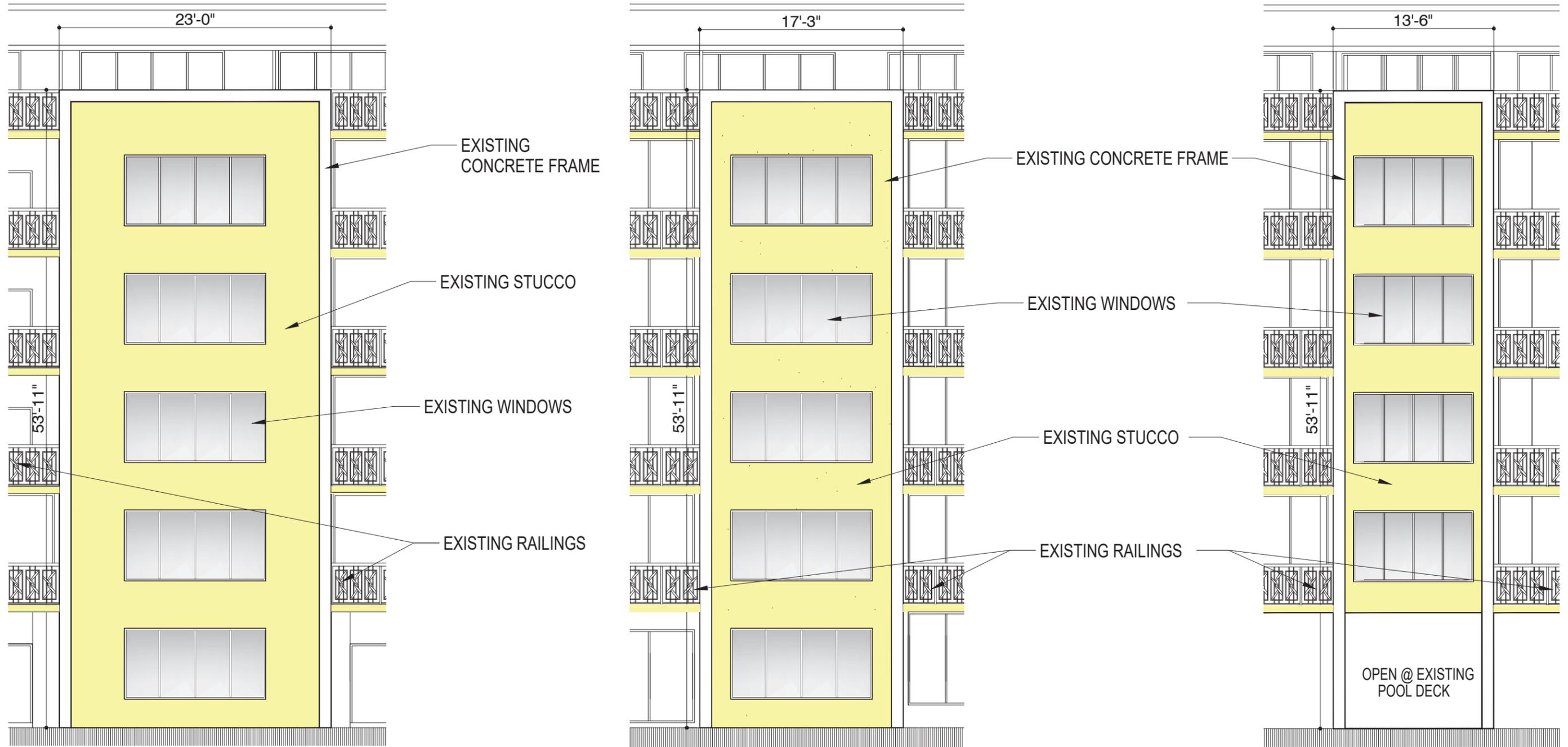
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WALL TYPE 1 - 23'-0" WIDE
@ WEST & SOUTH WEST
FACADE

WALL TYPE 2 - 17'-3" WIDE
@ SOUTH FACADE

WALL TYPE 3 - 13'-6" WIDE
@ SOUTH FACADE

EXISTING CONDITIONS - WALL TYPES 1, 2, & 3

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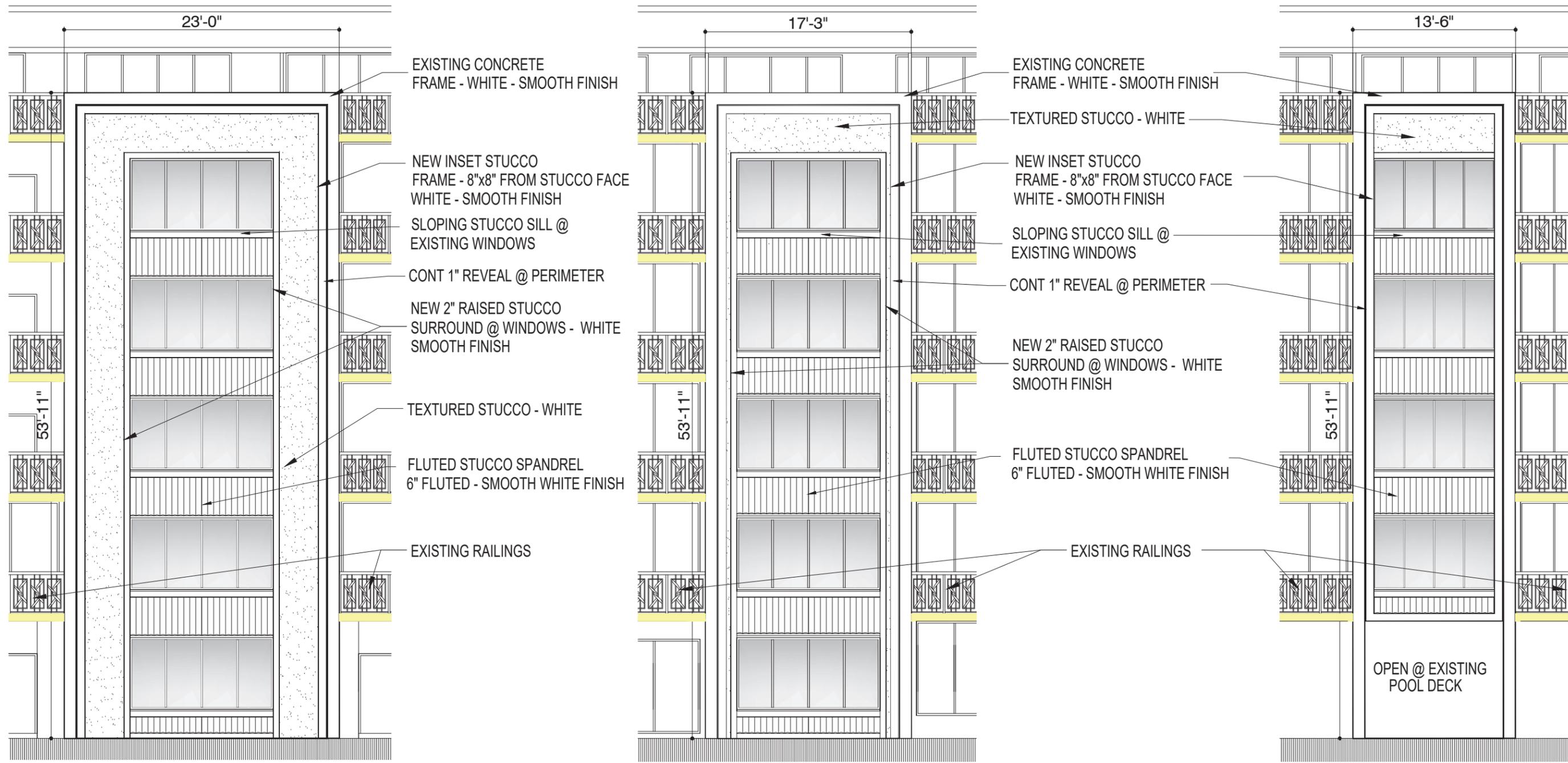
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EXISTING CONCRETE
FRAME - WHITE - SMOOTH FINISH

NEW INSET STUCCO
FRAME - 8"x8" FROM STUCCO FACE
WHITE - SMOOTH FINISH

SLOPING STUCCO SILL @
EXISTING WINDOWS

CONT 1" REVEAL @ PERIMETER

NEW 2" RAISED STUCCO
SURROUND @ WINDOWS - WHITE
SMOOTH FINISH

TEXTURED STUCCO - WHITE

FLUTED STUCCO SPANDREL
6" FLUTED - SMOOTH WHITE FINISH

EXISTING RAILINGS

EXISTING CONCRETE
FRAME - WHITE - SMOOTH FINISH

TEXTURED STUCCO - WHITE

NEW INSET STUCCO
FRAME - 8"x8" FROM STUCCO FACE
WHITE - SMOOTH FINISH

SLOPING STUCCO SILL @
EXISTING WINDOWS

CONT 1" REVEAL @ PERIMETER

NEW 2" RAISED STUCCO
SURROUND @ WINDOWS - WHITE
SMOOTH FINISH

FLUTED STUCCO SPANDREL
6" FLUTED - SMOOTH WHITE FINISH

EXISTING RAILINGS

WALL TYPE 1 - 23'-0" WIDE
@ WEST & SOUTH WEST
FACADE

WALL TYPE 2 - 17'-3" WIDE
@ SOUTH FACADE

WALL TYPE 3 - 13'-6" WIDE
@ SOUTH FACADE

OPEN @ EXISTING
POOL DECK

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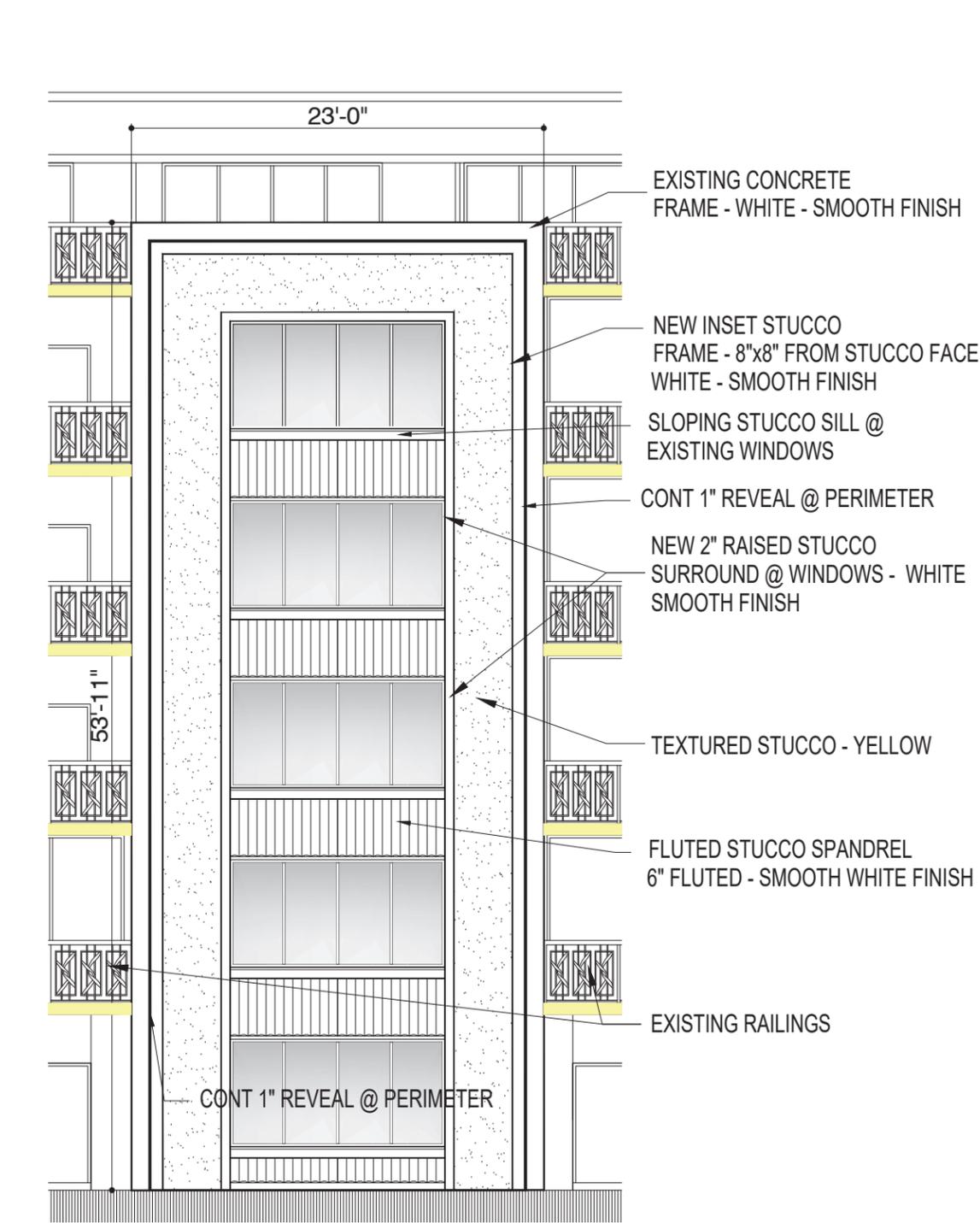
PROPOSED DETAILED ELEVATIONS - WALL TYPES 1, 2, & 3

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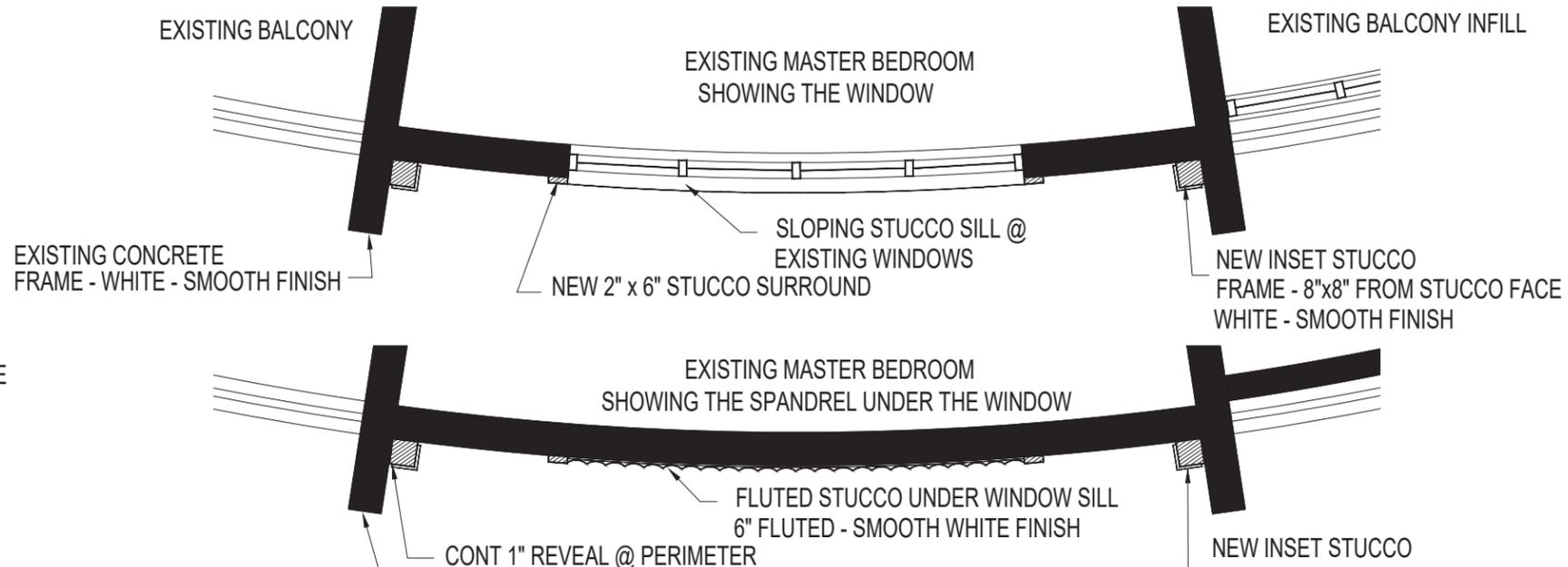
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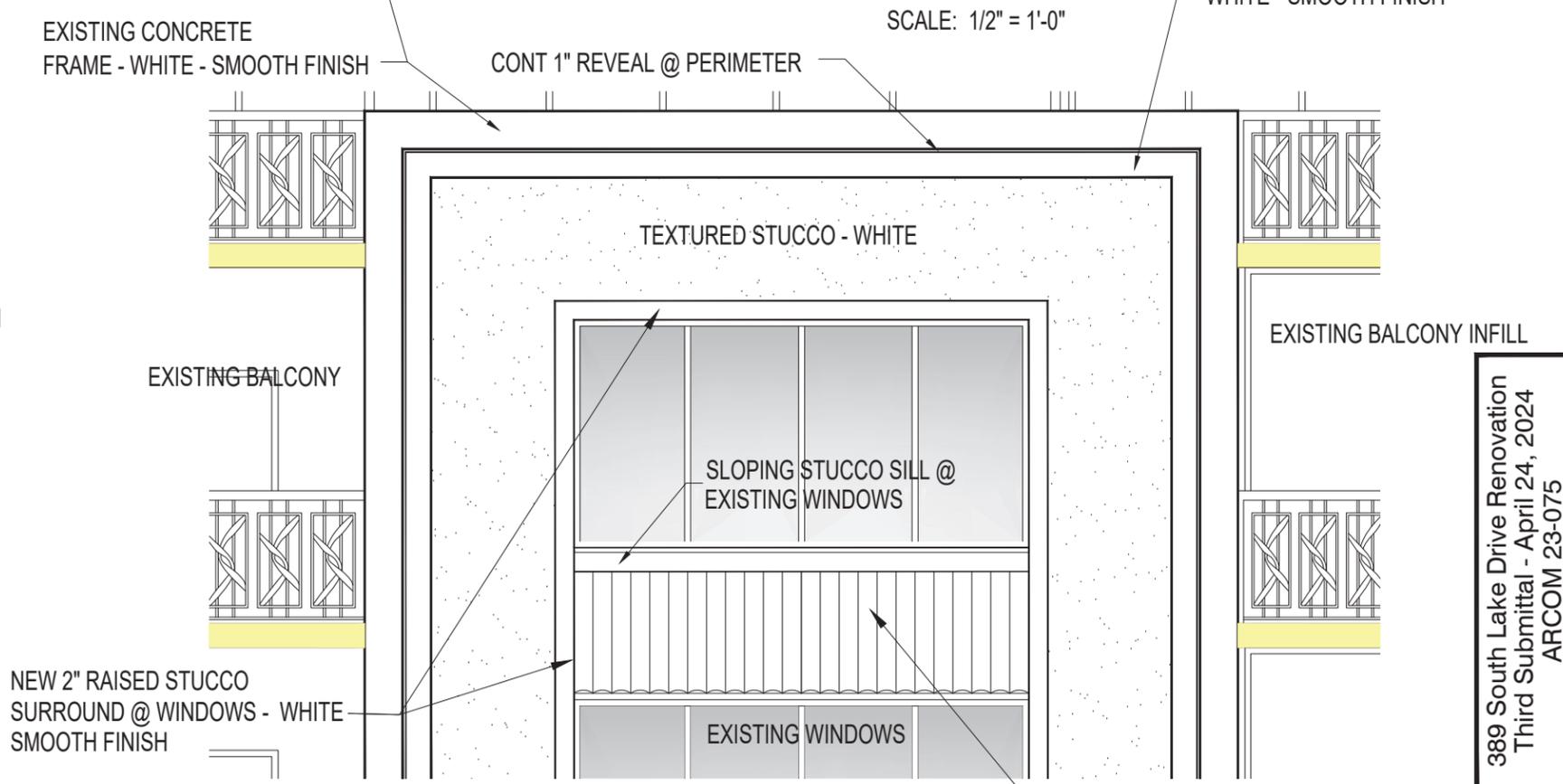
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WALL TYPE I - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



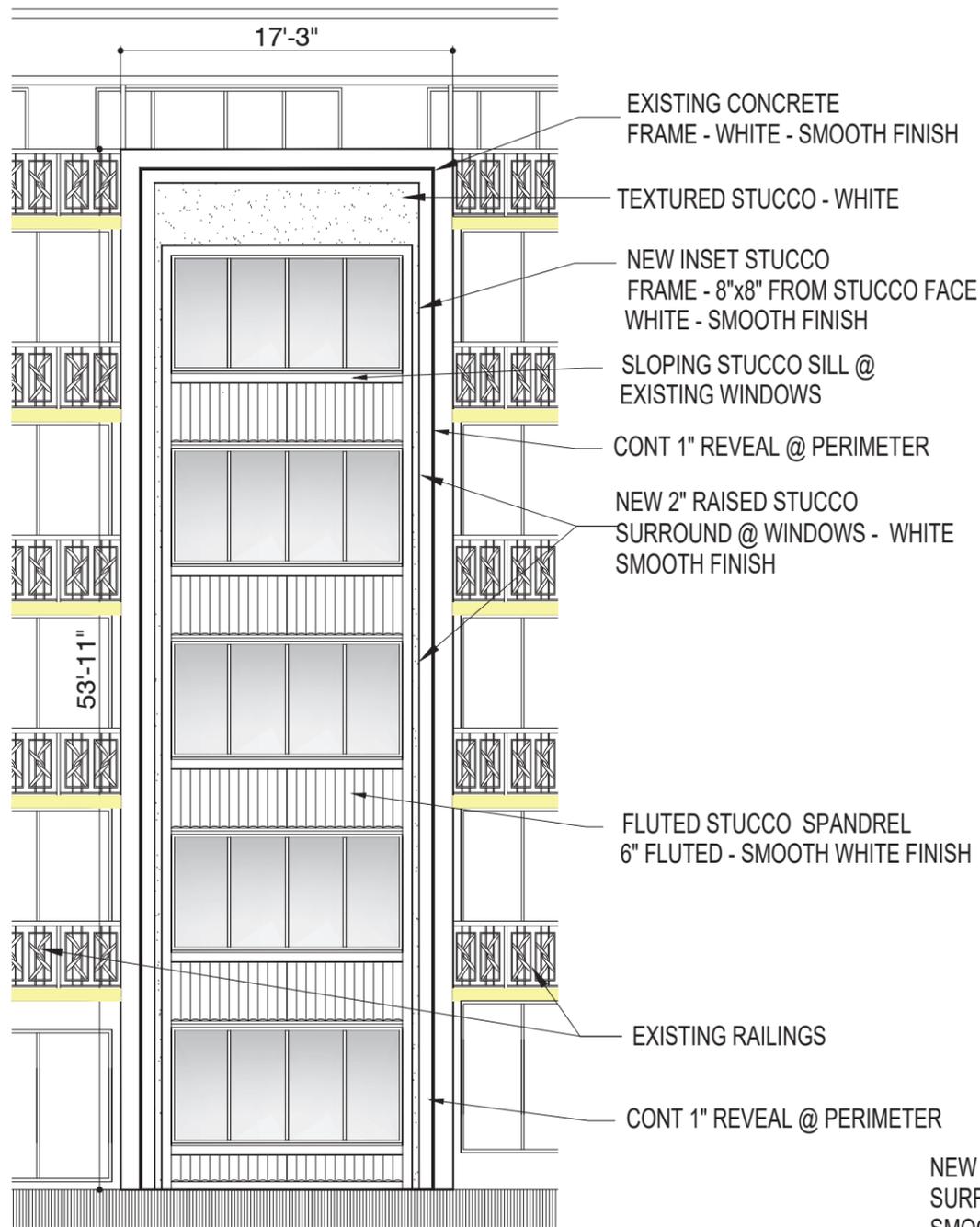
PLAN DETAILS - WALL TYPE I
SCALE: 1/2" = 1'-0"



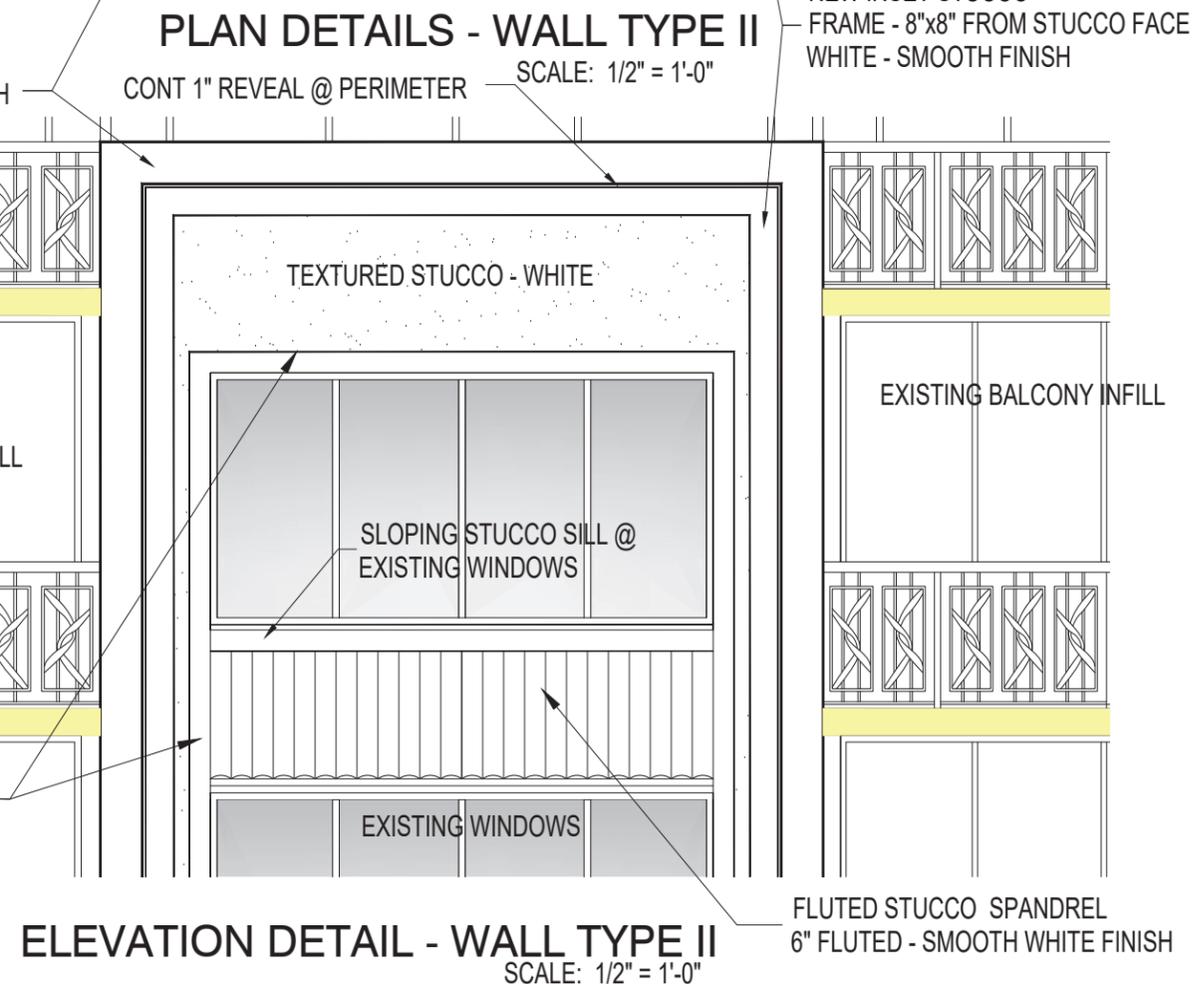
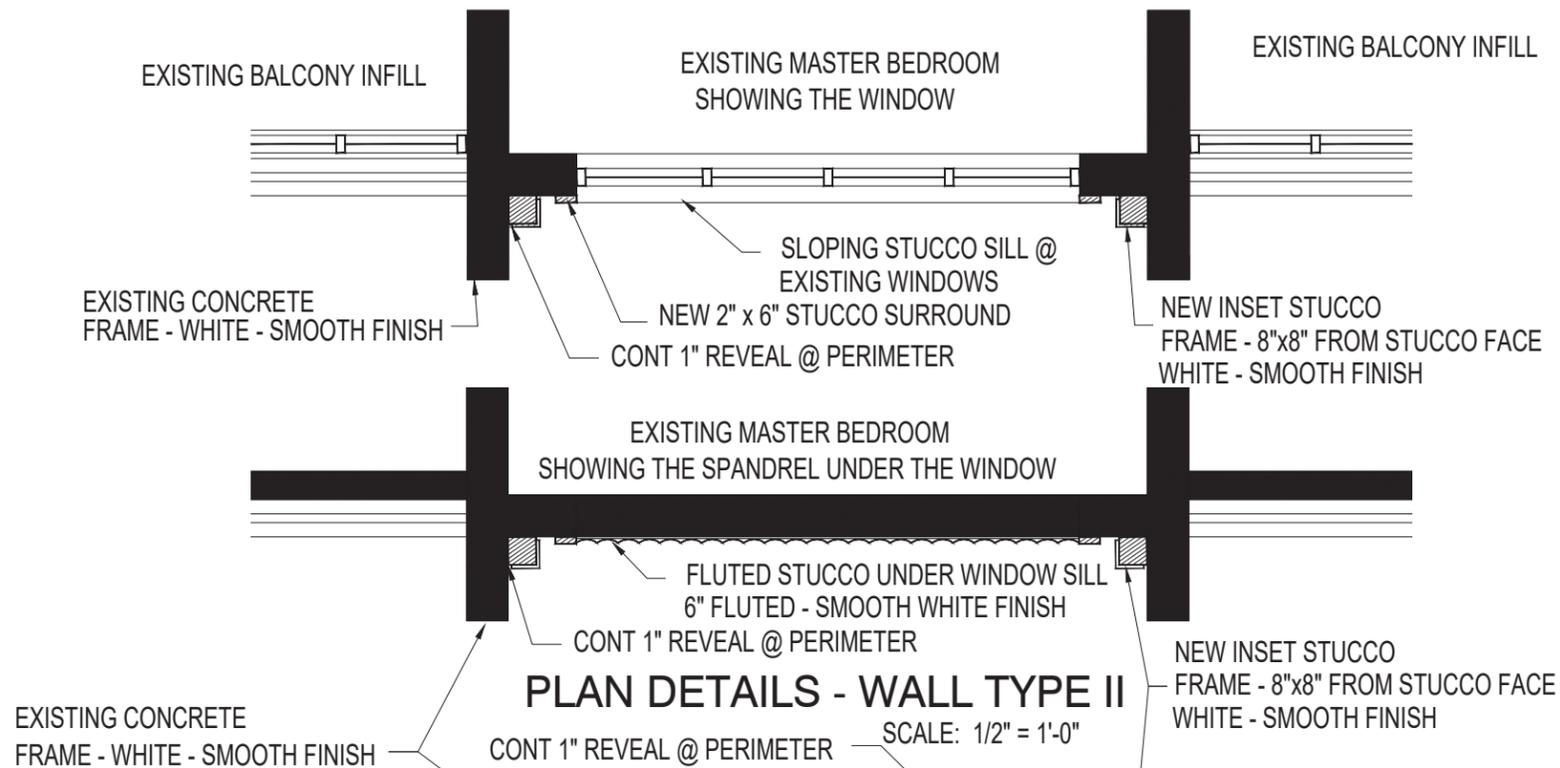
ELEVATION DETAIL - WALL TYPE I
SCALE: 1/2" = 1'-0"

WALL TYPE I - PROPOSED PLAN & DETAILED ELEVATIONS

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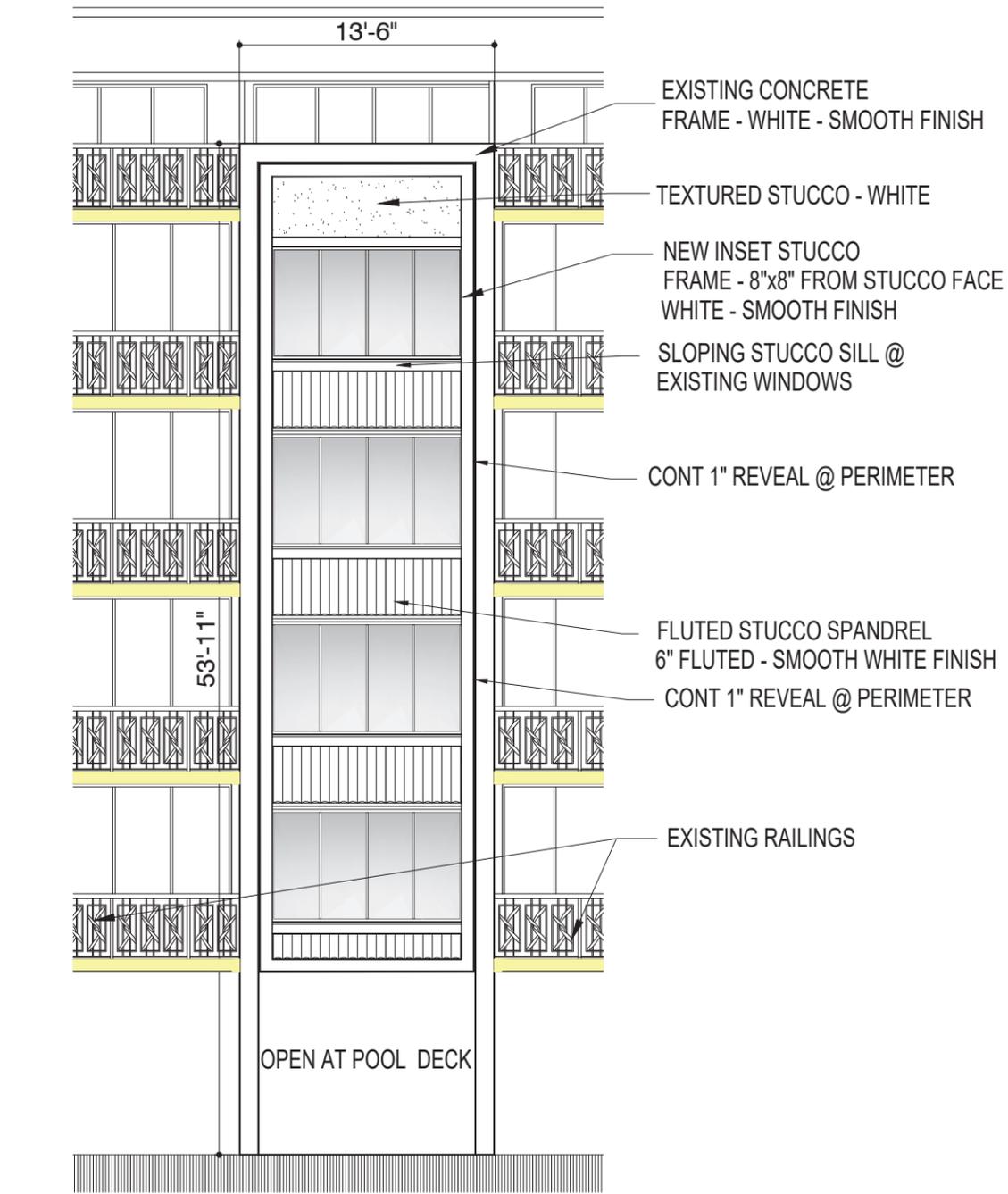
WALL TYPE II - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



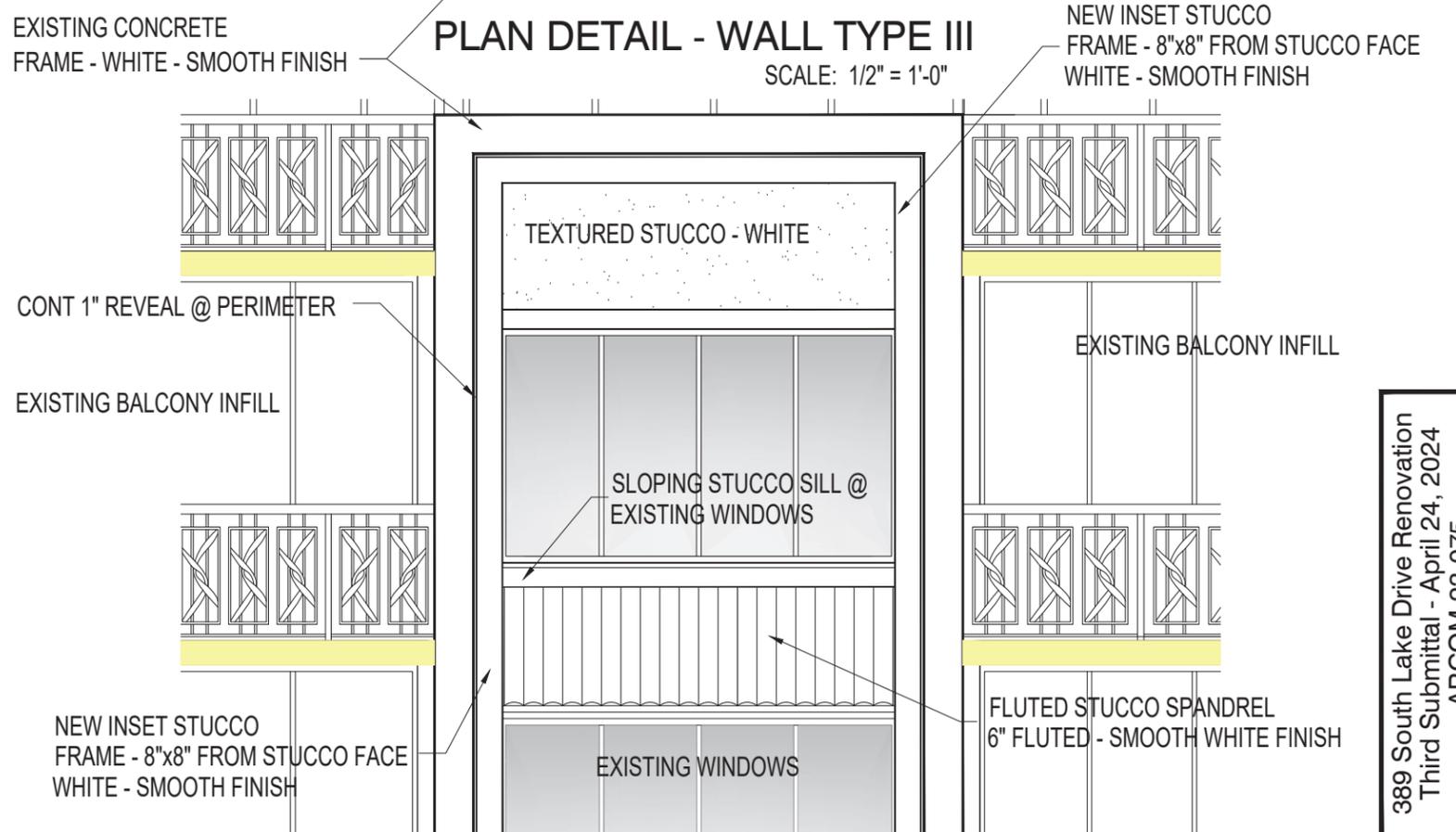
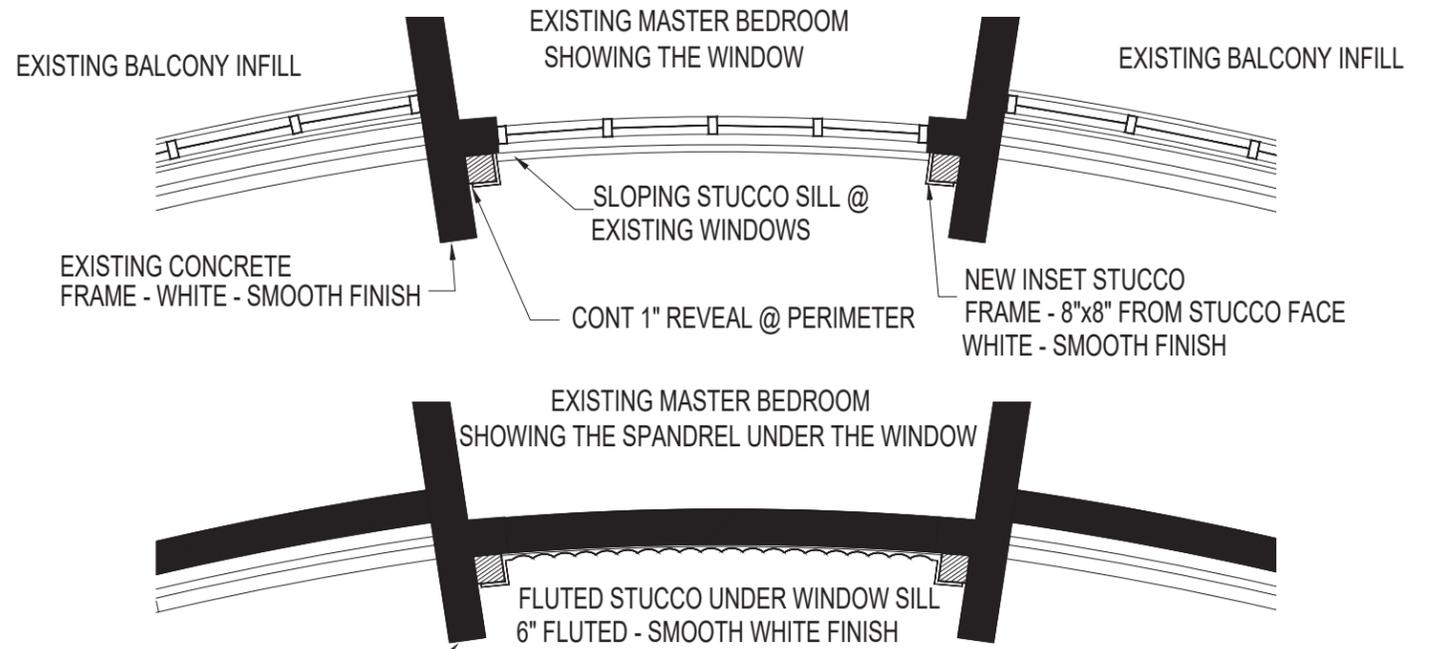
ELEVATION DETAIL - WALL TYPE II
SCALE: 1/2" = 1'-0"

WALL TYPE II - PROPOSED PLAN & DETAILED ELEVATIONS

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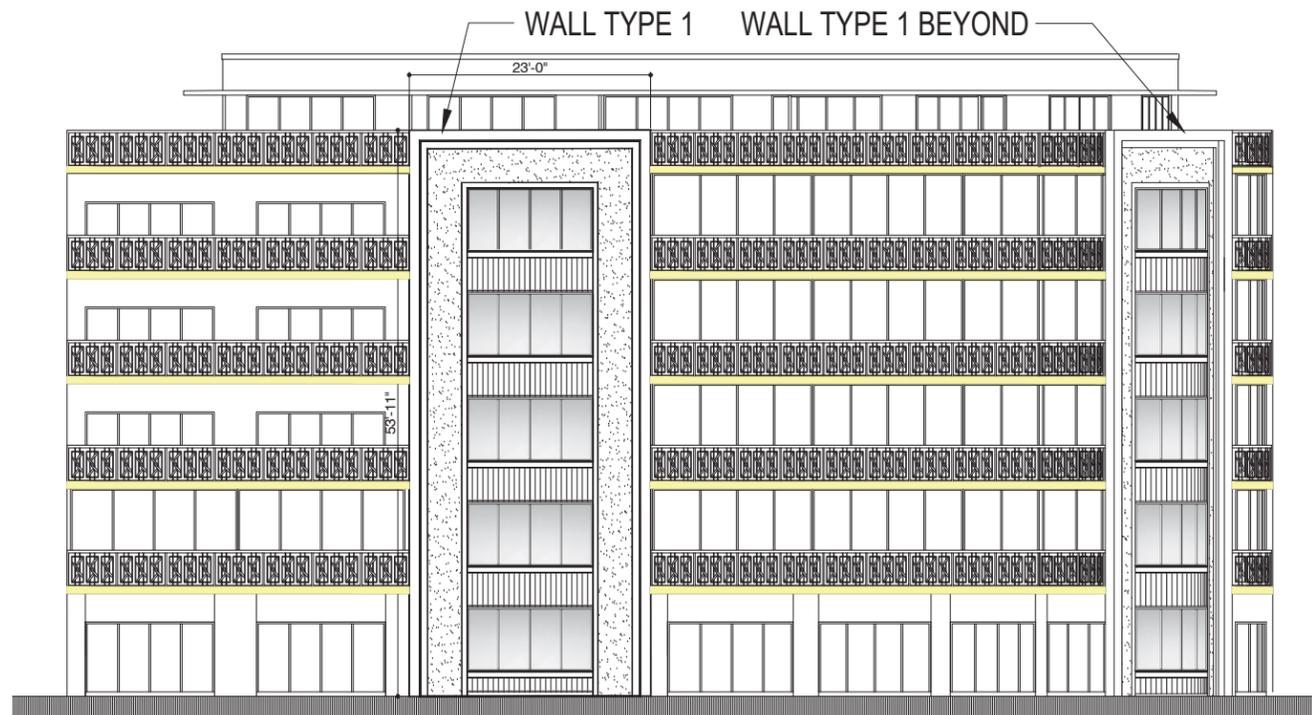
WALL TYPE III - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



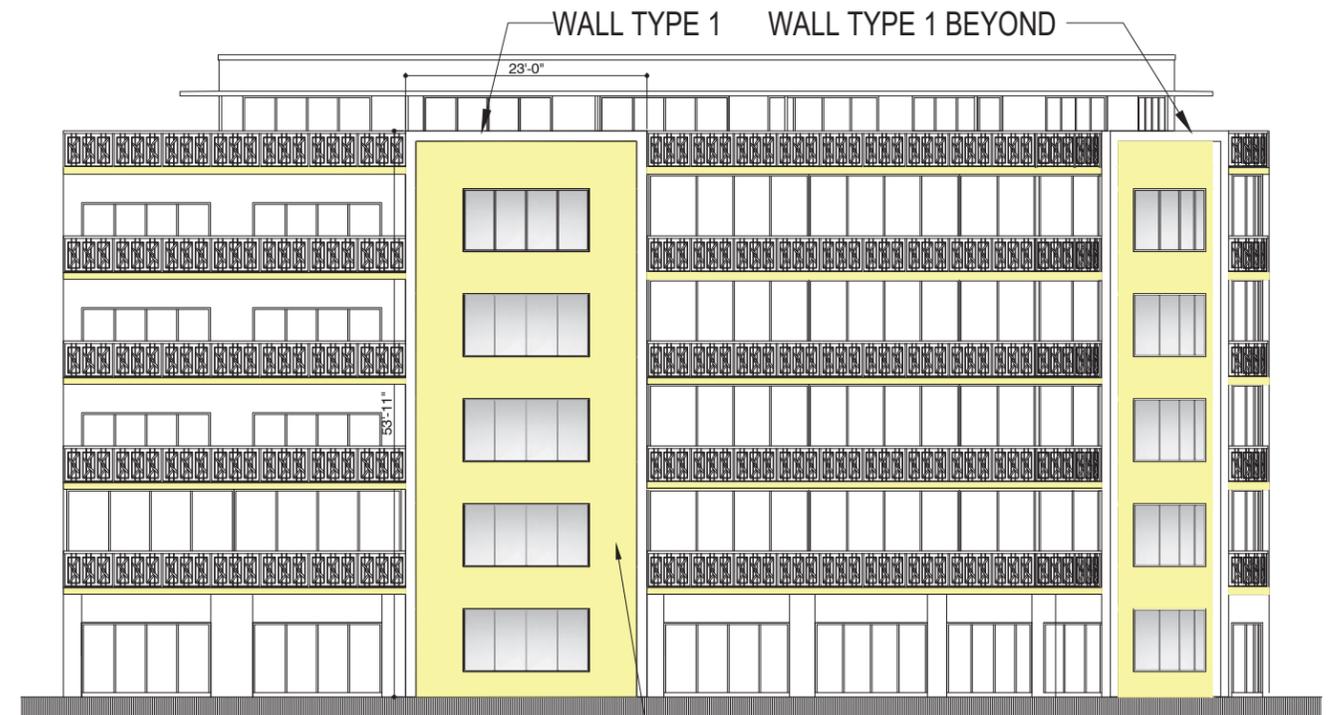
ELEVATION DETAIL - WALL TYPE III
SCALE: 1/2" = 1'-0"

WALL TYPE III - PROPOSED PLAN & DETAILED ELEVATIONS

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PROPOSED WEST ELEVATION



EXISTING WEST ELEVATION

EXISTING & PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

NOTE: THESE VIEWS ARE OBLIQUE - THE BUILDING IS S-SHAPED.

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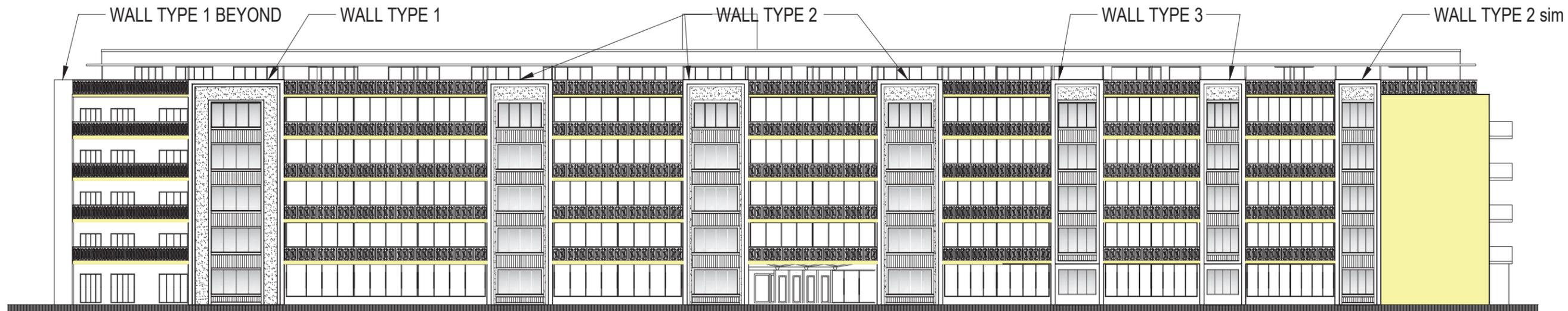
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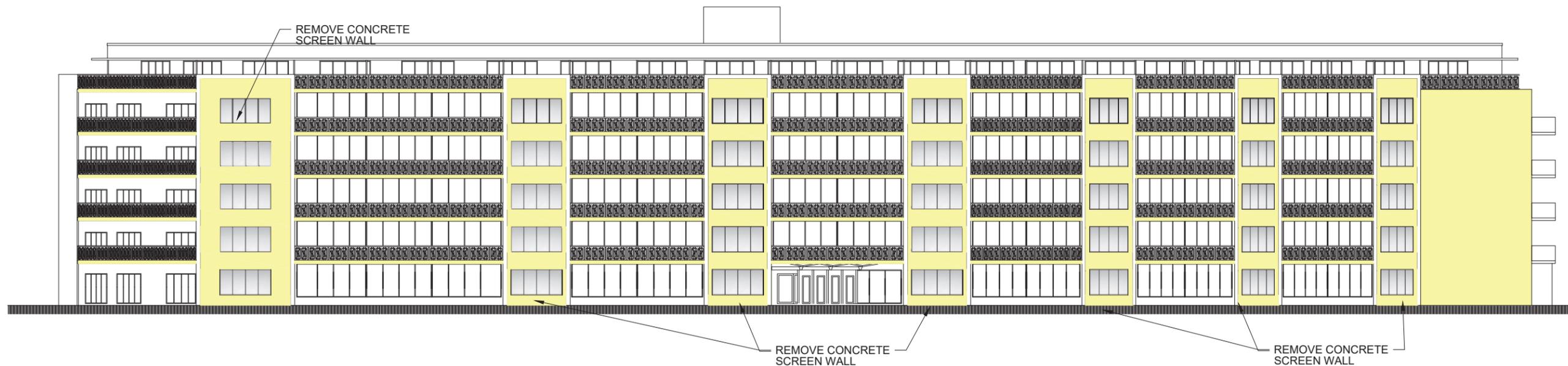
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PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION

PROPOSED & EXISTING EXTERIOR ELEVATIONS VIEWS FROM PERUVIAN AVENUE

SCALE: 3/32" = 1'-0"

NOTE: THESE VIEWS ARE OBLIQUE - THE BUILDING IS S-SHAPED.

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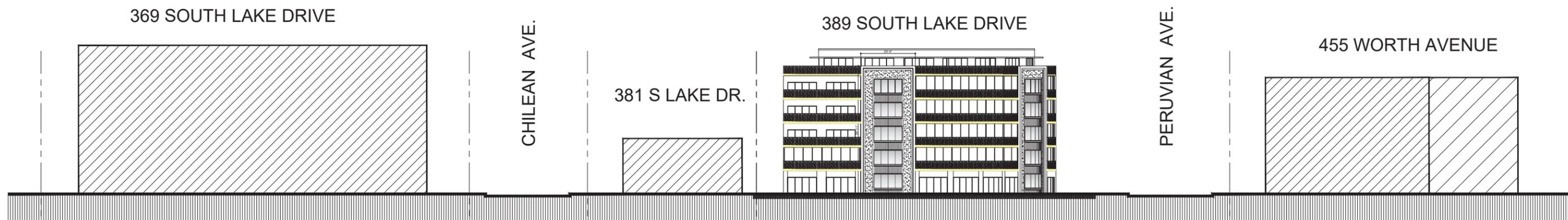
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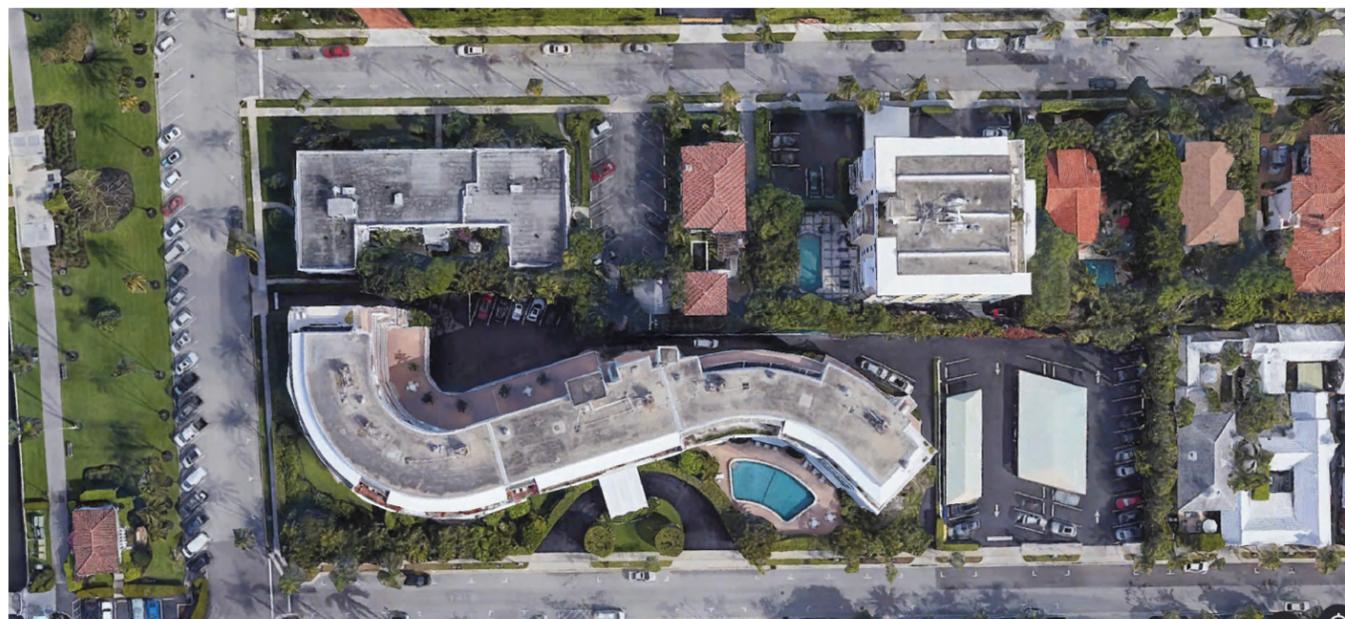
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STREETSCAPE VIEW FROM SOUTH LAKE DRIVE



STREETSCAPE VIEW FROM PERUVIAN AVENUE



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STREETSCAPE ELEVATIONS

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EXISTING VIEW



PROPOSED VIEW

WALL TYPE I SHOWN

EXISTING & PROPOSED VIEWS FROM SOUTH LAKE DRIVE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPE I SHOWN

DETAILED VIEWS FROM SOUTH LAKE DRIVE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPE II SHOWN

DETAILED VIEWS FROM PERUVIAN AVENUE ADJACENT TO PORTE COCHERE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPES II & III SHOWN

EXISTING & PROPOSED VIEWS FROM PERUVIAN AVENUE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPES II & III SHOWN

DETAILED VIEWS FROM PERUVIAN AVENUE

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