

# FINAL SUBMITTAL

ARC-24-030

202 OSCEOLA WAY

**GENERAL CONTRACTOR (APPLICANT):**

ELLEN ANDEL, ELLEN ANDEL CUSTOM HOMES  
471 NORTH JUNO LANE  
JUNO BEACH, FLORIDA 33408  
(561) 846-0808

**ARCHITECT:**

HAROLD SMITH, SMITH AND MOORE ARCHITECTS  
1500 S OUTH OLIVE AVENUE  
WEST PALM BEACH, FLORIDA 33401  
(561) 835-1888

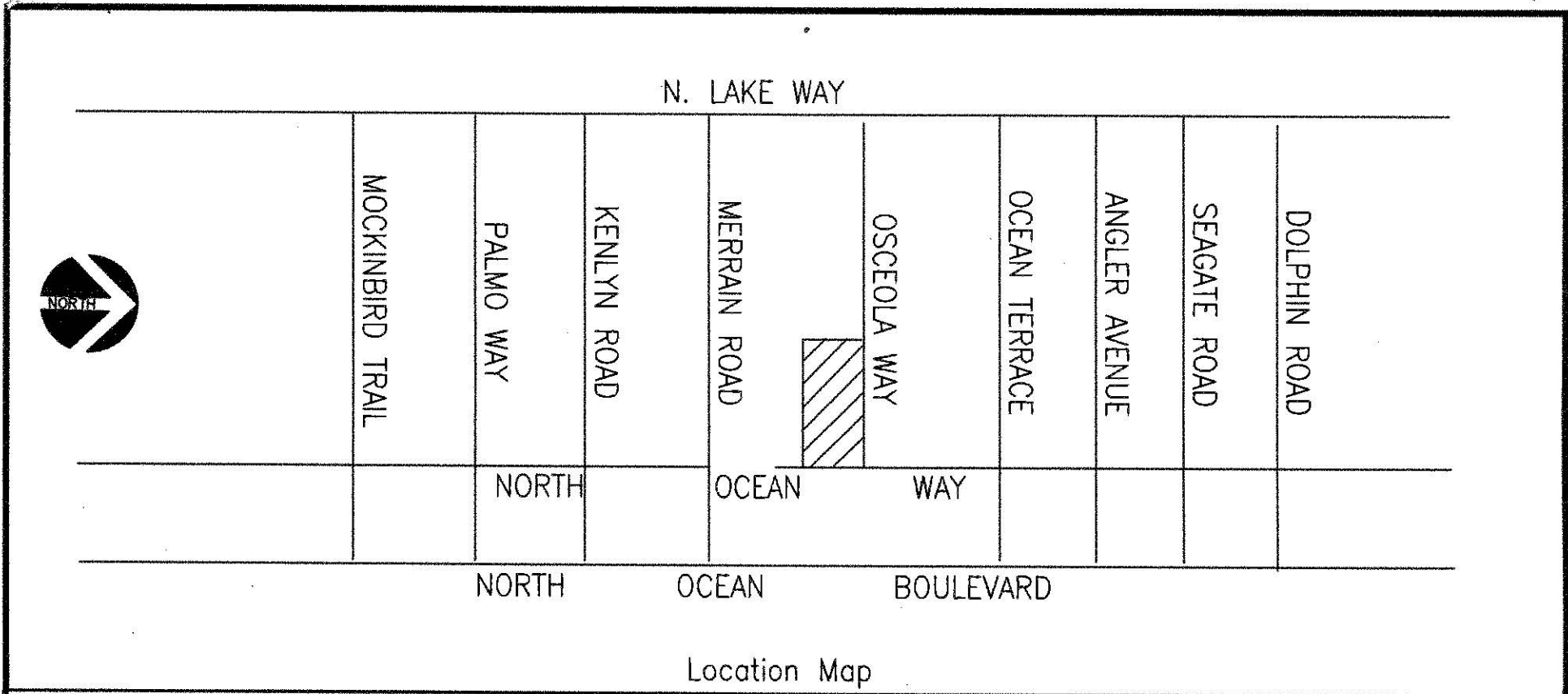
**SCOPE OF WORK:** INSTALL NEW PANEL GARAGE DOORS IN LIEU OF LOUVER GARAGE DOORS PREVIOUSLY APPROVED BY ARCOM.

**SHEET INDEX:**

PROPERTY SURVEY  
VICINITY LOCATION MAP  
LOCATION PLAN  
PHOTO SHEET 1  
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SITE PLAN  
ELEVATIONS  
ARCHITECTURAL DETAILS  
EXTERIOR MATERIAL & FINISHES SHEET  
CONSTRUCTION SCREENING PLAN  
CONSTRUCTION STAGING AND LOGISTICS PLAN

**SUBMITTAL DATE:** MARCH 11, 2024

**PROJECTED DATE OF HEARING:** APRIL 24, 2024



**LEGAL DESCRIPTION:**  
LOT 13, PLAT OF OSCEOLA WAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23, PAGE 131, PUBLIC RECORDS OF PALM BEACH COUNTY, FLOIRIDA;  
AND  
AN UNDIVIDED 1/14TH FEE SIMPLE INTEREST, IN COMMON WITH OTHER OWNERS OF LOTS LOCATED IN THE PLAT OF OSCEOLA WAY, HEREIN REFERRED TO, IN AND TO THAT CERTAIN UNNUMBERED LOT DESIGNATED AS "RESERVED FOR ALL LOT OWNERS OF OSCEOLA WAY" LOCATED BETWEEN LOT 1-A AND LOT 14-A ON THE PLAT OF OSCEOLA WAY RECORDED IN PLAT BOOK 23, PAGE 131, AS RECORDED IN OFFICIAL RECORD BOOK 8678, PAGE 330, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**SURVEYOR'S NOTES:**

1. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT NUMBER FACC 16180, DATED DECEMBER 23, 1991 AS PREPARED BY FIRST AMERICAN TITLE INSURANCE CO., THE DESCRIPTION, AND EASEMENTS AS SHOWN HEREIN ARE AS STATED IN SAID INSTRUMENT.
2. ELEVATIONS AS SHOWN HEREON ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988. REFERENCE BENCHMARK IS A PALM BEACH COUNTY DISK DESIGNATED "A-310", WHICH HAS AN ESTABLISHED ELEVATION OF 3.17.
3. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT ADDRESSED AS A PART OF THIS SURVEY. ONLY VISIBLE ABOVE GROUND IMPROVEMENTS HAVE BEEN SHOWN. THERE MAY EXIST UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER MATTERS WHICH HAVE NOT BEEN REFLECTED ON THIS SURVEY.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DISTANCES ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DESIGN PURPOSES.
5. ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THIS OFFICE
6. THIS MAP, AS DEPICTED IN ITS GRAPHIC FORM, BEARING THE SIGNATURE AND SEAL OF THE SURVEYOR, IS THE OFFICIAL DOCUMENT OF THE LANDS AS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE MAP.
7. THIS SURVEY IS PREPARED FOR THE PARTIES AS LISTED HEREON AND IS NOT ASSIGNABLE TO OTHER PARTIES WITHOUT THE WRITTEN CONSENT OF THIS OFFICE.
8. THIS SURVEY DOCUMENT, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED AND CERTIFIED. REUSE OF AND/OR RELIANCE ON THIS DOCUMENT FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY DEAN SURVEYING AND MAPPING, INC. SHALL BE WITHOUT LIABILITY TO DEAN SURVEYING AND MAPPING, INC.

**THIS BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR:**  
**DENNIS & ROSANNE VOLLMAN**

PROPERTY LIES WITHIN A FLOOD ZONE X AS DERIVED FROM THE NATIONAL INSURANCE PROGRAM RATE MAP COMMUNITY PANEL NUMBER 12099C0393 F

PROPERTY ADDRESS: 202 OSCEOLA WAY, PALM BEACH, FLORIDA 33480

**NOTE:**  
This drawing is not valid without embossed seal or Digital Signature of Surveyor.

**Richard N Dean**

Digitally signed by Richard N Dean  
Date: 2023.10.17 08:03:42 -04'00'

RICHARD N. DEAN  
Professional Surveyor & Mapper  
Florida Certificate No. 4406  
L.B. 6936

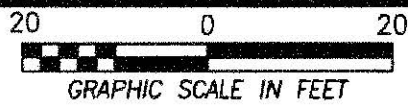
**Dean Surveying & Mapping, Inc.**

The Measuring Line Shall Go Forth" Jeremiah 31:39

4201 Westgate Ave.  
Suite A3  
West Palm Beach, Florida 33409

Tel: (561) 625-8748      Facsimile (561) 626-4558

FIELD:	B.P./L.J.	DATE:	11/20/19
DRAWN:	M.R.	SCALE:	N/A
SHEET:	1 of 2	JOB No.:	019-1006



TITLE POLICY NO. FAS 16180, DATED 12/23/1991

ITEMS 1-7 STANDARD EXCEPTIONS--NOTHING TO PLOT

ITEM 8 PLAT MATTERS--2.5' EASEMENT SHOWN

ITEM 9 COVENANTS D.B. 942, PG. 349

BUILDING SETBACKS: 25' FRONT, 10' SIDE, 10' REAR

ITEM 10 RIPARIAN/LITTORAL RIGHTS NOTHING TO PLOT

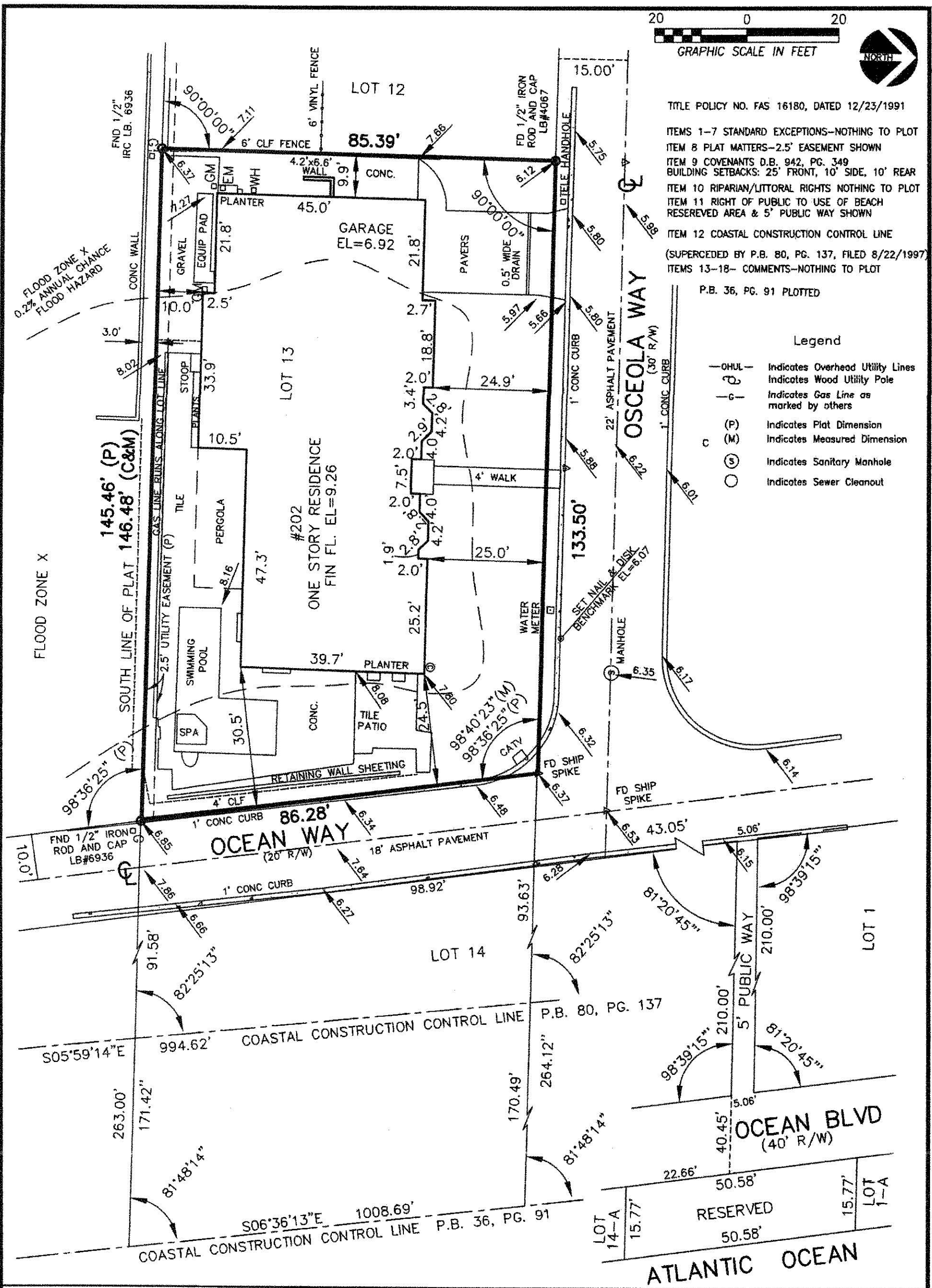
ITEM 11 RIGHT OF PUBLIC TO USE OF BEACH RESERVED AREA & 5' PUBLIC WAY SHOWN

ITEM 12 COASTAL CONSTRUCTION CONTROL LINE (SUPERCEDED BY P.B. 80, PG. 137, FILED 8/22/1997)

ITEMS 13-18-- COMMENTS--NOTHING TO PLOT

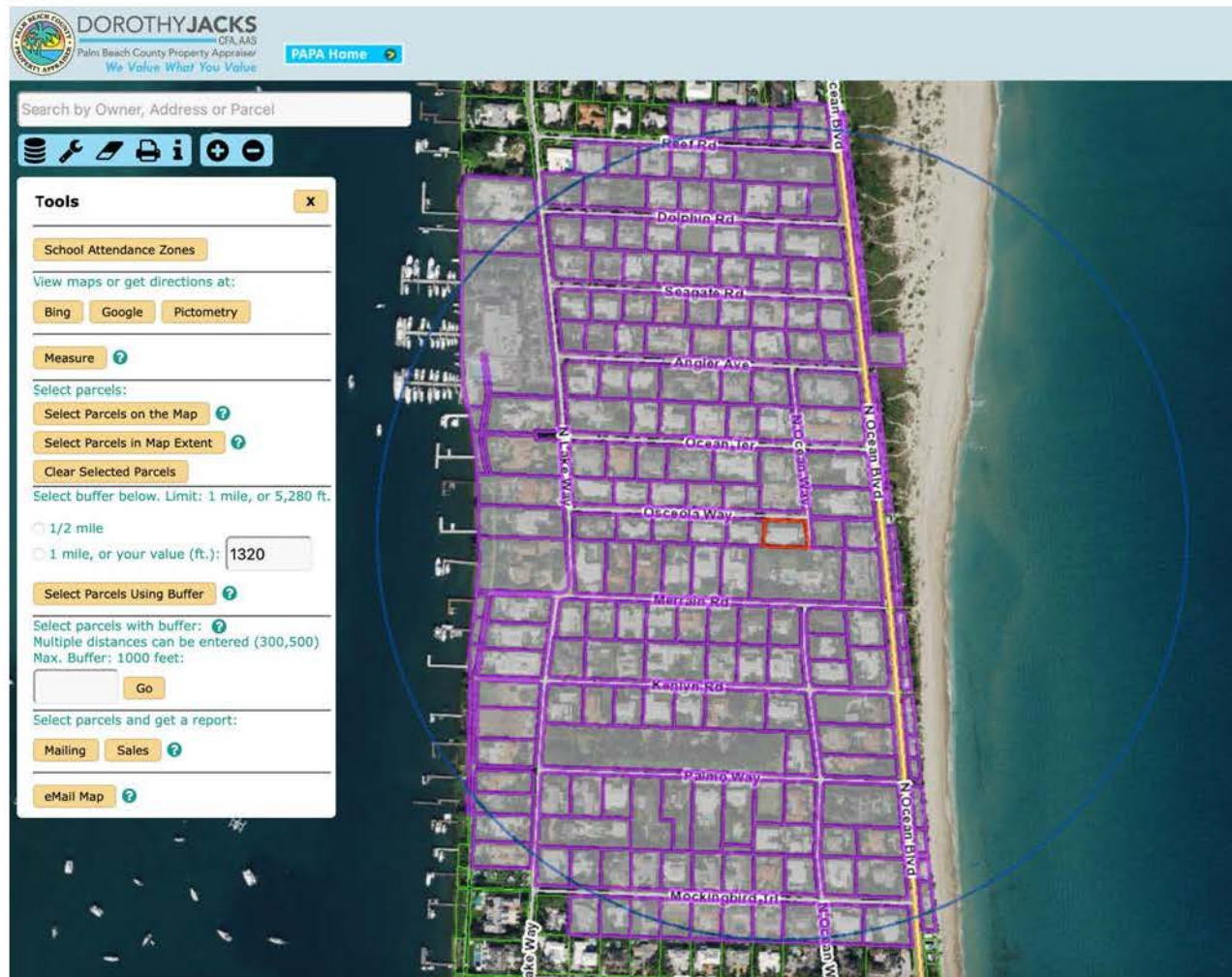
P.B. 36, PG. 91 PLOTTED

- Legend
- OHUL— Indicates Overhead Utility Lines
  - ⊙ Indicates Wood Utility Pole
  - G— Indicates Gas Line as marked by others
  - (P) Indicates Plat Dimension
  - (M) Indicates Measured Dimension
  - ⊙ Indicates Sanitary Manhole
  - Indicates Sewer Cleanout

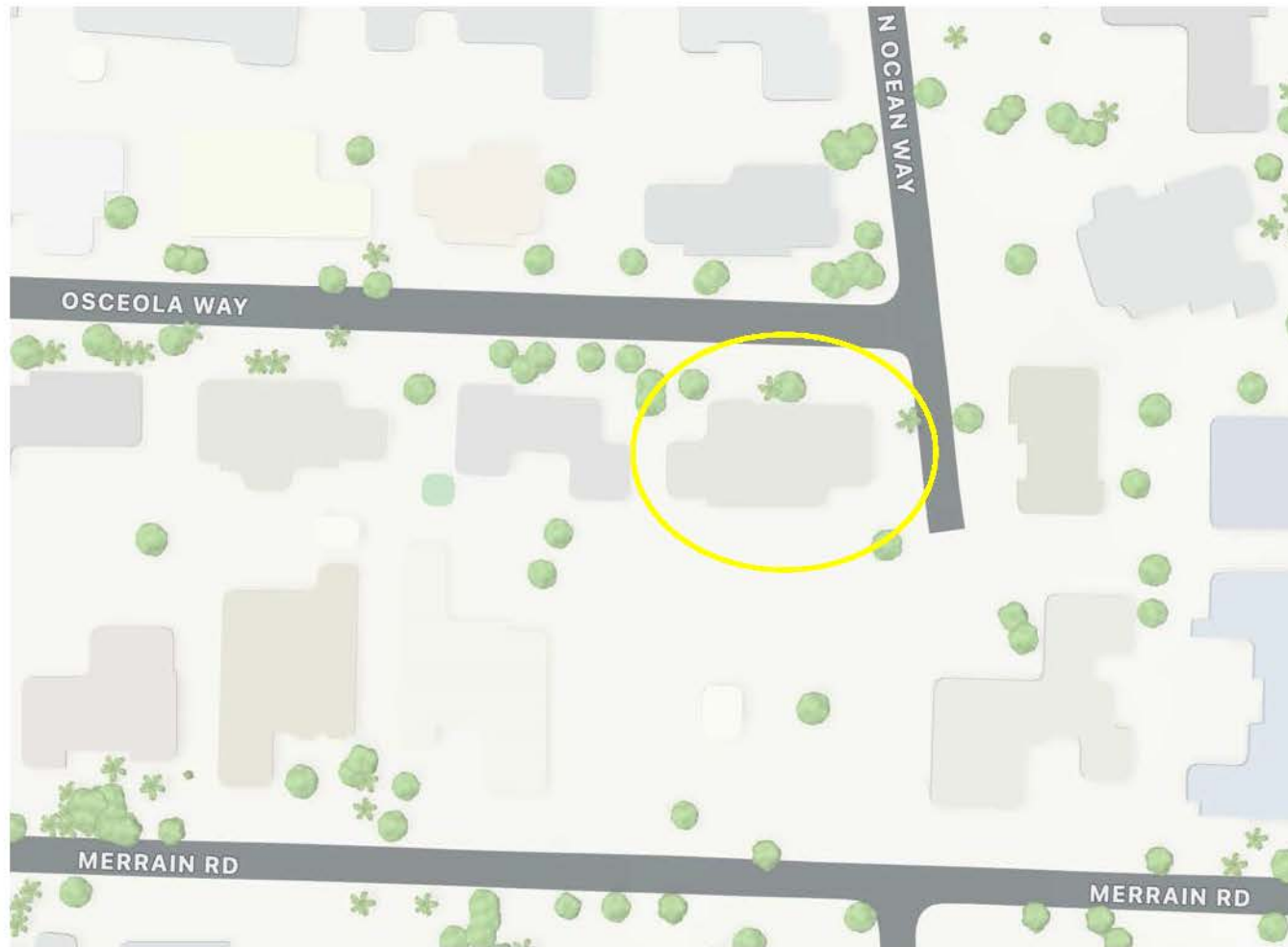


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This drawing is not valid without embossed seal or Digital Signature of Surveyor.		"The Measuring Line Shall Go Forth" Jeremiah 31:39	
Richard N Dean		4201 Westgate Ave. Suite A3 West Palm Beach, Florida 33409	
Richard N. DEAN		Tel: (561) 625-8748	
Professional Surveyor & Mapper		Facsimile (561) 625-4558	
Florida Certificate No. 4406		FIELD: B.P./L.J.	
L.B. 6936		DATE: 11/20/19	
BOUNDARY SURVEY & TOPOGRAPHIC Prepared For:		DRAWN: M.R.	
DENNIS & ROSANNE VOLLMAN		SCALE: 1"=20'	
		SHEET: 2 of 2	
		JOB No.: 019-1006	





VICINITY LOCATION MAP



LOCATION PLAN





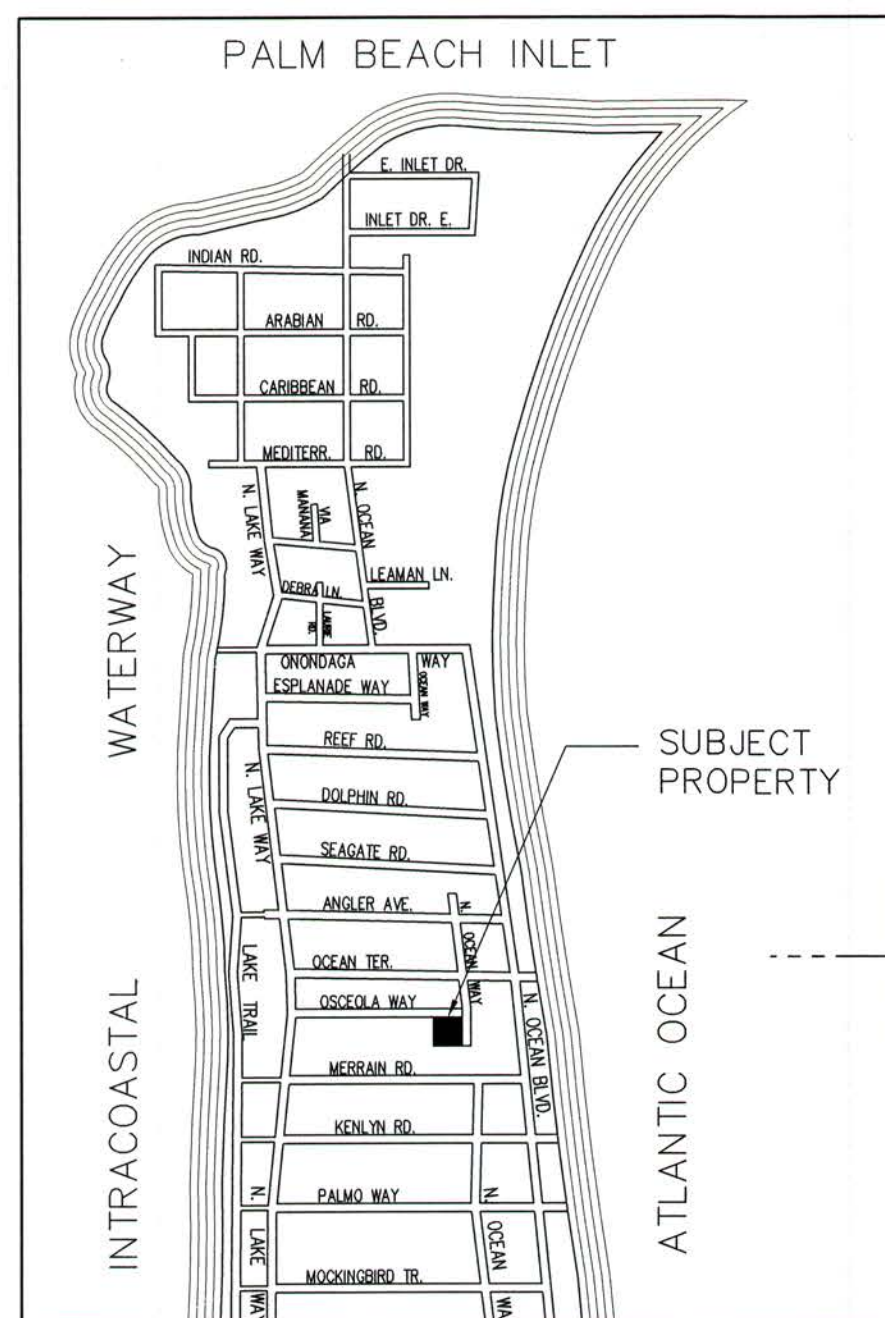
# PHOTO SHEET





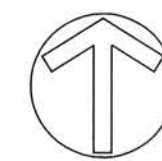
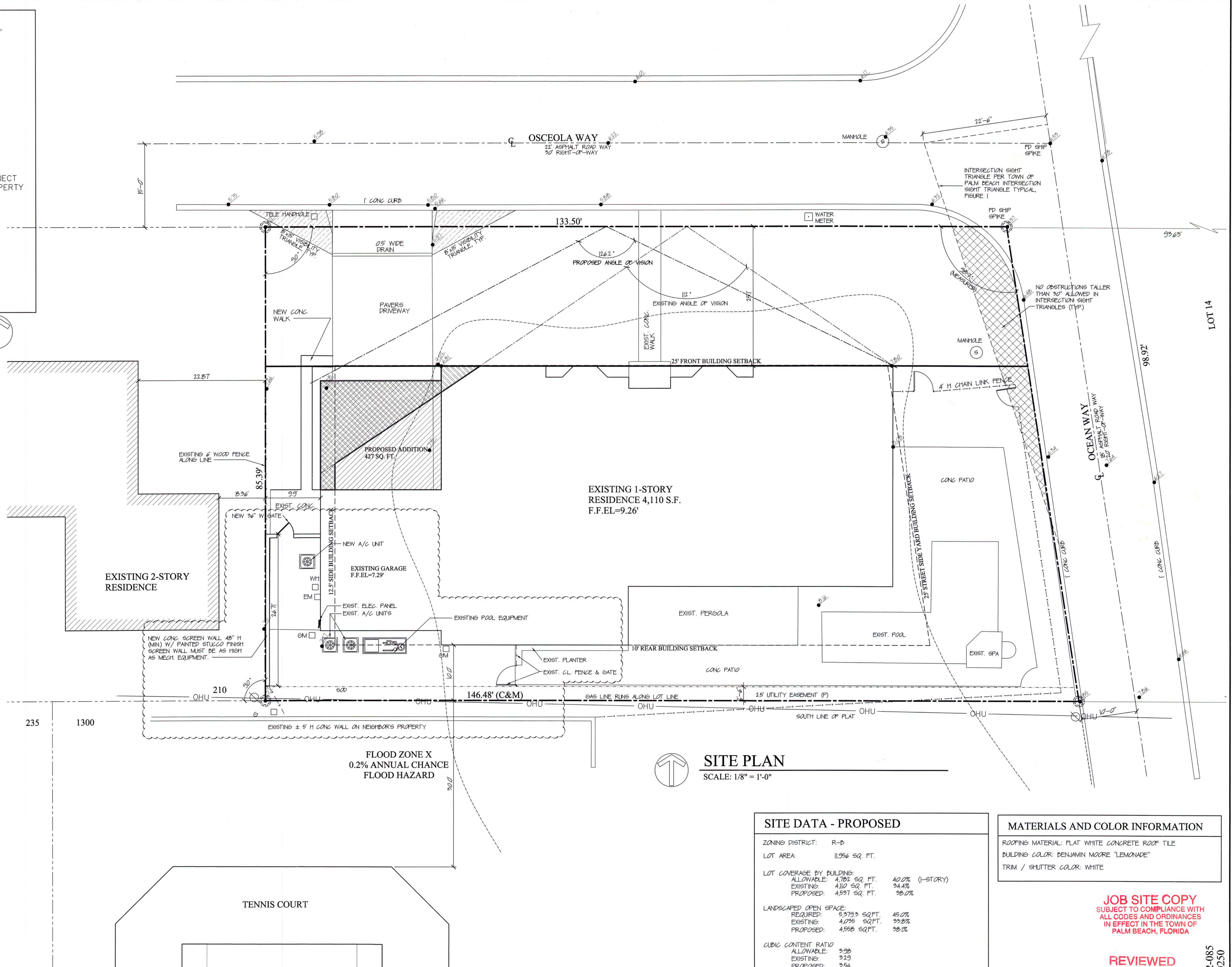
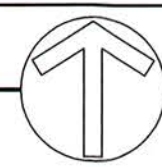
**PHOTO SHEET 2**





### AREA MAP

NOT TO SCALE



### SITE PLAN

SCALE: 1/8" = 1'-0"

#### SITE DATA - PROPOSED

ZONING DISTRICT:	R-P
LOT AREA:	11,956 SQ. FT.
LOT COVERAGE BY BUILDING:	
ALLOWABLE:	4,782 SQ. FT. 40.0% (1-STORY)
EXISTING:	4,110 SQ. FT. 34.4%
PROPOSED:	4,537 SQ. FT. 38.0%
LANDSCAPED OPEN SPACE:	
REQUIRED:	5,379.3 SQ. FT. 45.0%
EXISTING:	4,025 SQ. FT. 33.8%
PROPOSED:	4,558 SQ. FT. 38.1%
CURB CONTENT RATIO:	
ALLOWABLE:	3.35
EXISTING:	3.23
PROPOSED:	3.56
ANGLE OF VISION:	
ALLOWABLE:	112°
EXISTING:	116.7°
PROPOSED:	126.2°

#### MATERIALS AND COLOR INFORMATION

ROOFING MATERIAL: FLAT WHITE CONCRETE ROOF TILE  
BUILDING COLOR: BENJAMIN MOORE "LEMONADE"  
TRIM / SHUTTER COLOR: WHITE

**JOB SITE COPY**  
SUBJECT TO COMPLIANCE WITH  
ALL CODES AND ORDINANCES  
IN EFFECT IN THE TOWN OF  
PALM BEACH, FLORIDA

**REVIEWED**

MAR 16 2022

TPB PLAN EXAMINER  
MECH/ELECT/PLUMB

ARC-22-085  
Z-20-00250

S·M

ADDITIONS  
DR. AND MRS. VOLLMAN  
202 OSCEOLA WAY PALM BEACH, FLORIDA

**SMITH AND MOORE ARCHITECTS, INC.**  
• 1500 SOUTH OLIVE AVENUE WEST PALM BEACH, FLORIDA 33401 • TEL (561) 835-1888 FAX (561) 832-7015

FLORIDA AAC

NO. 001285

HAROLD J. SMITH  
REGISTERED ARCHITECT 8742

JONATHAN C. MOORE  
REGISTERED ARCHITECT 13541

PETER G. PAPADOPOULOS  
REGISTERED ARCHITECT 92952

DANIEL KAHAN  
REGISTERED ARCHITECT 94757

FIRST SUBMITTAL 2022-02-07  
FINAL SUBMITTAL 2022-02-28  
STAFF APPROVAL 2022-11-02  
PERMIT SUBMITTAL 2023-01-25

NO: 19077

DWG. BY: TJK

SHEET:

**SP-100**



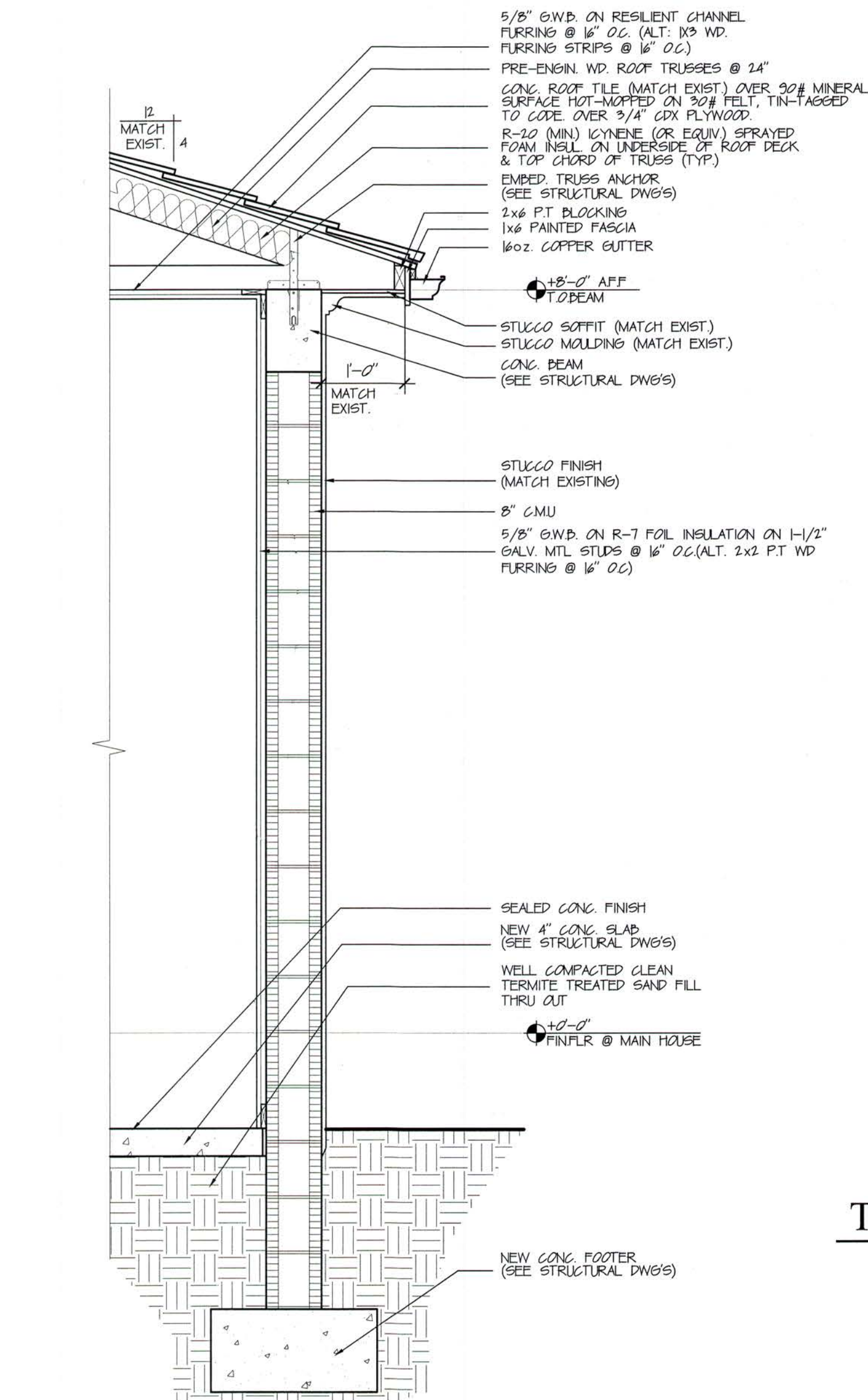


PROPOSED NORTH ELEVATION - COLOR  
SCALE: 1/4"=1'-0" PREVIOUSLY APPROVED

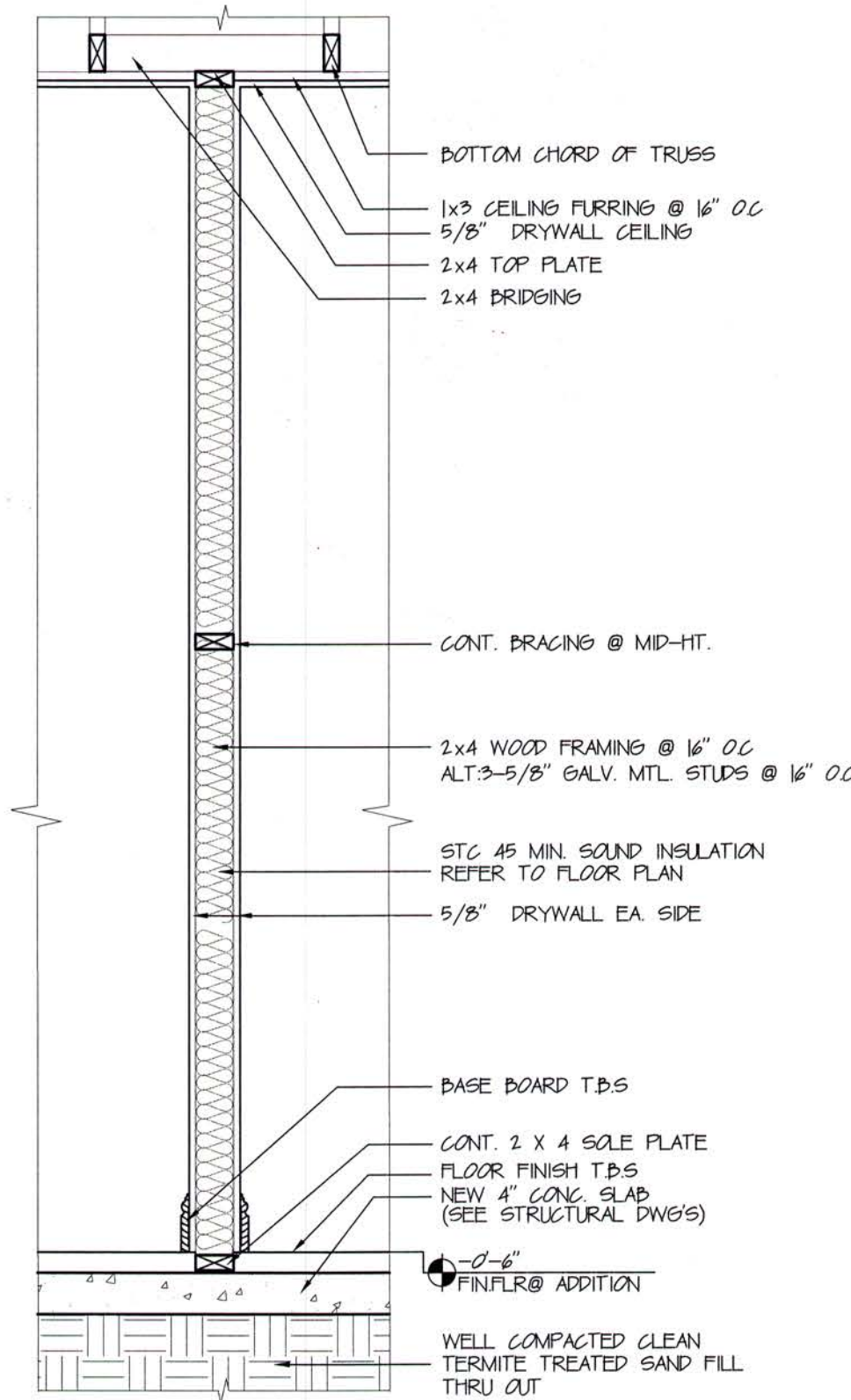


PROPOSED NORTH ELEVATION - COLOR  
SCALE: 1/4"=1'-0" CURRENTLY PROPOSED

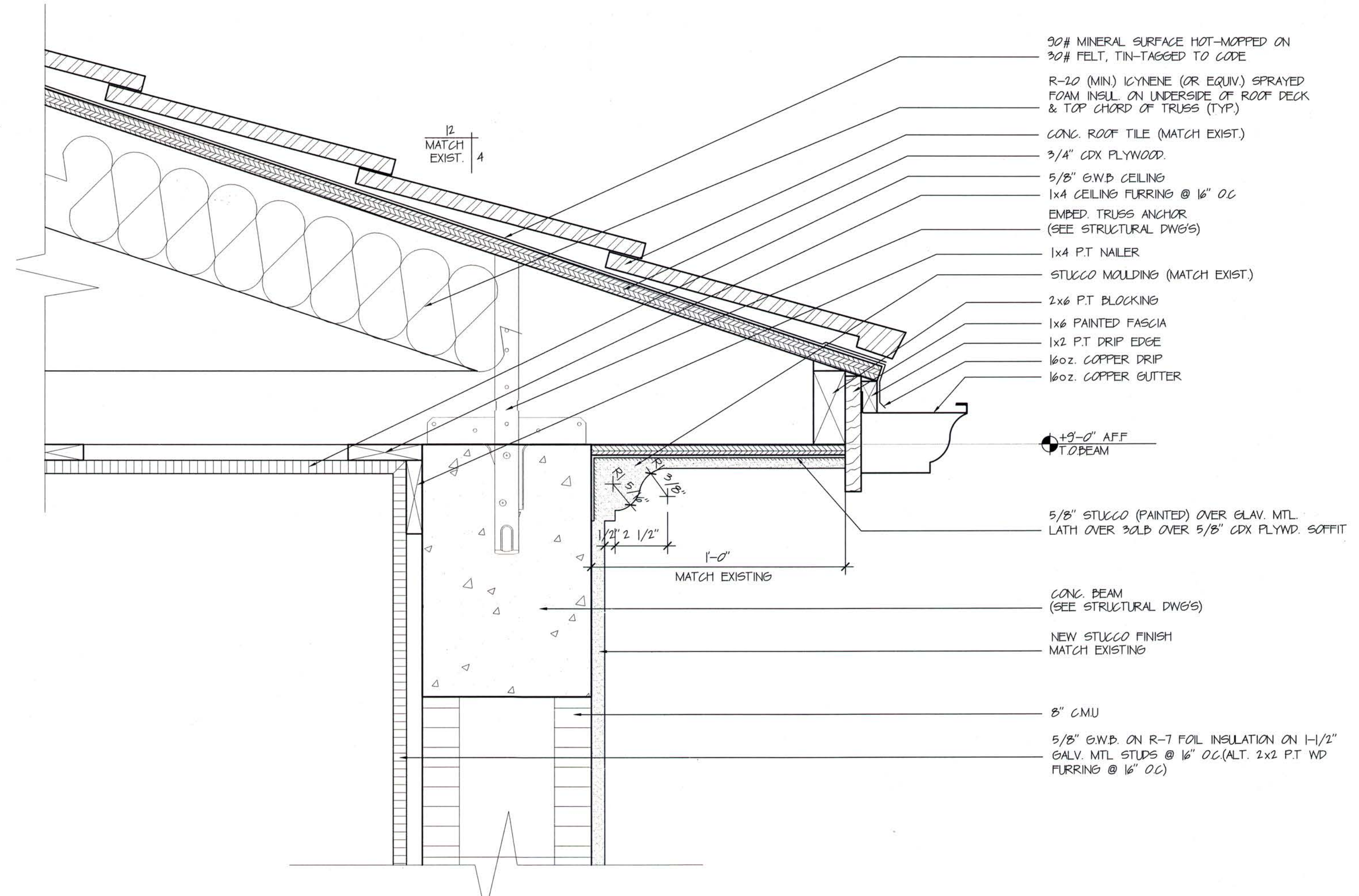




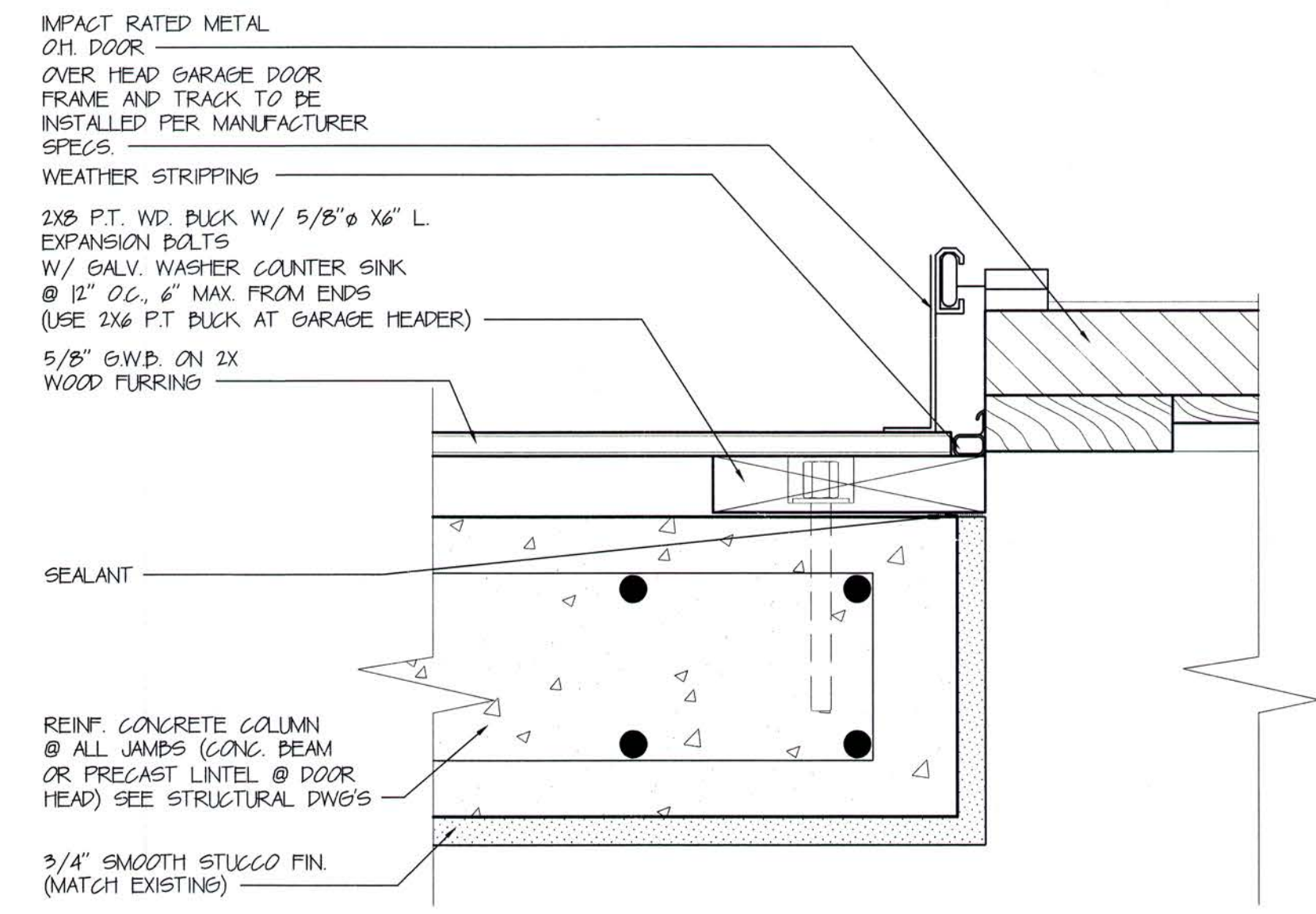
**A**  
A-301  
**TYPICAL WALL SECTION**  
SCALE: 3/4"=1'-0"



**TYP- INTERIOR PARTITION**  
SCALE: 3/4"=1'-0"



**B**  
A-301  
**TYPICAL EAVE DETAIL**  
SCALE: 3/4"=1'-0"

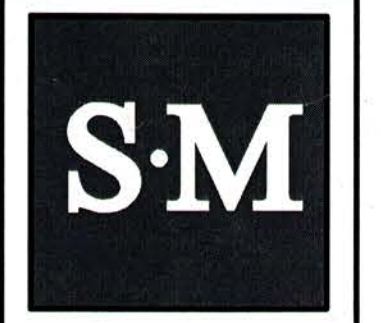


**GARAGE DOOR BUCK DETAIL**  
SCALE: 3/4"=1'-0"

**JOB SITE COPY**  
SUBJECT TO COMPLIANCE WITH  
ALL CODES AND ORDINANCES  
IN EFFECT IN THE TOWN OF  
PALM BEACH, FLORIDA

**REVIEWED**  
MAR 16 2022  
TPB PLAN EXAMINER  
MECH/ELECT/PLUMB

ARC-22-085  
Z-20-00250



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**SMITH AND MOORE ARCHITECTS, INC.**  
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FLORIDA AAC  
*H. J. Smith*  
1-26-23  
NO. 001285

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D.R.C. SUBMITTAL 2020-02-12  
PERMIT SUBMITTAL 2023-01-25

NO: 19077  
DWG. BY: TJK  
SHEET:

**A-301**



# EXTERIOR MATERIAL & FINISHES SHEET

ROOFING: FLAT WHITE CONCRETE ROOF TILE

BUILDING: SMOOTH STUCCO PAINTED WITH BENJAMIN MOORE "LEMONADE"

TRIM/SHUTTERS: SMOOTH WOOD PAINTED WHITE

DRIVEWAY: CONCRETE PAVERS IN SHADES OF GREY



AMARR HERITAGE 3000  
GARAGE DOOR





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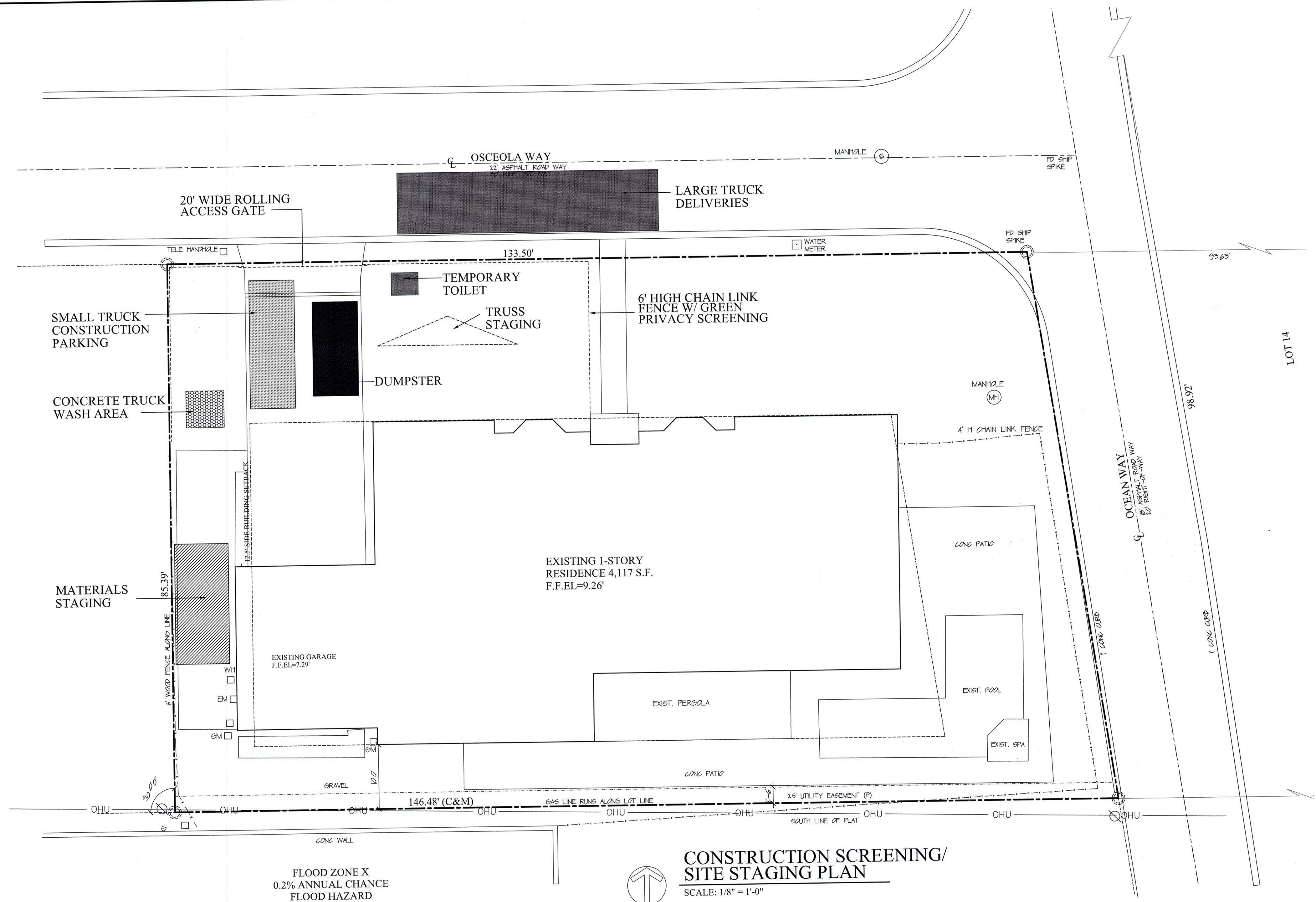
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*[Signature]*  
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FIRST SUBMITTAL 2023-02-07  
FINAL SUBMITTAL 2022-02-28

NO: 19077  
DWG. BY:  
SHEET:

SS-101



**CONSTRUCTION SCREENING/  
SITE STAGING PLAN**  
SCALE: 1/8" = 1'-0"

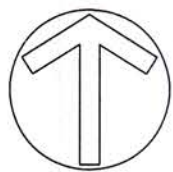
REVIEWED  
As submitted 3/1/23 day 2023  
TOWN OF PALM BEACH Public Works Department  
Craig A. Hauschild, P.E., Engineering Plans Review

**JOB SITE COPY**  
SUBJECT TO COMPLIANCE WITH  
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Construction screening heights are  
dependent upon site's line of sight.  
Additional screening height shall be  
required if work is visible from the  
rights-of-way or adjacent neighbor's  
property, their windows (2nd floor),  
or balconies.

ARC-22-085  
Z-20-00250





## TRUCK ROUTE PLAN

SCALE: N.T.S

### Truck Logistics

Largest truck delivery  
Truss Truck

Maximum number of truck trips to property (Estimated)  
50 (Dump Trucks, Demolition, Fill, Steel, Concrete, Block, Windows and Doors, Trusses, Roof Sheathing, A/C Units, Cabinets, Appliances, Floor Tile, Pavers, Landscape, Etc.)

The Flagler Memorial Bridge will be utilized. Trucks will be routed north on Bradley Place/North Lake Way to Osceola Way.

**REVIEWED**  
As submitted 30<sup>th</sup> day March 2023  
TOWN OF PALM BEACH Public Works Department  
*[Signature]*  
Craig A. Hauschild, P.E., Engineering Plans Review  
• TRUCKS GREATER THAN 30-FOOT IN LENGTH SHOULD NOT USE NORTH LAKE WAY. TRUCKS GREATER THAN 20ft in length have been observed to have difficulty navigating similar streets.  
• Construction schedule also needs to be provided.  
**JOB SITE COPY**  
SUBJECT TO COMPLIANCE WITH ALL CODES AND ORDINANCES IN EFFECT IN THE TOWN OF PALM BEACH, FLORIDA

ARC-22-085  
Z-20-00250



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FLORIDA AAC

*[Signature]*

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SHEET:

SS-100