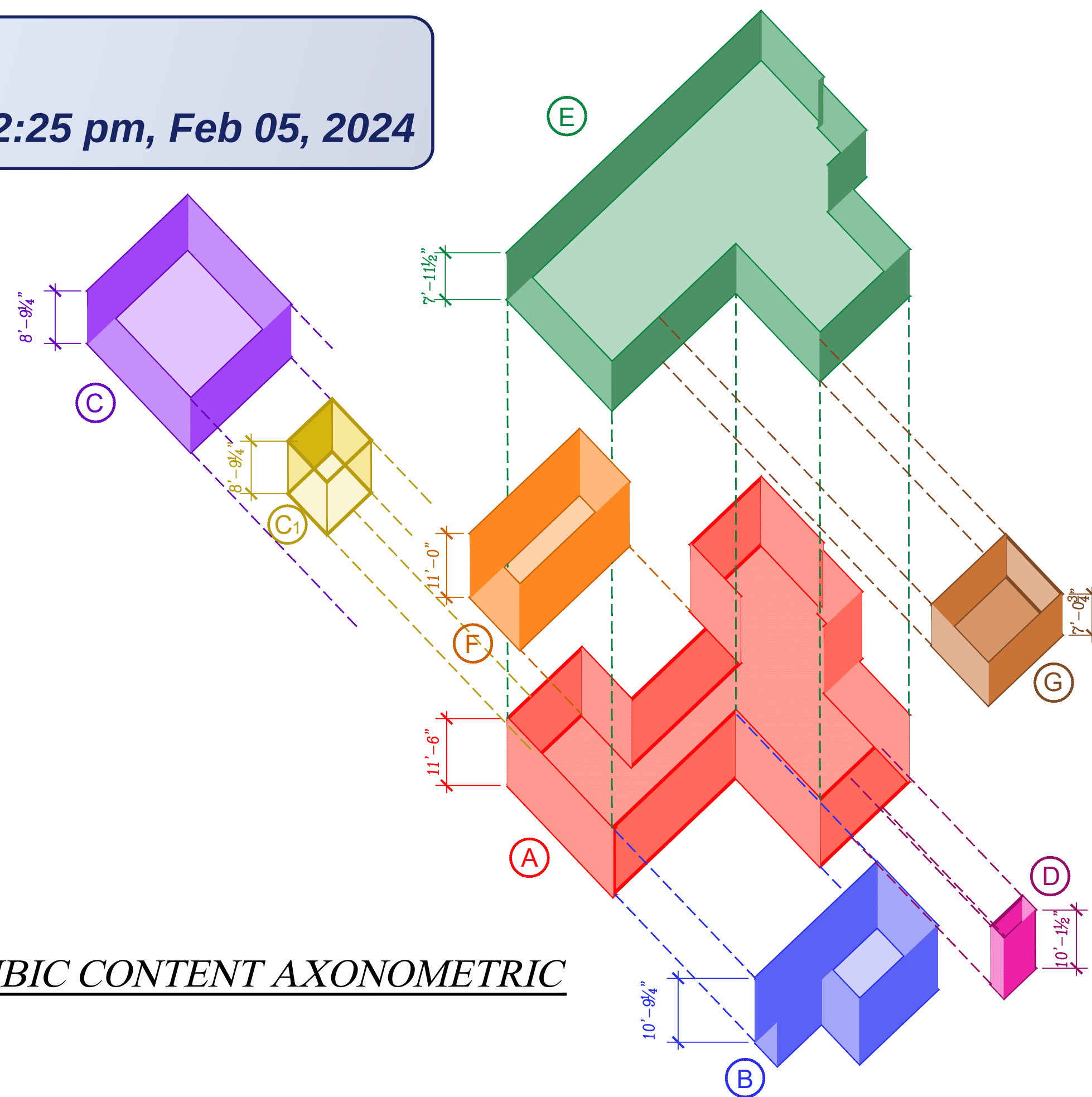


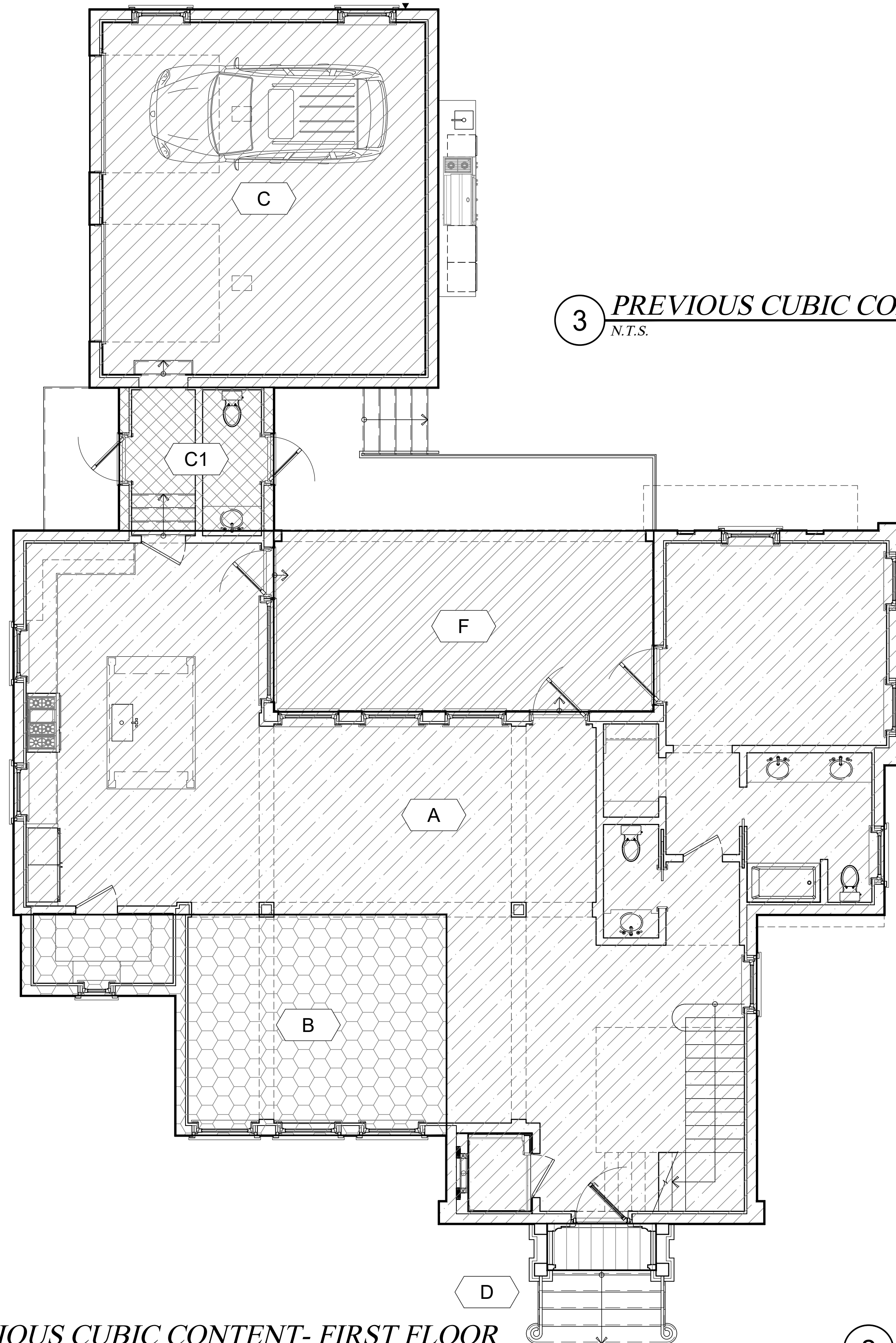
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RECEIVED

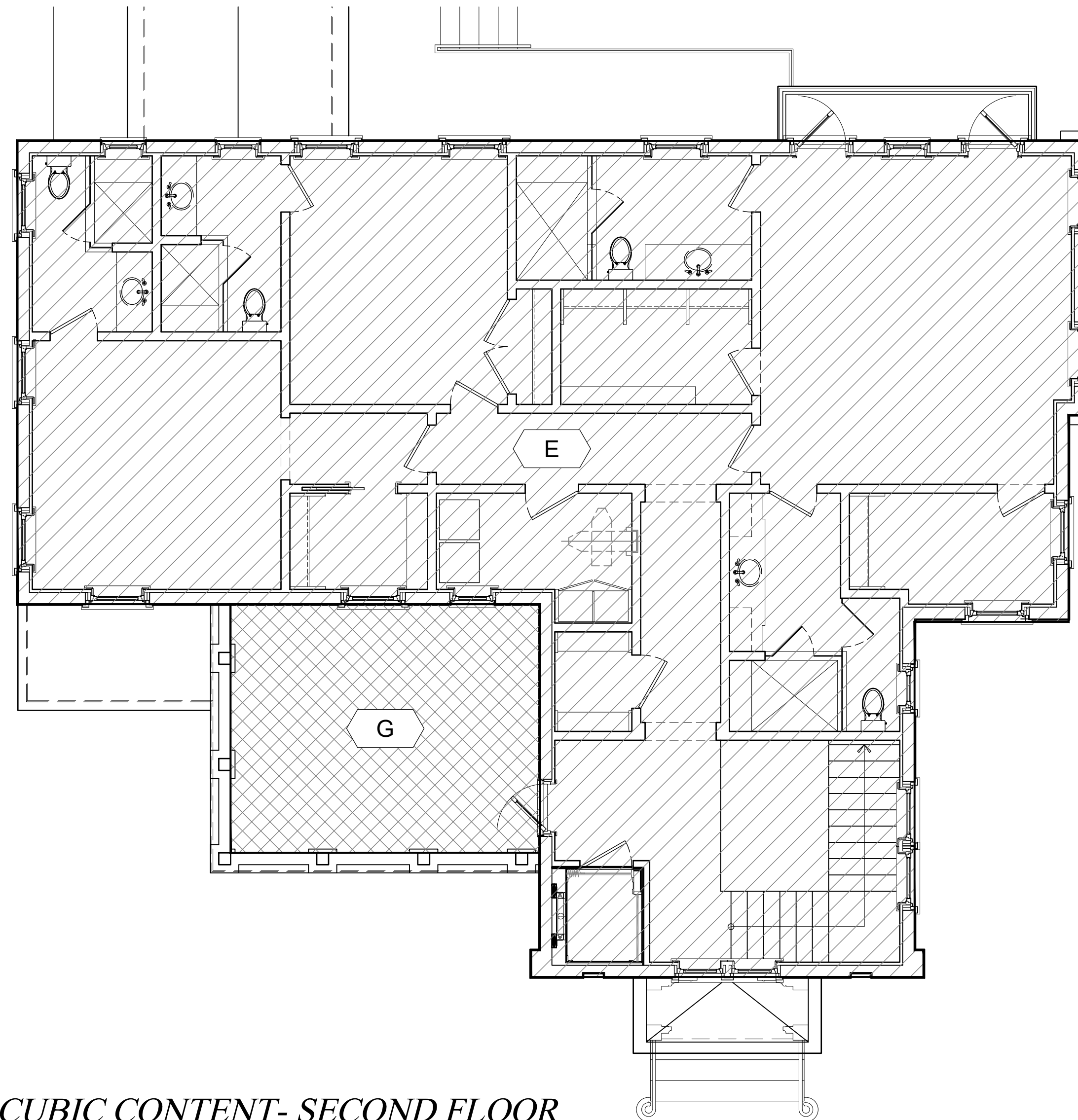
By yfigueroa at 2:25 pm, Feb 05, 2024



3 **PREVIOUS CUBIC CONTENT AXONOMETRIC**
N.T.S.



1 **PREVIOUS CUBIC CONTENT- FIRST FLOOR**
3/16" = 1'-0"



2 **PREVIOUS CUBIC CONTENT- SECOND FLOOR**
3/16" = 1'-0"

CUBIC VOLUME			
MARK	AREA	HEIGHT	CUBIC VOLUME
A (1st Floor Main Body)	1,687.00	11.50	19,400.50
B (1 Story Volumes- Front)	334.00	10.77	3,597.18
C (Garage)	607.00	8.77	5,323.39
C1 (Connector)	102.00	8.77	894.54
D (Portico)	23.00	10.13	232.99
E (2nd Floor Main Body)	2,012.00	7.96	16,015.52
TOTAL A-E			45,464.12
COVERED LOGGIAS			
F	318.00	11.00	3,498.00
UNCOVERED LOGGIA			
G (2nd Floor Balcony)	244.00	7.71	1,881.24
Allowed Loggia Space @ 5%			(2,447.70)
TOTAL F-G (w/ 5% Discount)			2,931.54
TOTAL CUBIC CONTENT			48,395.66
TOTAL ALLOWED CUBIC CONTENT			48,954.00
CUBIC CONTENT OVER/(UNDER)			(558.34)

PLEASE NOTE:

Allowed Loggia space receives a 5% reduction of TOTAL ALLOWED CUBIC CONTENT

CUBIC CONTENT RATIO CALCULATION:

$$\begin{aligned} &= 3.50 + [((60,000 - \text{LOT SIZE}) / 50,000) \times 0.5] \\ &= 3.50 + [((60,000 - 12,250) / 50,000) \times 0.5] \\ &= 3.50 + [(47,750 / 50,000) \times 0.5] \\ &= 3.50 + [.955 \times 0.5] \\ &= 3.50 + [.4775] \\ &= 3.9775 \\ &= 3.98 \text{ or } 48,954 \text{ cu. ft.} \end{aligned}$$

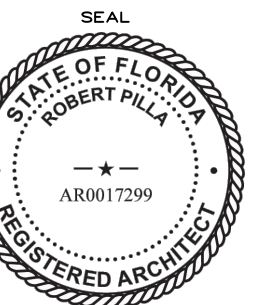
WADIA ASSOCIATES

WADIA ASSOCIATES, LLC
375 S. COUNTY RD.
PALM BEACH
FLORIDA 33480

PHONE (561) 282-9449
WADIAASSOCIATES.COM

318
Seaspray Ave.
PALM BEACH,
FLORIDA 33480

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FLORIDA AR0017299

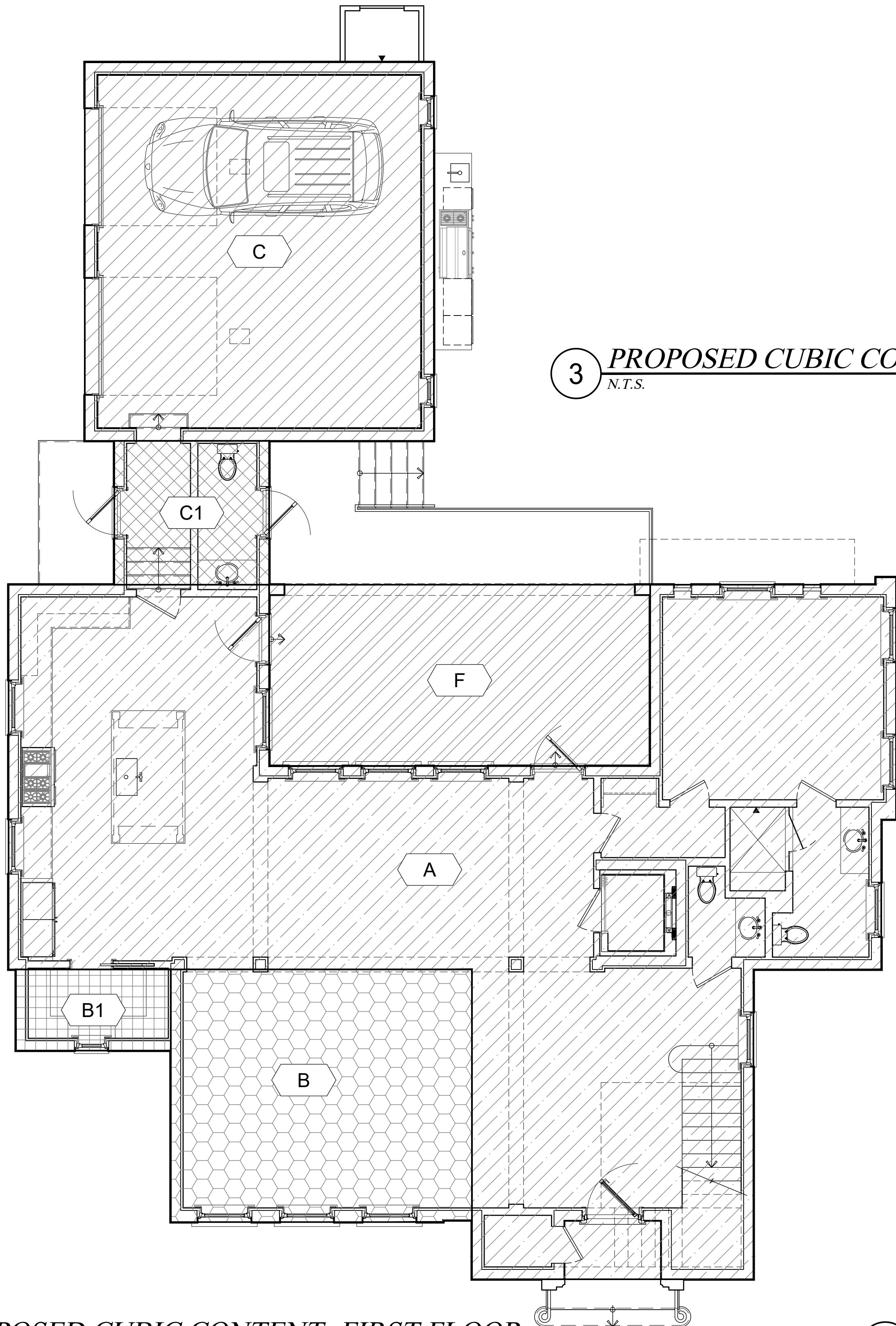
REV. # DATE PURPOSE

CUBIC
CONTENT
DIAGRAM

Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

A006

ARC-23-142

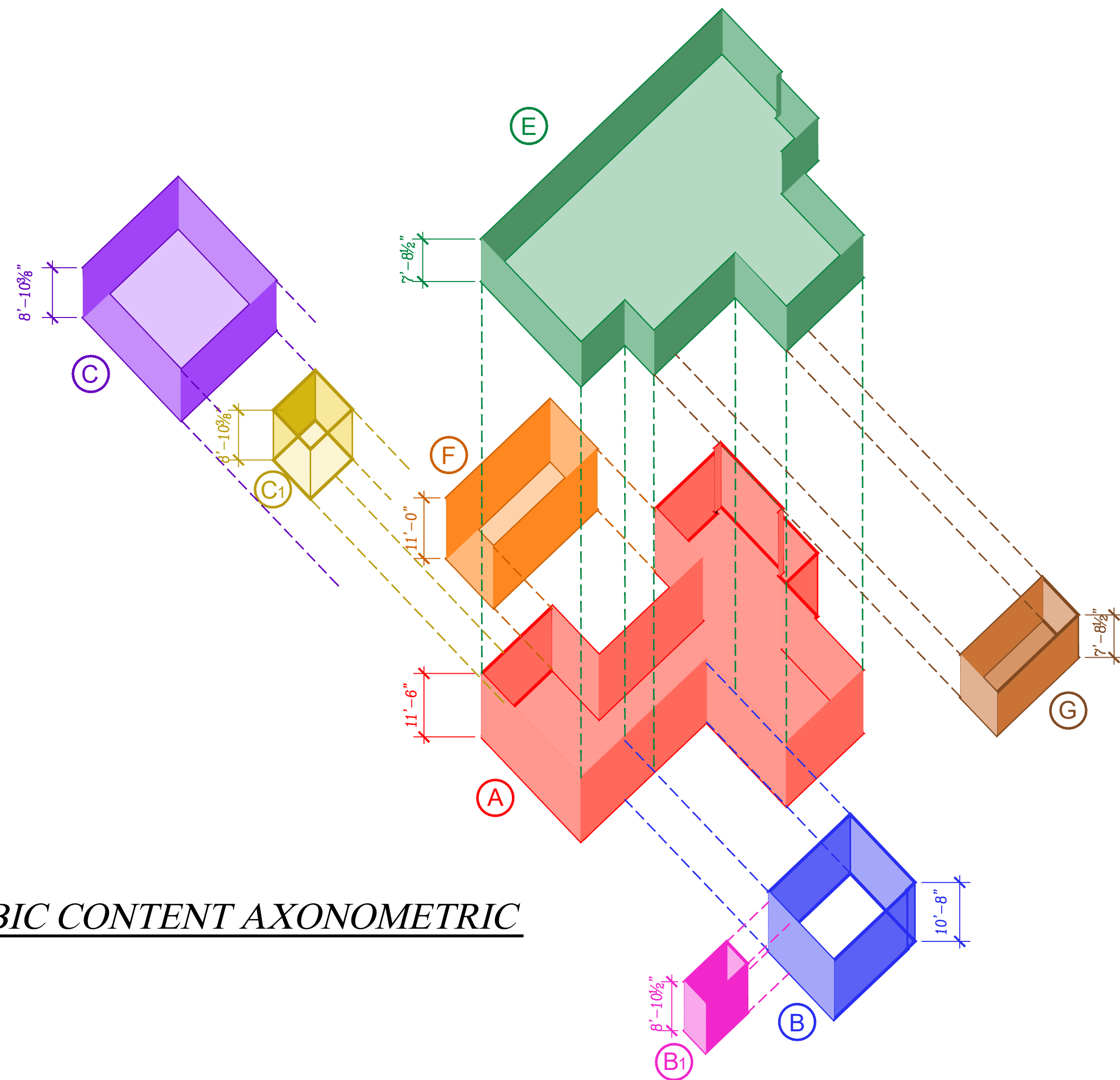


1 **PROPOSED CUBIC CONTENT- FIRST FLOOR**
3/16" = 1'-0"



2 **PROPOSED CUBIC CONTENT- SECOND FLOOR**
3/16" = 1'-0"

3 **PROPOSED CUBIC CONTENT AXONOMETRIC**
N.T.S.



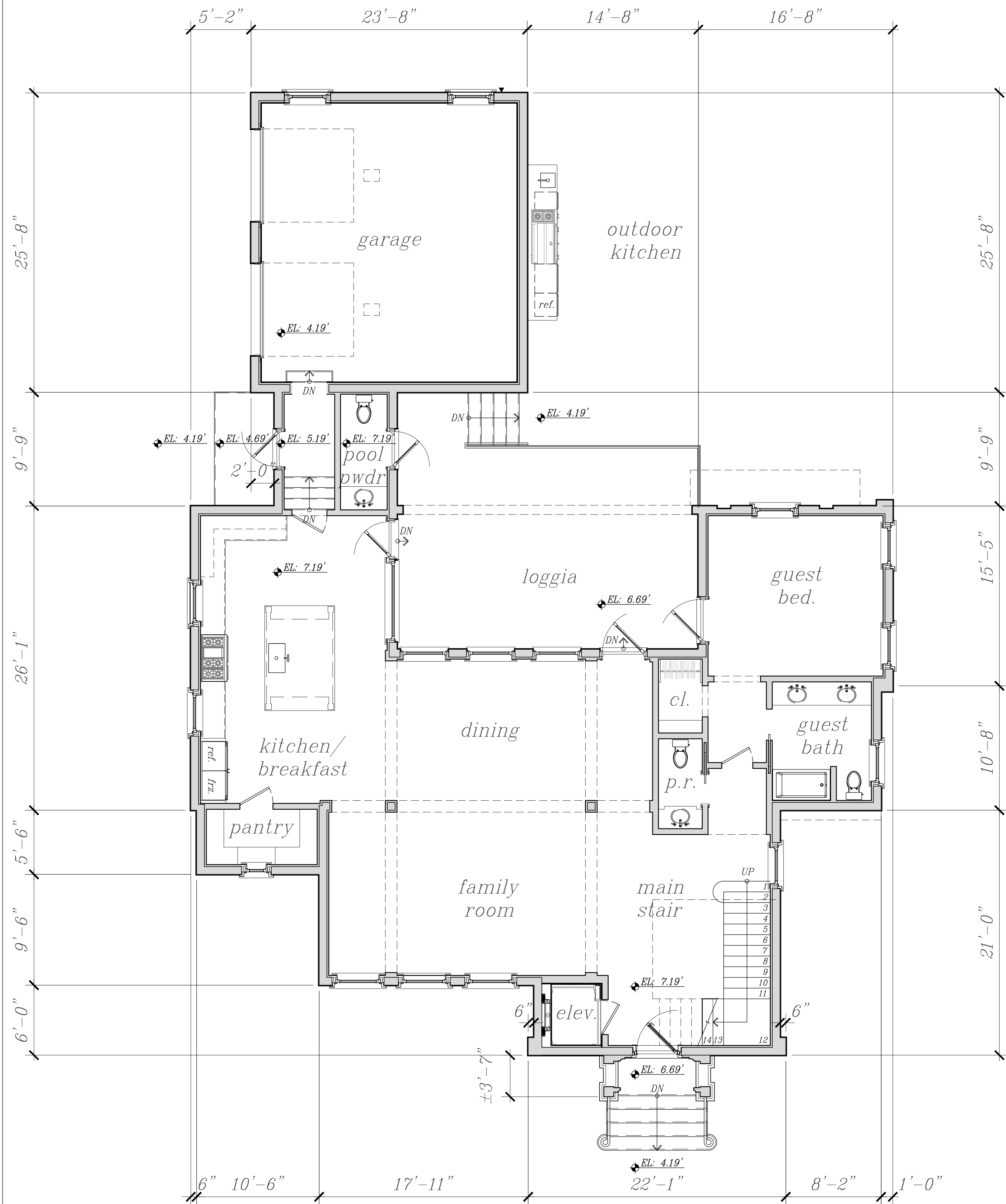
CUBIC VOLUME			
MARK	AREA	HEIGHT	CUBIC VOLUME
A (1st Floor Main Body)	1,643.00	11.50	18,894.50
B (Family Room)	349.00	10.67	3,723.83
B1 (Pantry)	58.00	8.86	513.88
C (Garage)	607.00	8.86	5,378.02
C1 (Connector)	102.00	8.86	903.72
E (2nd Floor Main Body)	2,114.00	7.70	16,277.80
TOTAL A-E			45,691.75
COVERED LOGGIAS			
F	318.00	11.00	3,498.00
UNCOVERED LOGGIA			
G (2nd Floor Balcony)	192.00	7.70	1,478.40
Allowed Loggia Space @ 5%			(2,447.70)
TOTAL F-G (w/ 5% Discount)			2,528.70
TOTAL CUBIC CONTENT			48,220.45
TOTAL ALLOWED CUBIC CONTENT			48,954.00
CUBIC CONTENT OVER/(UNDER)			(733.55)

PLEASE NOTE:
Allowed Loggia space receives a 5% reduction of TOTAL ALLOWED CUBIC CONTENT

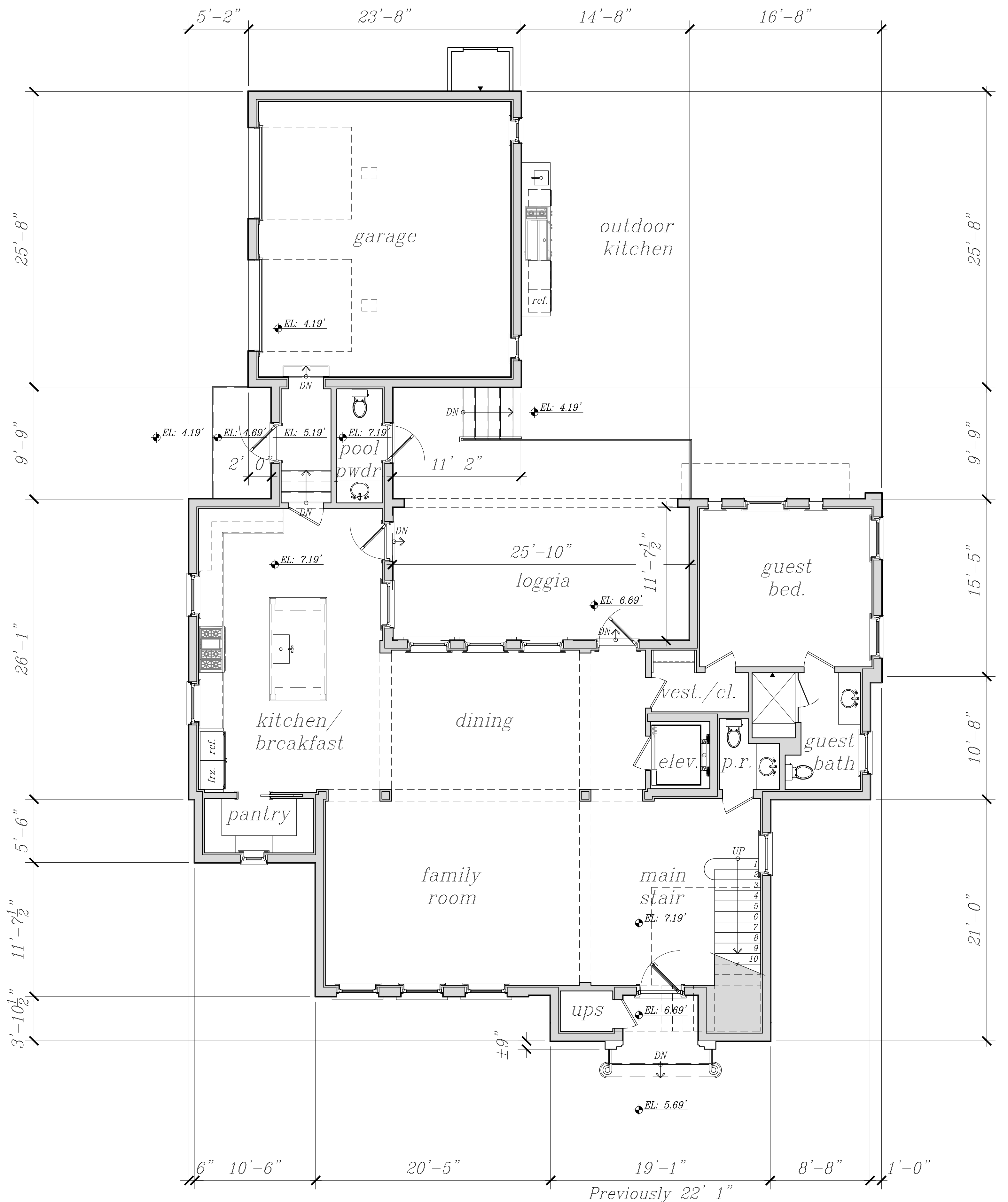
CUBIC CONTENT RATIO CALCULATION:

$$\begin{aligned} &= 3.50 + [((60,000 - \text{LOT SIZE}) / 50,000) \times 0.5] \\ &= 3.50 + [((60,000 - 12,250) / 50,000) \times 0.5] \\ &= 3.50 + [(47,750 / 50,000) \times 0.5] \\ &= 3.50 + [.955 \times 0.5] \\ &= 3.50 + [.4775] \\ &= 3.9775 \\ &= 3.98 \text{ or } 48,954 \text{ cu. ft.} \end{aligned}$$

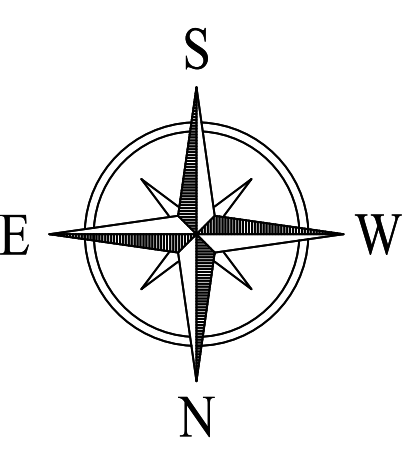
P:\Client\Basil - 318 Seaspray Ave\dwg\318 Seaspray Ave - A110 - Floor Plan.dwg
2/24/2024 10:24:24 AM



1 PREVIOUS FIRST FLOOR PLAN
3/16" = 1'-0"



2 CURRENT FIRST FLOOR PLAN
3/16" = 1'-0"



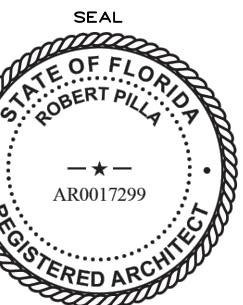
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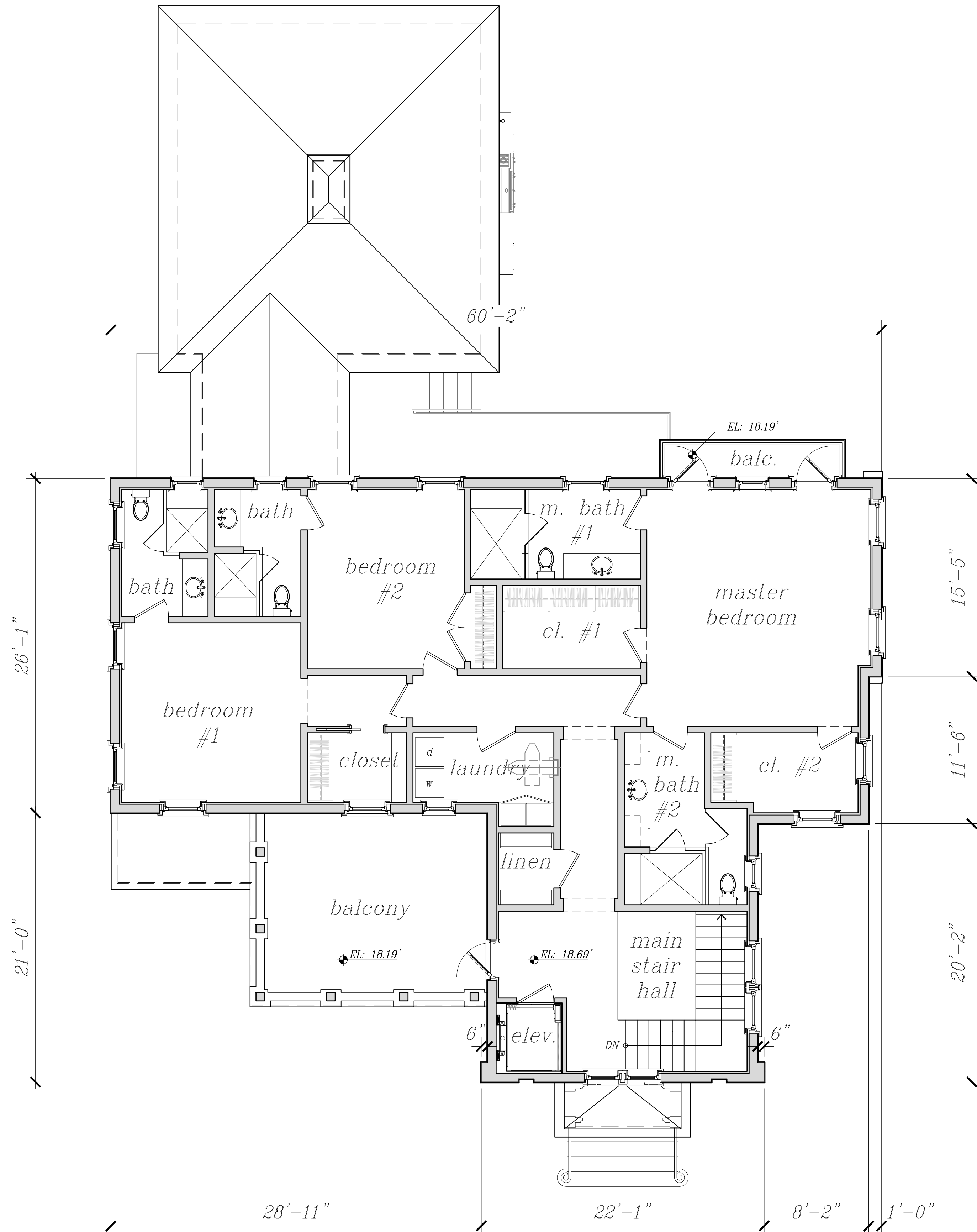
WADIA ASSOCIATES, LLC
375 S. COUNTY RD.
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FLORIDA 33480
PHONE (561) 282-9449
WADIAASSOCIATES.COM

318
Seaspray Ave.
PALM BEACH,
FLORIDA 33480

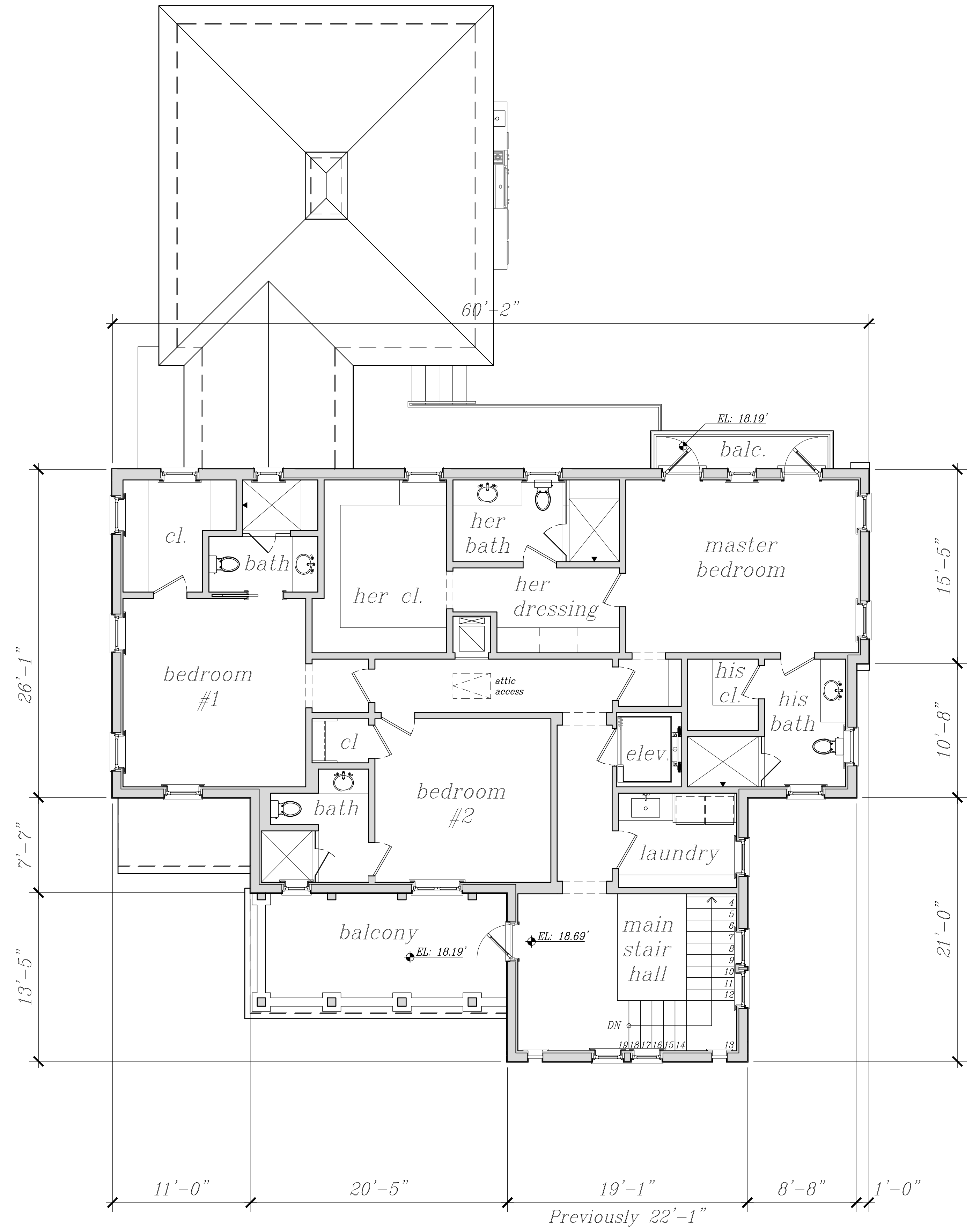
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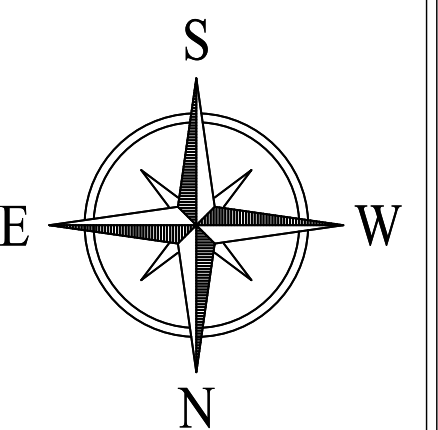
ROBERT PILLA
FLORIDA AB0017299



1 **PREVIOUS SECOND FLOOR PLAN**
3/16" = 1'-0"



2 **CURRENT SECOND FLOOR PLAN**
3/16" = 1'-0"



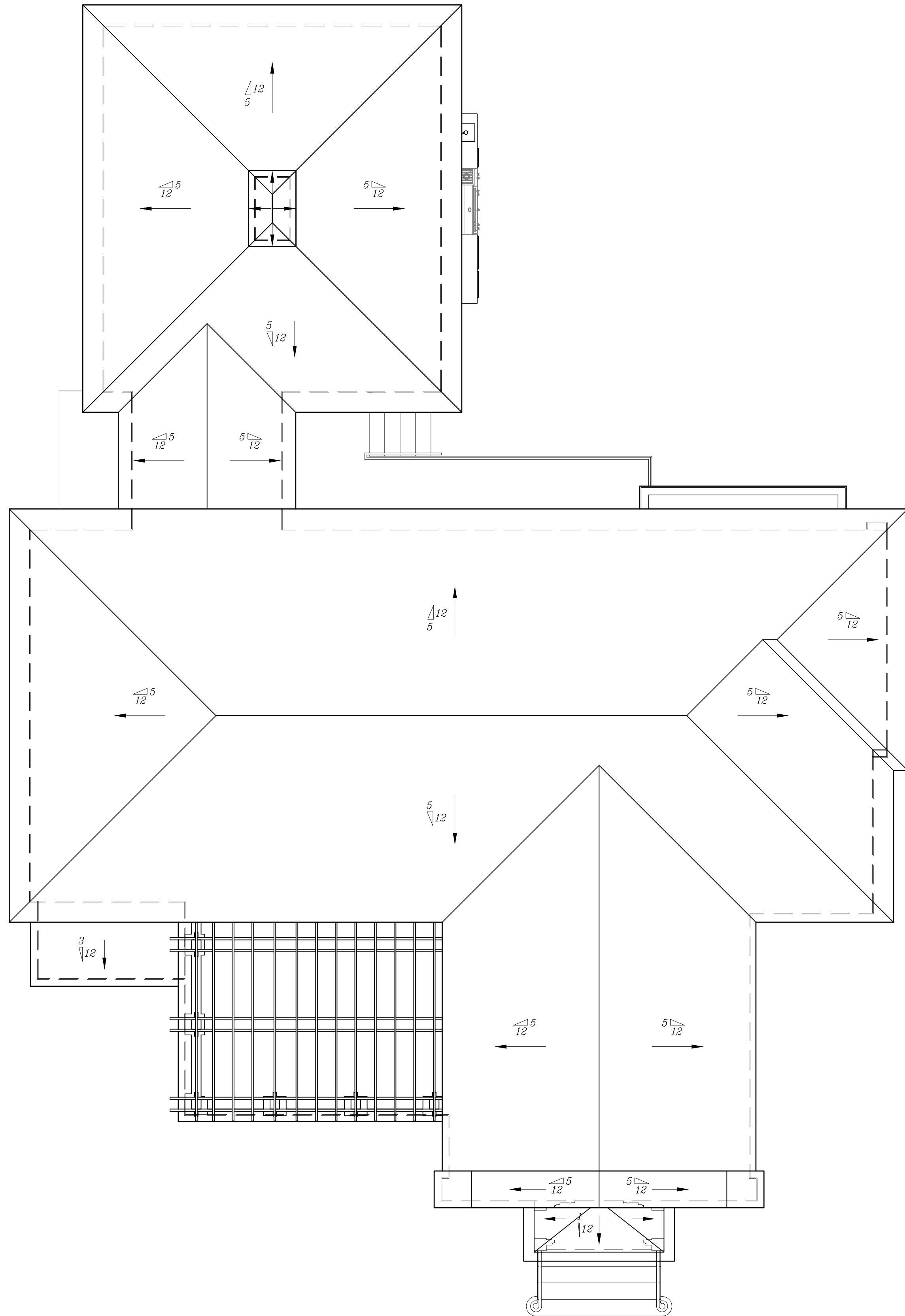
ARC-23-142

SECOND
FLOOR PLAN

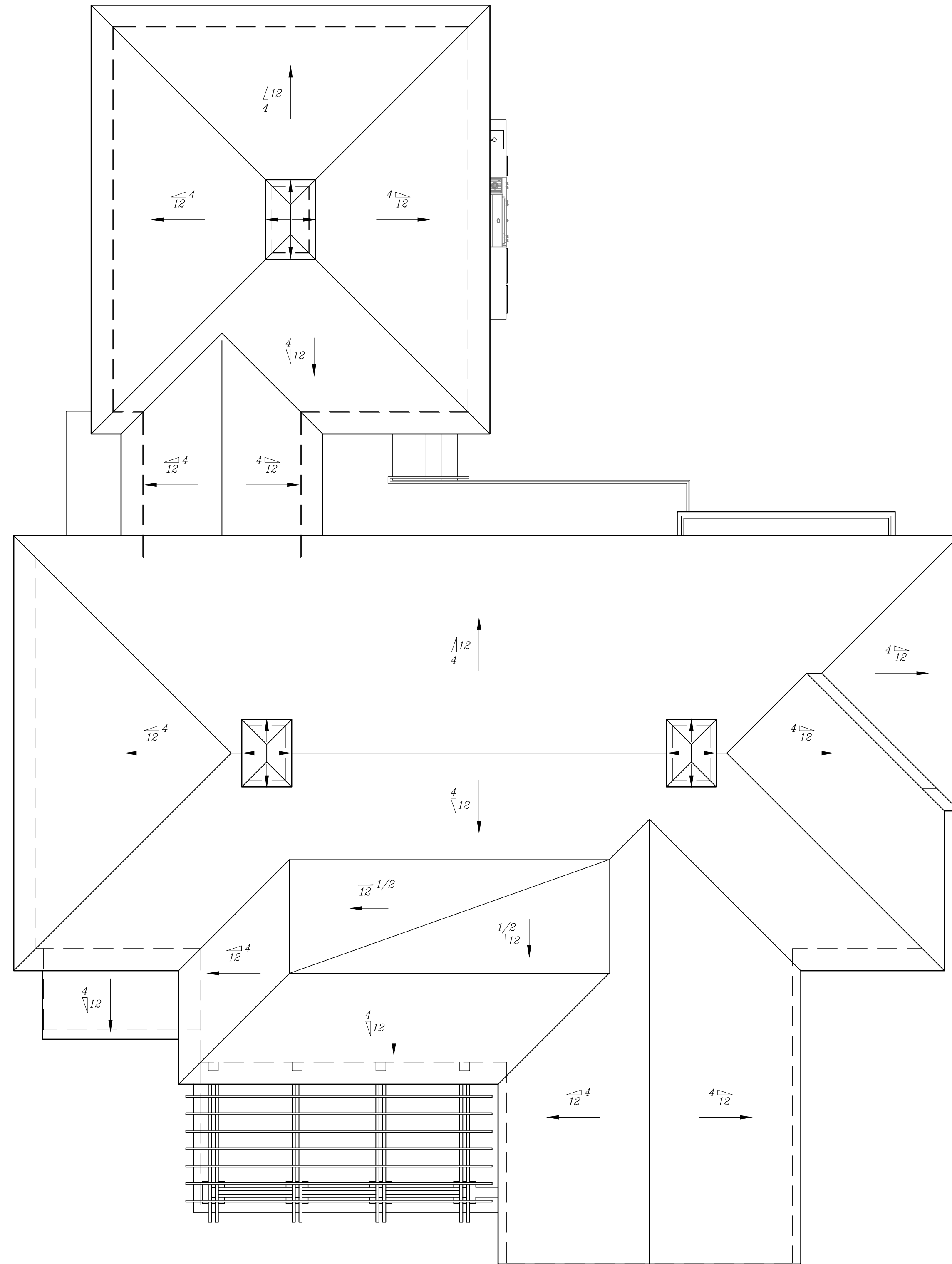
Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

A120

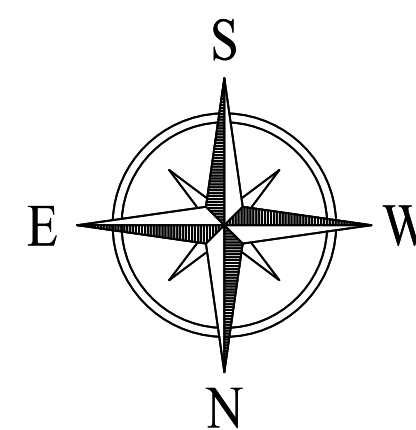
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2/24/2024 10:49 AM



1 **PREVIOUS ROOF PLAN**
3/16" = 1'-0"



2 **CURRENT ROOF PLAN**
3/16" = 1'-0"



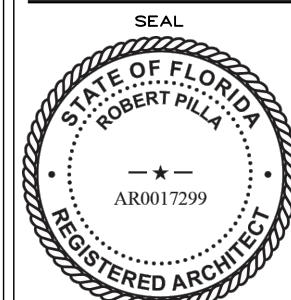
ARC-23-142



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REV.	DATE	PURPOSE

ROOF PLAN
Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

A130

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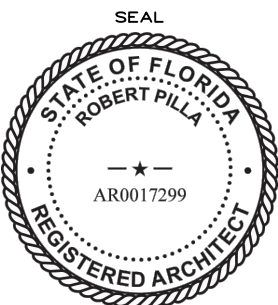
1 PREVIOUS - PERSPECTIVE RENDERING - VIEW TO SOUTHEAST
N.T.S.



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PALM BEACH
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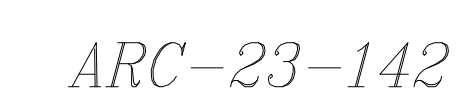
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FLORIDA AR0017299

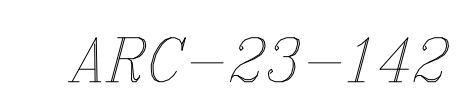
REV.	DATE	DESCRIPTION

RENDERING

Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

R-1







1 PROPOSED - PERSPECTIVE RENDERING W.O. LANDSCAPE - VIEW TO SOUTHWEST
N.T.S.



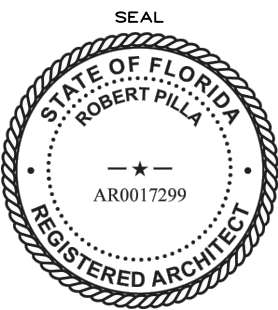
1 PREVIOUS - PERSPECTIVE RENDERING - FRONT VIEW
N.T.S.



WADIA ASSOCIATES, LLC
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PHONE (561) 282-9449
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REV.	DATE	DESCRIPTION

RENDERING

Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

R-3

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1
N.T.S.

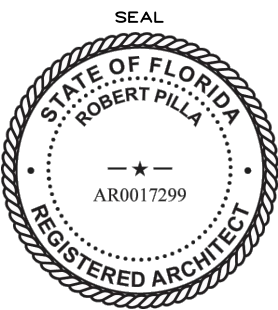
PROPOSED - PERSPECTIVE RENDERING W.O. LANDSCAPE - FRONT VIEW

WADIA
ASSOCIATES

WADIA ASSOCIATES, LLC
375 S. COUNTY RD.
PALM BEACH
FLORIDA 33480
PHONE (561) 282-9449
WADIAASSOCIATES.COM

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REV.	DATE	DESCRIPTION

RENDERING

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Drawn By:

R-3a



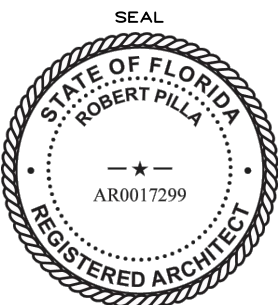
1 PREVIOUS - PERSPECTIVE RENDERING - VIEW TO NORTHEAST
N.T.S.



WADIA ASSOCIATES, LLC
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REV.	DATE	DESCRIPTION

RENDERING

Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

R-4

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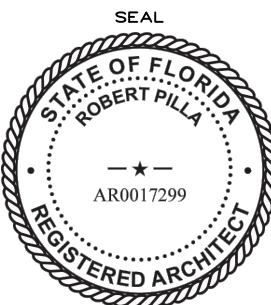
1 PROPOSED - PERSPECTIVE RENDERING W.O. LANDSCAPE - VIEW TO NORTHEAST
N.T.S.



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375 S. COUNTY RD.
PALM BEACH
FLORIDA 33480
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FLORIDA 33480

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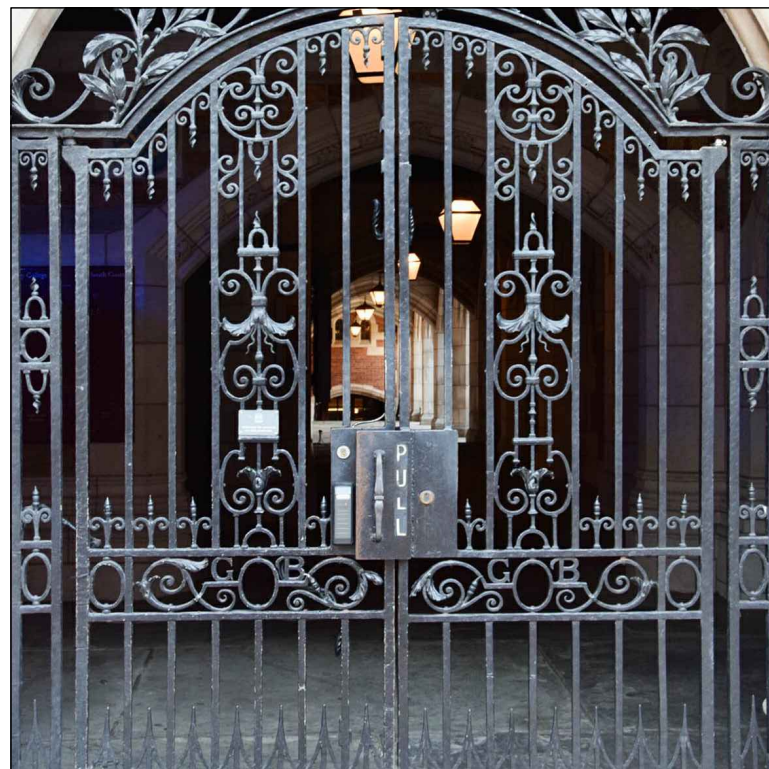
REV.	DATE	PURPOSE

RENDERING

Revision:
ARCOM Final Submission
2024.02.05
Drawn By:

R-4a

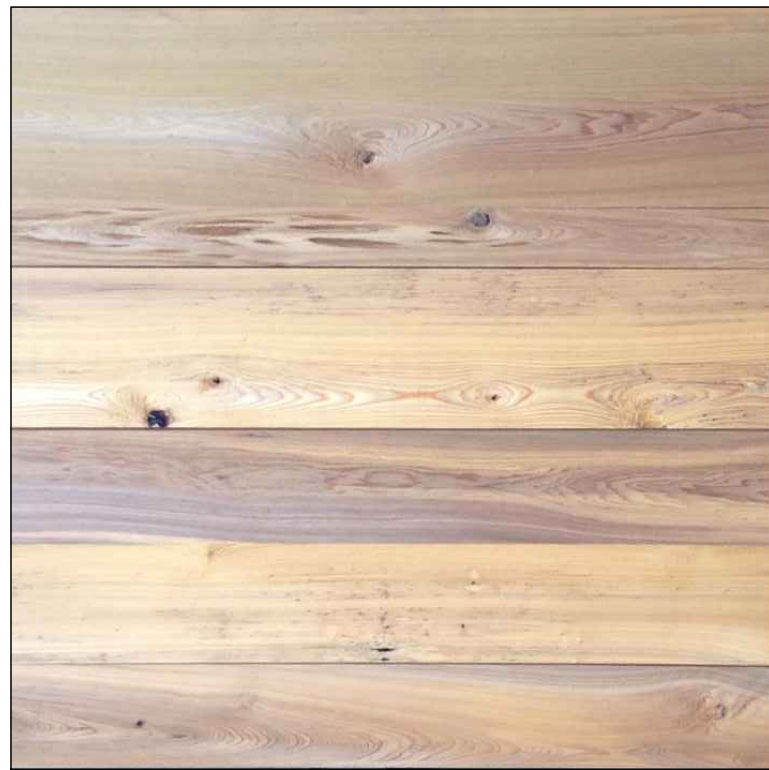
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METALWORK
HAND HAMMERED ANTIQUE BRONZE



ROOF TILE
ANTIQUE CUBAN BARREL TILE



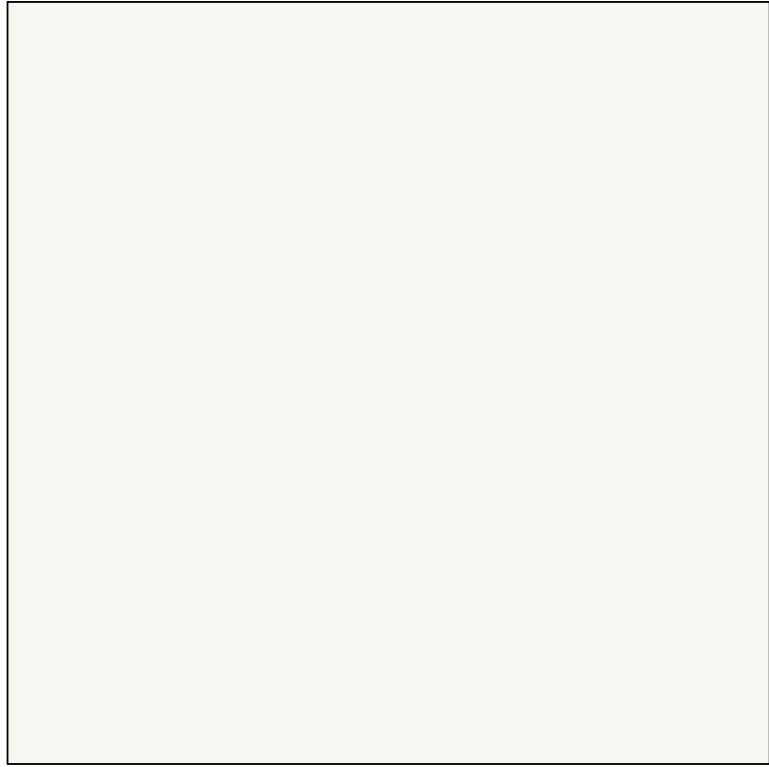
TRELLIS
OLD GROWTH STAINED CYPRESS



1 EXTERIOR ELEVATIONS - NORTH
N.T.S.



2 EXTERIOR ELEVATIONS - SOUTH
N.T.S.



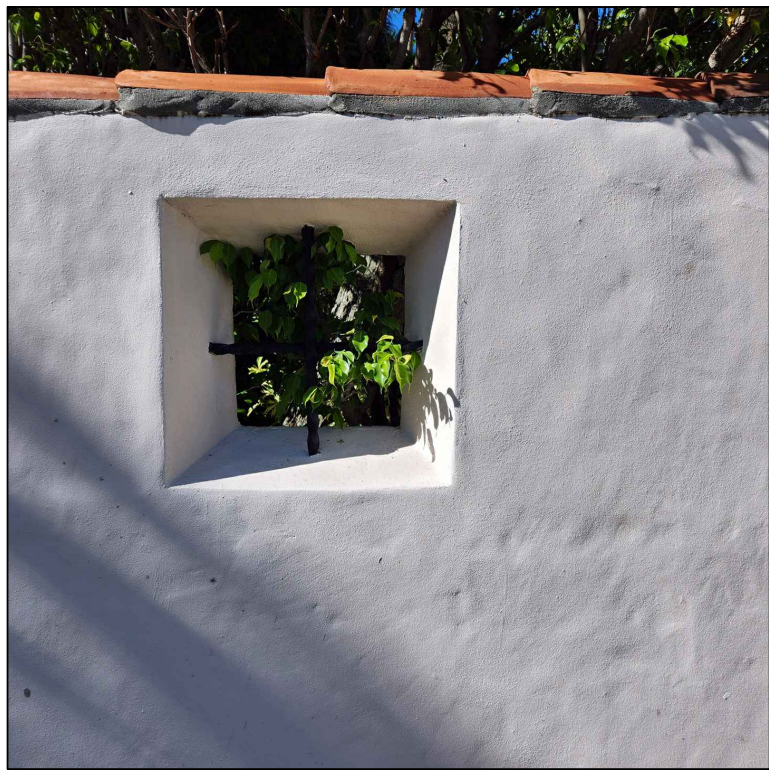
BODY OF HOUSE
2121-70 CHANTILLY LACE



WINDOWS & DOORS
STAINED MAHOGANY

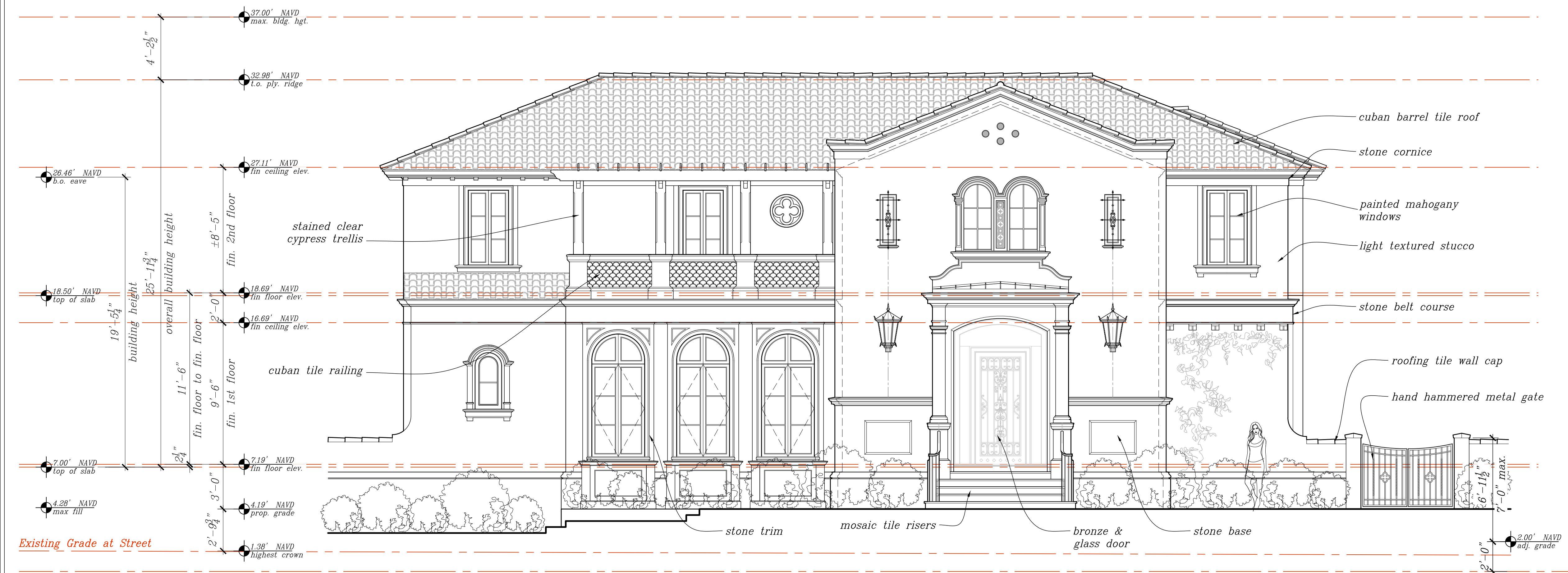


STONWORK
PORTUGUESE MOCHA CREAM



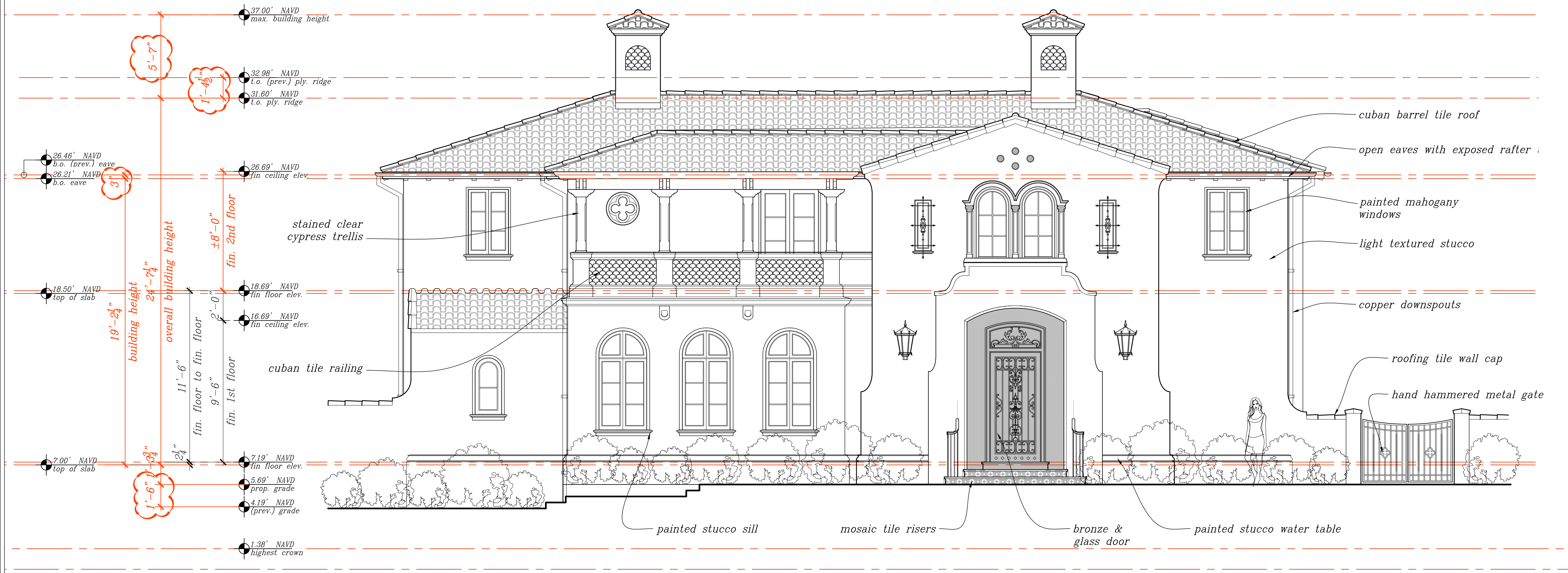
STUCCO
PALM BEACH FINISH



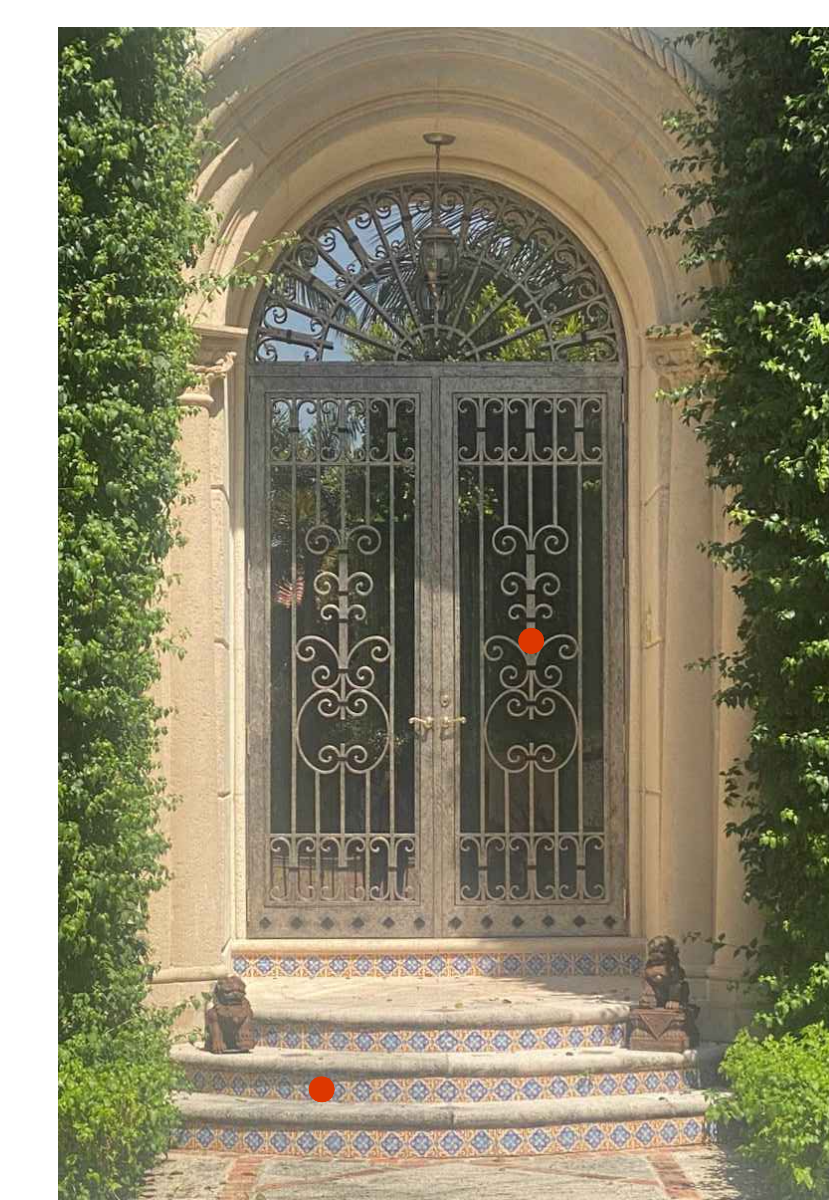


overall building height
reduced by 1'-4½"

1 EXTERIOR ELEVATIONS- NORTH (PREVIOUS)
1/4" = 1'-0"



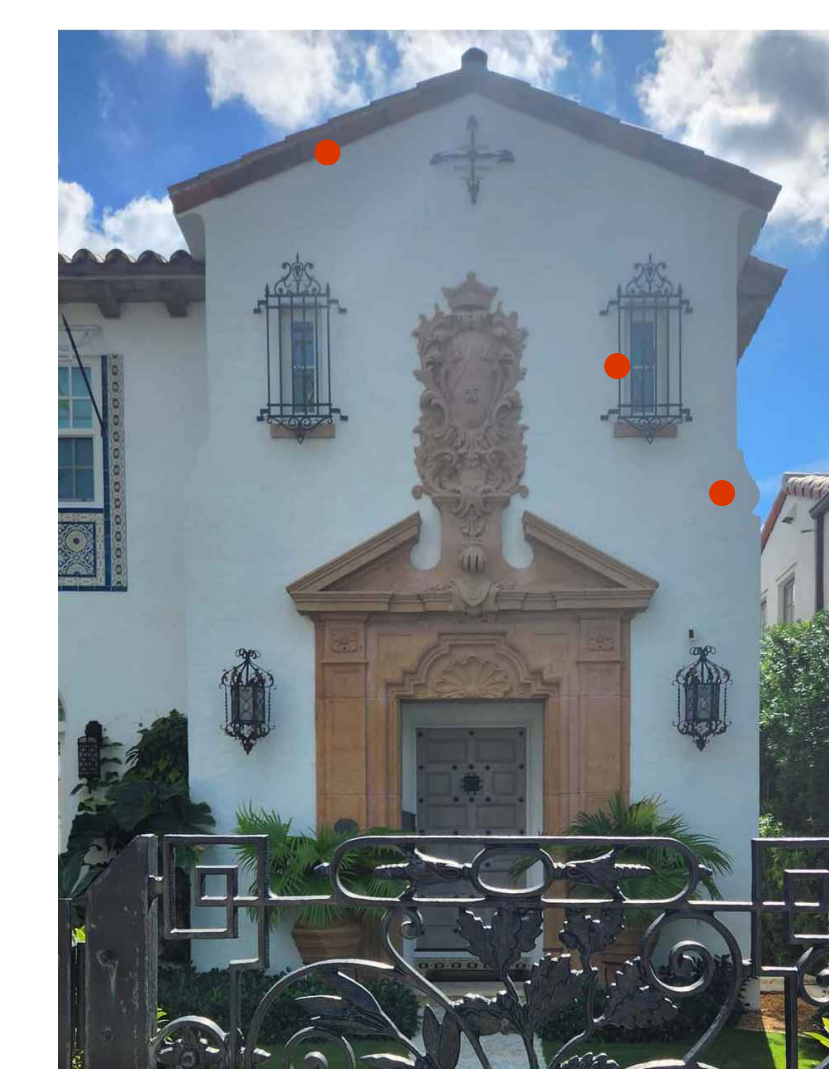
2 EXTERIOR ELEVATIONS- NORTH (CURRENT)



TILES AND METALWORK
219 CHILEAN AVE.
PALM BEACH, FL

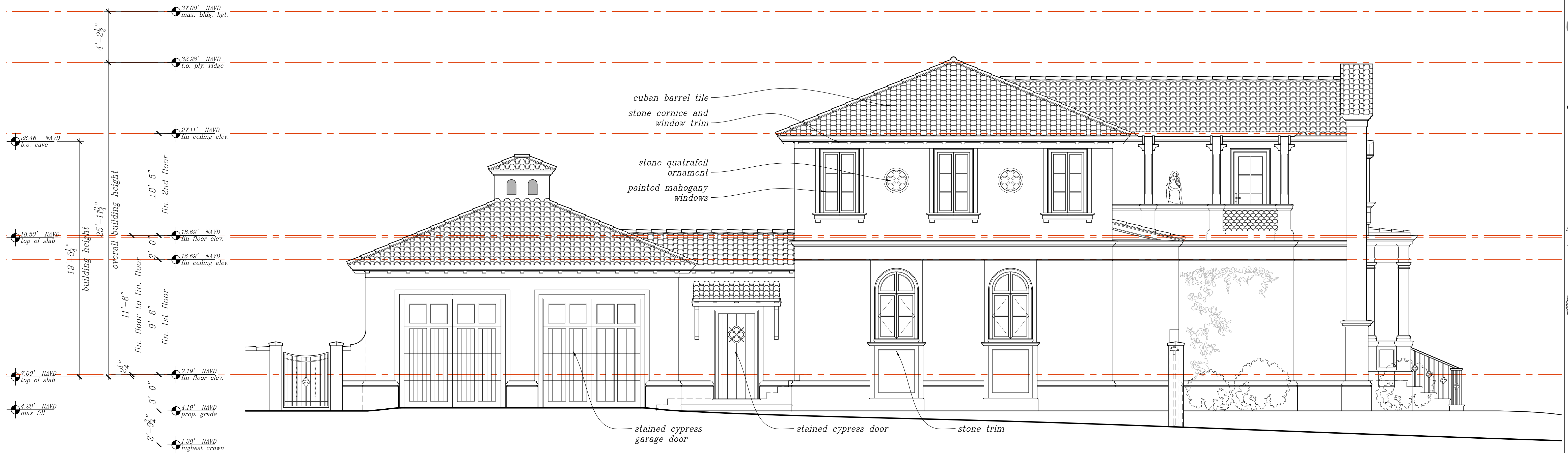


STONE SURROUND AT ENTRY
1320 N. LAKE WAY
PALM BEACH, FL



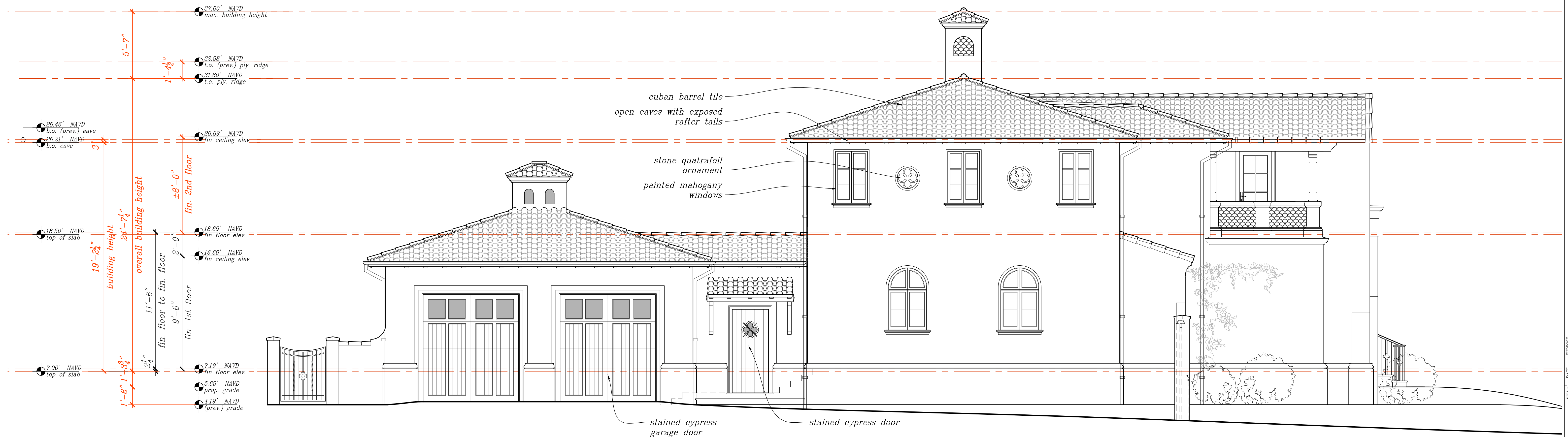
ROOF PITCH, STUCCO AND METALWORK
212 SEASPRAY AVE.
PALM BEACH, FL

P:\Current Drawings\2318 Seaspray Ave\2318 Seaspray Ave.dwg
25.00.00 10/01/2024



overall building height
reduced by 1'-4 1/2"

1 EXTERIOR ELEVATIONS- EAST (PREVIOUS)
1/4" = 1'-0"



2 EXTERIOR ELEVATIONS- EAST (CURRENT)
1/4" = 1'-0"

