

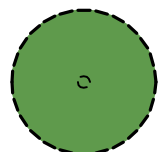
RECEIVED

By yfigueroa at 1:20 pm, Feb 05, 2024

Construction Screening Note:

CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.

Existing Plant Symbol Key



Existing tree/palm serving as construction buffering



Existing hedges serving as construction buffering



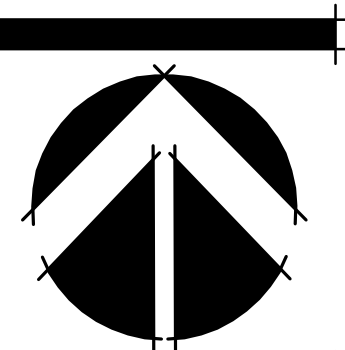
A EXISTING EAST LANDSCAPE BUFFER

123 CHILEAN AVE.
PALM BEACH, FLORIDA
CONSTRUCTION SCREENING PLAN

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 01

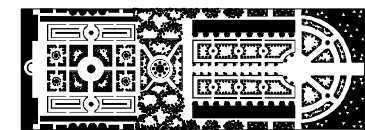
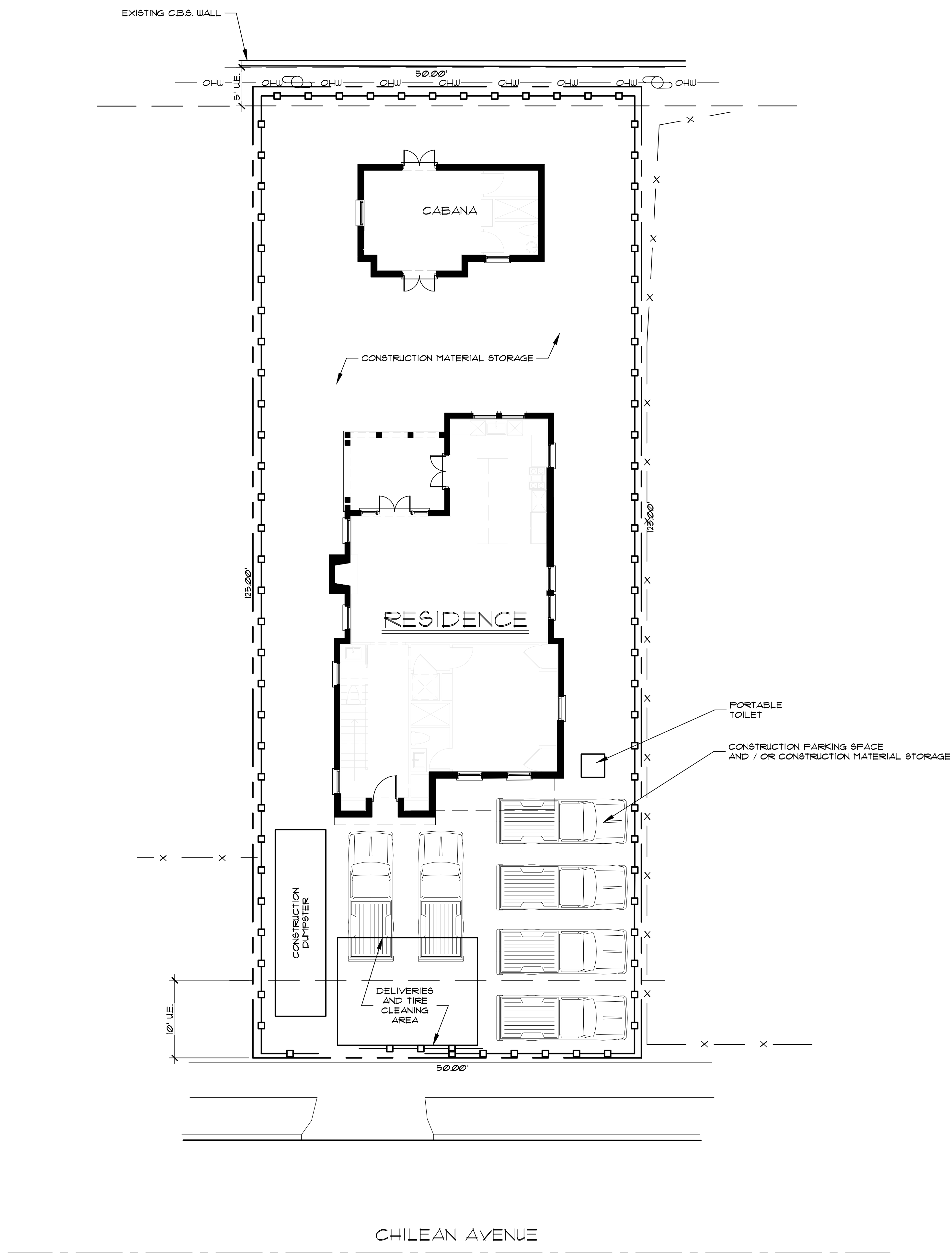
REVISIONS:

- 0.7.23 First Submittal
- 0.25.23 Second Submittal
- 1.14.23 Final submittal
- 3.24 Final submittal
- 5.24 Per ARCOM commts.



1-4

ZON: 23-113
ARC: 23-145



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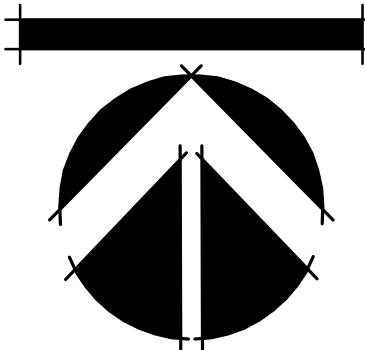
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
CONSTRUCTION STAGING PLAN

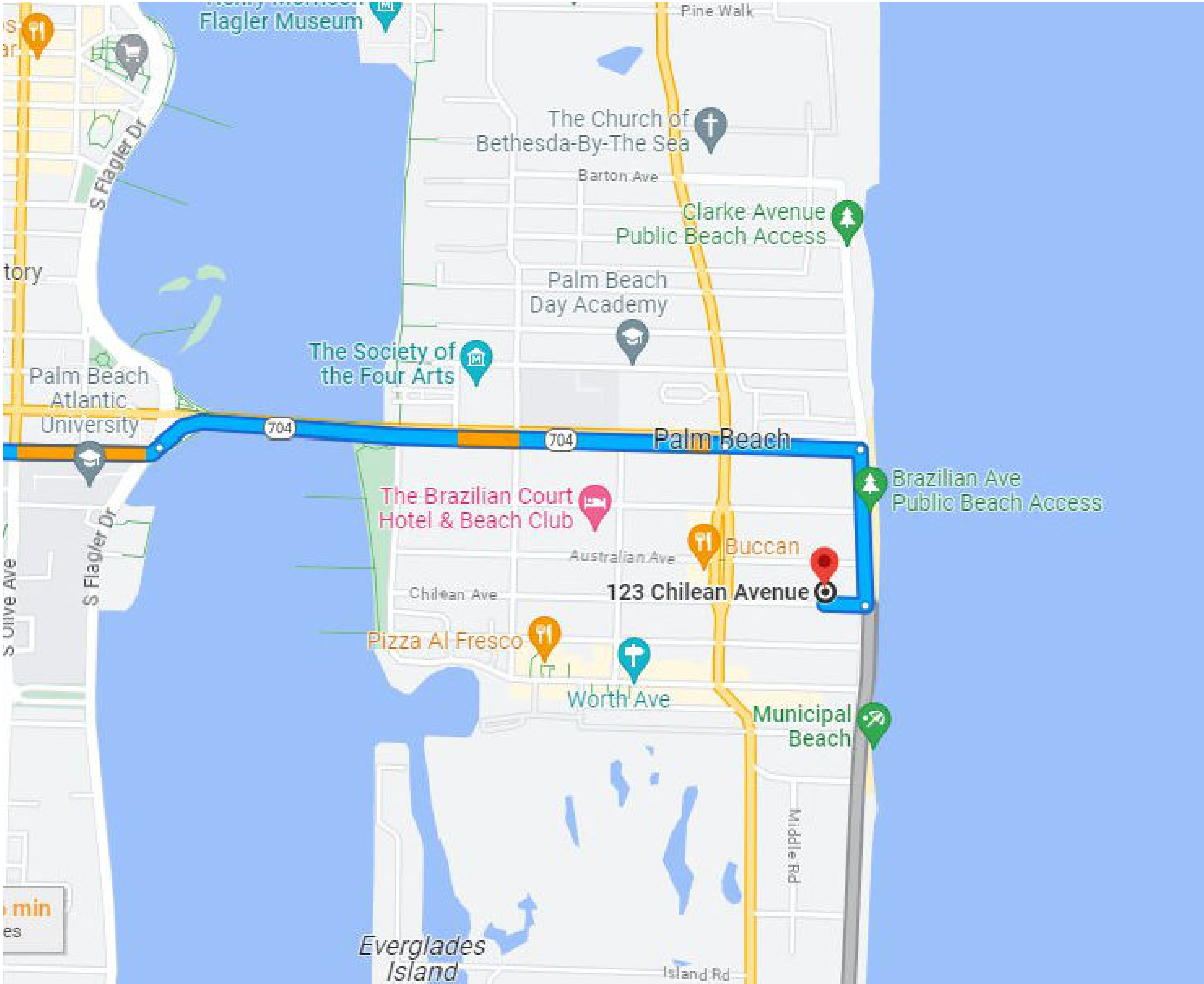
DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 01

REVISIONS:
9.1.23 First Submittal
9.25.23 Second Submittal
11.4.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM commts.



SHEET:
L-5

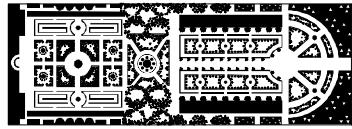
ZON: 23-113
ARC: 23-145



PRELIMINARY CONSTRUCTION SCHEDULE	
ARCHITECTURAL COMMISSION MEETING	DECEMBER 15, 2023
PERMIT DRAWING PREPARATION AND PERMIT REVIEW	JANUARY 2024 - APRIL 2024
DEMOLITION OF EXISTING STRUCTURES AND LANDSCAPING	1 MONTH - COMMENCE JUNE 2024
MOBILIZATION AND SITE PREPARATION	1 MONTH
FOUNDATION AND MECHANICAL ROUGH-IN	1 MONTH
MASONRY INSTALLATION	1 MONTH
SET ROOF TRUSSES	1 MONTH
DOOR AND WINDOW INSTALLATION	1 MONTH
INTERIOR FRAMING	1½ MONTHS
MECHANICAL, ELECTRICAL AND PLUMBING ROUGH-IN	2 MONTHS
DRY WALL, TRIM, PAINT	2½ MONTHS
INSTALL FINISHES AND FIXTURES	5 MONTHS
LANDSCAPE AND HARDSCAPE INSTALLATION	1 MONTH
PUNCH LIST AND FINAL INSPECTIONS	1 MONTH
CLOSE-OUT	DECEMBER 2026

Truck Logistics

- A. Roadways: Deliveries and workers will access Palm Beach by heading east on Royal Palm Way over the Royal Park Bridge, south on South Ocean Boulevard and then west on Chilean Avenue. The property is located on the north side of Chilean Avenue.
- B. Maximum truck length = 30'
- C. Estimated number of deliveries generated by this project = 200



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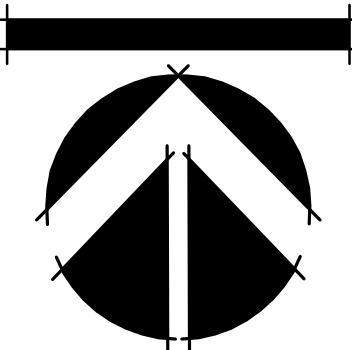
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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
TRUCK LOGISTICS PLAN

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 06

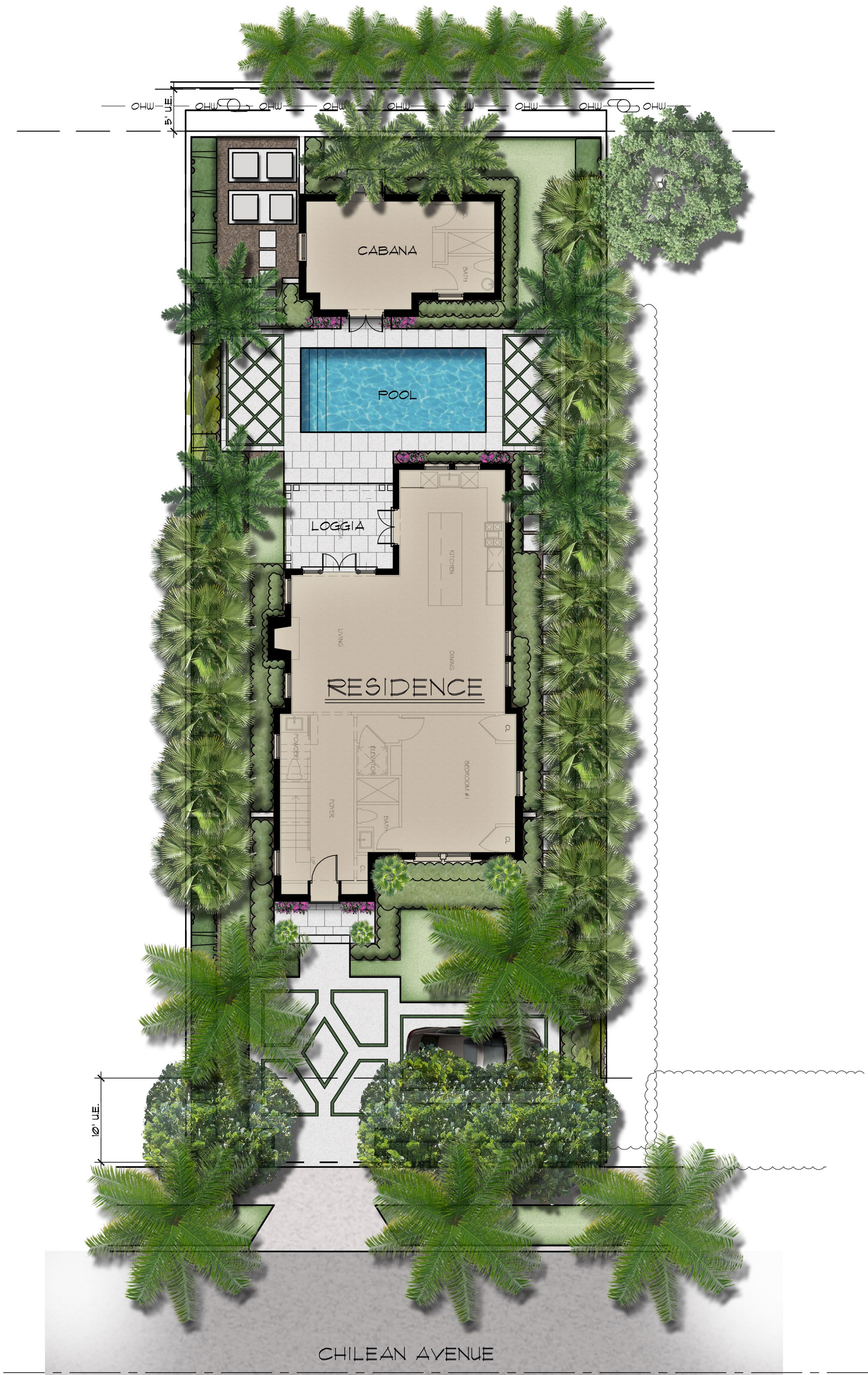
REVISIONS:
9.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM commts.



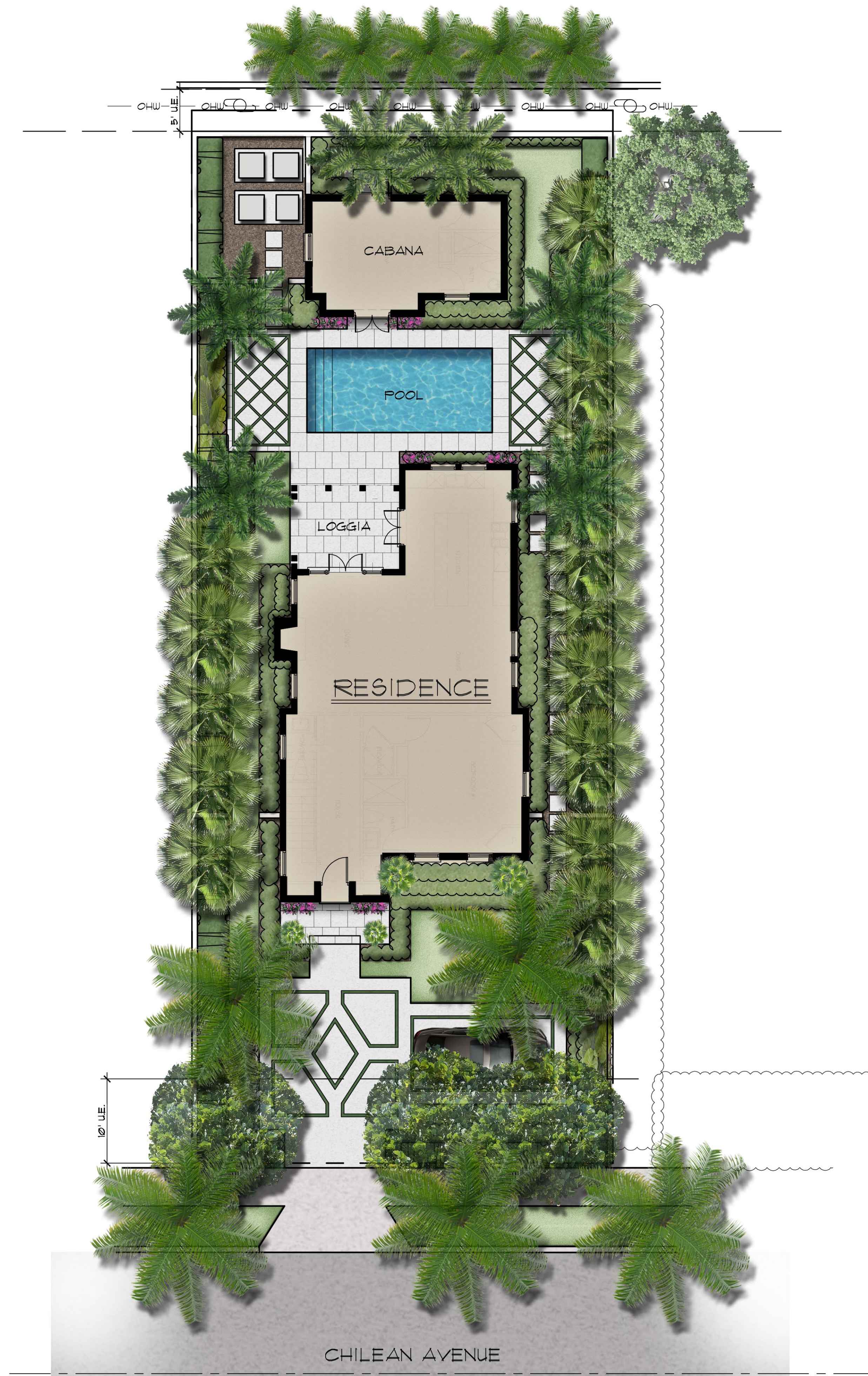
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L-6

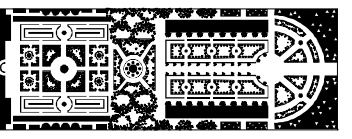
ZON: 23-113
ARC: 23-145



PREVIOUSLY PROPOSED



CURRENTLY PROPOSED



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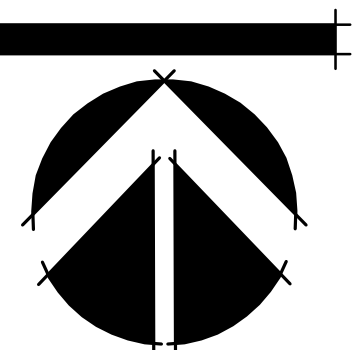
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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
LANDSCAPE PLAN RENDER

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 06

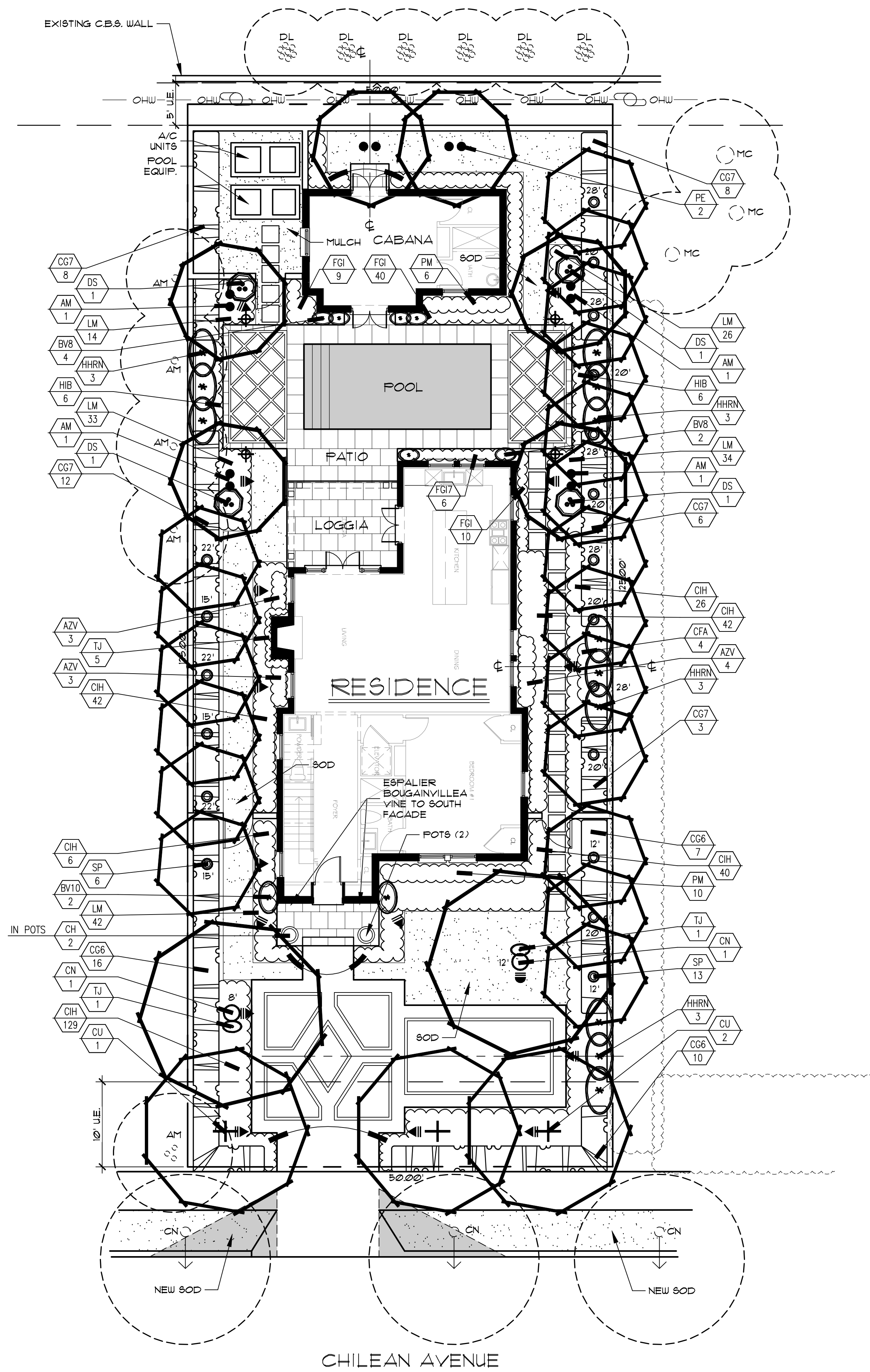
REVISIONS:
9.123 First Submittal
9.25.23 Second Submittal
11.4.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM comnts.



SHEET:

L-1

ZON: 23-113
ARC: 23-145



Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing vegetation to remain
- Existing vegetation to be removed

Existing Plant Key

- AM = *Adonidia merrillii* / Christmas Palm
- CD = *Coccothraustes uvifera* x *diversifolia* / Sea Plum
- DL = *Dyosia lutescens* / Areca Palm
- CN = *Cocos nucifera* / Coconut Palm
- FB = *Ficus benjamina* / Weeping Fig
- FM = *Ficus microcarpa* / Cuban Laurel
- MC = *Mimusops coriacea* / Monkey's Apple
- PR = *Pimenta racemosa* / Bay Rum
- RE = *Rhapsalis excelsa* / Lady Palm

Landscape Lighting Specifications

SYM	QTY	SPECIFICATION
	15	CAST BRASS ACCENT LIGHT: WAC 5011-21BBR 12V 8W LED, 60" WIDE FLOOD
	1	CAST BRASS WELL LIGHT: WAC 6041-21BBR 12V 8W LED, 60" WIDE FLOOD
	4	CAST BRASS PATH LIGHT: WAC 6041-21BBR 12V LED, TIKI PATH LIGHT

LANDSCAPE LIGHTING DATA:

TOTAL LOT AREA = 6,248 SQ. FT. (143 ACRES)

TOTAL LIGHT FIXTURES = 21
TOTAL FIXTURES PER ACRE: 147 (150 MAX.)

TOTAL WATTS PROPOSED (LED) = 152 WATTS
TOTAL WATTS PER ACRE (LED) = 1,063 WATTS/ACRE (5,000 WATTS/ACRE MAX.)
TOTAL WATTS PROPOSED (HALOGEN / INCANDESCENT EQUIVALENT) = 675 WATTS
TOTAL WATTS PER ACRE (HALOGEN / INCANDESCENT EQUIVALENT) = 4,120 WATTS/ACRE (5,000 WATTS/ACRE MAX.)

LANDSCAPE LIGHTING NOTES:

- MOUNT ALL ABOVE GROUND FIXTURES ON M6000-STAKE.
- INSTALL ALL LOW VOLTAGE WIRING IN CONDUIT MINIMUM 12" BELOW GRADE.
- ALL FIXTURES SHALL BE 6'-0" MINIMUM FROM SWIMMING POOL OR OTHER BODY OF WATER.
- ALL FIXTURES WITHIN 10'-0" OF POOL SHALL HAVE A TRANSFORMER BASE AND GFCI PROTECTION.
- NO FIXTURE SHALL EXCEED 80 WATTS.
- NO LIGHT BULB OR FIXTURE SHALL BE VISIBLE FROM OUTSIDE OF THE PROPERTY.
- NO MORE THAN 1/2 FOOT-CANDLE OF LIGHT SHALL BE REFLECTED OFF OF THE PROPERTY.



Town of Palm Beach

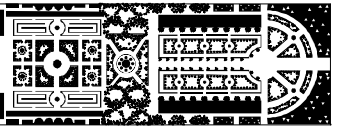
Planning Zoning and Building

360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend		
1	Property Address:	123 Chilean Avenue	
2	Lot Area (sq. ft.):	6,248 sq. ft.	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	2,812 sq. ft. / 45%	2,838 sq. ft. / 45.4%
5	LOS to be altered (Sq Ft and %)	N/A	6,248 sq. ft. / 100%
6	Perimeter LOS (Sq Ft and %)	1,406 sq. ft. / 50%	2,274 sq. ft. / 80.8%
7	Front Yard LOS (Sq Ft and %)	600 sq. ft. / 40%	800 sq. ft. / 53.4%
8	Native Trees %	30% (number of trees)	100% (4)
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	38.2% (285)
10	Native Groundcover %	30% (groundcover area)	N/A

To determine qualifying native vegetation use either:

[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)



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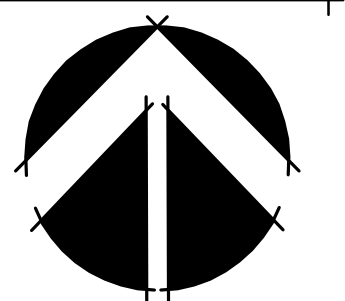
LANDSCAPE ARCHITECTURE
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Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
LANDSCAPE AND LANDSCAPE LIGHTING PLAN

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 05

REVISIONS:
0123 First Submittal
02523 Second Submittal
11423 Final submittal
1324 Final submittal

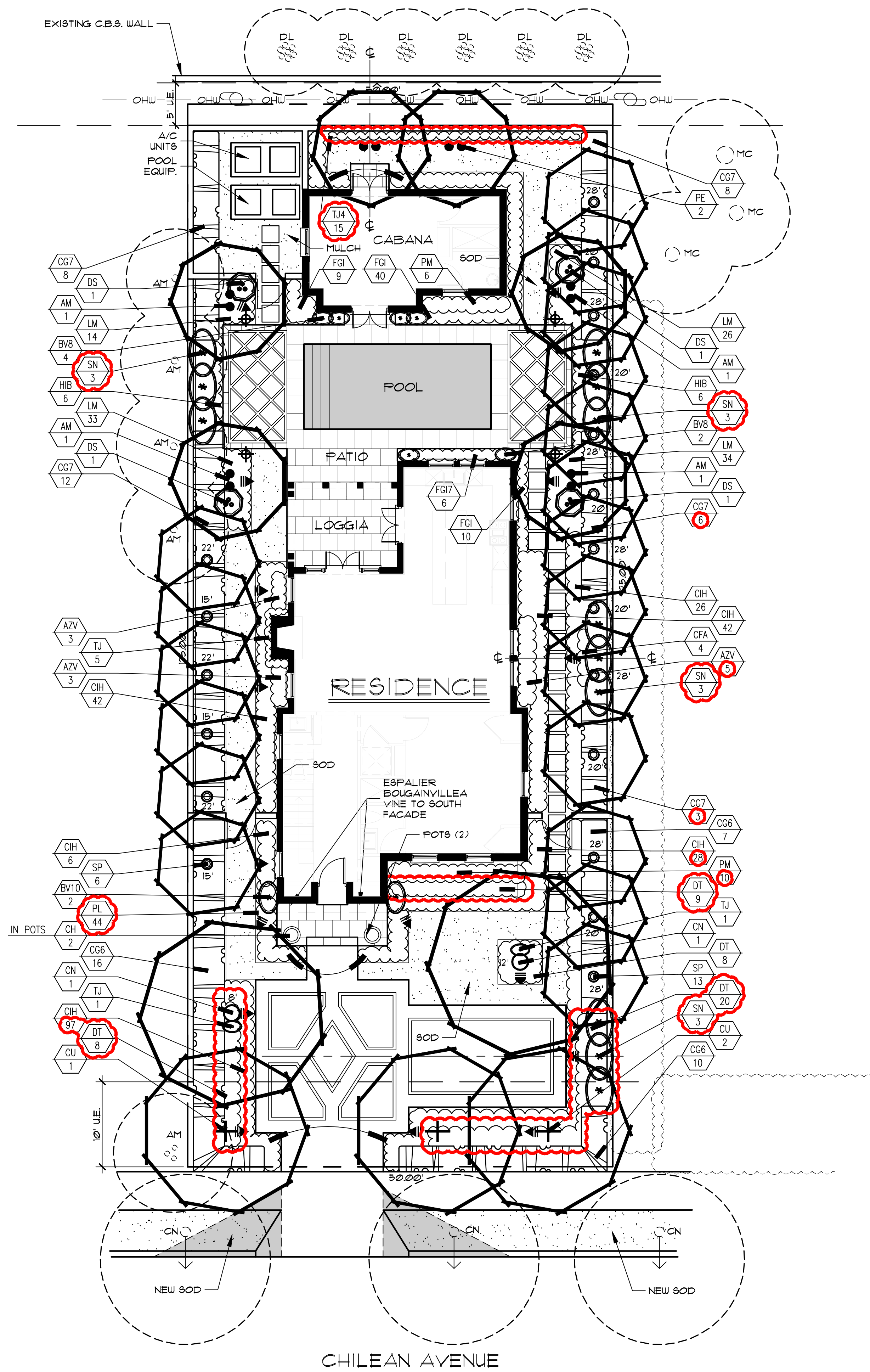


SHEET:

L-8

PREVIOUSLY PROPOSED

ZON: 23-113
ARC: 23-145



Existing Plant Symbol Key

- Existing tree/palm to remain
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- LANDSCAPE LIGHTING NOTES:
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 - INSTALL ALL LOW VOLTAGE WIRING IN CONDUIT MINIMUM 12" BELOW GRADE.
 - ALL FIXTURES SHALL BE 6'-0" MINIMUM FROM SWIMMING POOL OR OTHER BODY OF WATER.
 - ALL FIXTURES WITHIN 10'-0" OF POOL SHALL HAVE A TRANSFORMER BASE AND GFCI PROTECTION.
 - NO FIXTURE SHALL EXCEED 20 WATTS.
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Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend		
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7	Front Yard LOS (Sq Ft and %)	600 sq. ft. / 40%	796sq. ft. / 53.1%
8	Native Trees %	30% (number of trees)	100% (4)
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	35.7% (241)
10	Native Groundcover %	30% (groundcover area)	N/A

To determine qualifying native vegetation use either:
[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)

CURRENTLY PROPOSED

ZON: 23-113
ARC: 23-145

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
LANDSCAPE AND LANDSCAPE LIGHTING PLAN

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 01

REVISIONS:
0123 First Submittal
0223 Second Submittal
11423 Final submittal
1324 Final submittal
2524 Per ARCOM commts.

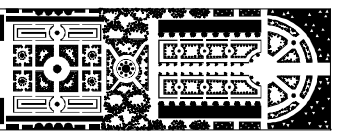




Previously Proposed Front Elevation - View From Chilean Avenue



Currently Proposed Front Elevation - View From Chilean Avenue



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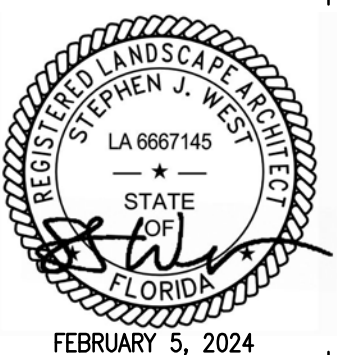
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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

REVISIONS:
9.1.23 First Submittal
9.25.23 Second Submittal
11.4.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM comnts.



SHEET:

1-9

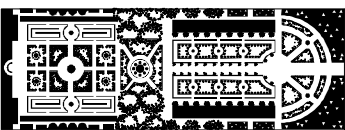
ZON: 23-113
ARC: 23-145



Previously Proposed Front Elevation - Interior View



Currently Proposed Front Elevation - Interior View



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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

REVISIONS:
9.1.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM comnts.



SHEET:
L-10

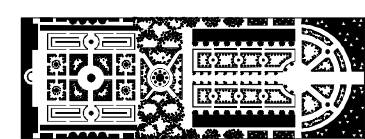
ZON: 23-113
ARC: 23-145



Previously Proposed East Elevation



Currently Proposed East Elevation



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BISHOP RESIDENCE
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PALM BEACH, FLORIDA

PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

REVISIONS:
0123 First Submittal
0223 Second Submittal
11423 Final submittal
1324 Final submittal
2524 Per ARCOM commts.



FEBRUARY 5, 2024

SHEET:
L-11

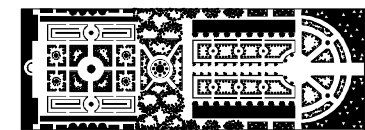
ZON
ARC



Previously Proposed North Elevation



Currently Proposed North Elevation



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BISHOP RESIDENCE
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PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

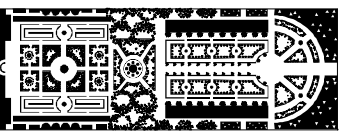
REVISIONS:
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9.25.23 Second Submittal
11.4.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM comnts.



SHEET:

L-12

ZON: 23-113
ARC: 23-145



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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

REVISIONS:
9.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
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2.5.24 Per ARCOM comms.



SHEET:

L-13

ZON: 23-
ARC: 23

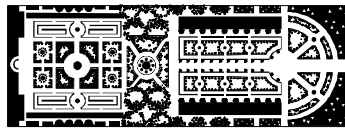
Previously Proposed West Elevation

Currently Proposed West Elevation

Plant List

SYM	QTY	NAME	SPECIFICATIONS
PALMS			
AM	4	Adonidia merrillii / Christmas Palm	12' ht., double stem, full frond, matching
CN	2	Cocos nucifera 'Green Malayan' / Coconut Palm	1 at 8' g.w., 1 at 12' g.w., heavy cal., straight trunk, full frond
PE	2	Ptychosperma elegans / Alexander Palm	14' ht., double stem, full frond
* SP	19	Sabal palmetto / Regenerated Cabbage Palm	Regenerated head, 2@12' ht., 3@15' ht., 6@20' ht., 3@22' ht., 5@28' ht. slick/straight trunk
TREES			
* CU	3	Coccoloba uvifera / Sea Grape	16' x 14', 5'-6' c.t., single/straight trunk, full canopy
SHRUBS and VINES			
AZV	10	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger	7 gal., 30" x 30", full
BV10	2	Bougainvillea Vine	25 gal., 10' ht., full to base, fuschia flower, espalier to wall
BV8	6	Bougainvillea Vine	25 gal., 8' ht., full to base, fuschia flower, espalier to wall
CFA	4	Cordyline fruticosa 'Auntie Lou'	7 gal., 32" x 30", full
CG6	33	Clusia guttifera / Small Leaf Clusia	6' x 4', full to base
CG7	37	Clusia guttifera / Small Leaf Clusia	7' x 4', full to base
CH	2	Chamaerops humilis / European Fan Palm	7 gal., 30" x 30", single stem, full frond, plant in pots with potting soil, filter fabric and drain rock
* CIH	285	Chrysobalanus icaco 'Horizontal' / Horizontal Cocoplum	3 gal., 16" x 18", full
DS	4	Dombeya 'Seminole' / Dombeya	15 gal., 36" x 36", full
FGI	59	Ficus 'Green Island' / Green Island Ficus	3 gal., 12" x 12", full
FGI7	6	Ficus 'Green Island' / Green Island Ficus	7 gal., 22" x 20", full
HHRN	12	Heliconia 'Hot Rio Nights'	15 gal., 7'-8' ht., full, dense
HIB	12	Hibiscus 'White Wings' / Hibiscus shrub	3 gal., 24" x 22", full to base, white flower with red throat
LM	149	Liriope muscari 'Super Blue'	3 gal. 15" x 15", full
PM	16	Podocarpus macrophyllus / Yew	7 gal., 42" x 18", full to base
TJ	7	Trachelospermum jasminoides / Confederate Jasmine	3 gal., 28" o.a., full to base, espalier to wall in solid pattern/attach to palm trunk
MISCELLANEOUS			
MULCH		Chocolate Brown	3" depth, 100% coverage in all plant beds
SOD		Zeon Zoysia or alternate approved by Landscape Architect	Solid sod, laid tight, rolled for compaction Fine grade and install 80/20 mix of 80% coarse sand and 20% Canadian peat, 2"-3" thick over existing soil prior to laying sod

* Denotes Florida native plant material.



PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

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Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
PLANT LIST

DATE: 08/15/2023
DRAWN BY: SW/JUL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 05

REVISIONS:
9.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.3.24 Final submittal



SHEET:

PREVIOUSLY PROPOSED

ZON: 23-113
ARC: 23-145

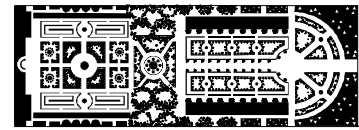
L-14

Plant List

SYM	QTY	NAME	SPECIFICATIONS
PALMS			
AM	4	Adonidia merrillii / Christmas Palm	12' ht., double stem, full frond, matching
CN	2	Cocos nucifera 'Green Malayan' / Coconut Palm	1 at 8' g.w., 1 at 12' g.w., heavy cal., straight trunk, full frond
PE	2	Ptychosperma elegans / Alexander Palm	14' ht., double stem, full frond
* SP	19	Sabal palmetto / Regenerated Cabbage Palm	Regenerated head, 3@15' ht., 6@20' ht., 3@22' ht., 7@28' ht. slick/straight trunk
TREES			
* CU	3	Coccoloba uvifera / Sea Grape	16' x 14', 5'-6' c.t., single/straight trunk, full canopy
SHRUBS and VINES			
AZV	11	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger	7 gal., 30" x 30", full
BV10	2	Bougainvillea Vine	25 gal., 10' ht., full to base, fuschia flower, espalier to wall
BV8	6	Bougainvillea Vine	25 gal., 8' ht., full to base, fuschia flower, espalier to wall
CFA	4	Cordyline fruticosa 'Auntie Lou'	7 gal., 32" x 30", full
CG6	33	Clusia guttifera / Small Leaf Clusia	6' x 4', full to base
CG7	37	Clusia guttifera / Small Leaf Clusia	7' x 4', full to base
CH	2	Chamaerops humilis / European Fan Palm	7 gal., 30" x 30", single stem, full frond, plant in pots with potting soil, filter fabric and drain rock
* CIH	241	Chrysobalanus icaco 'Horizontal' / Horizontal Cocoplum	3 gal., 16" x 18", full
DS	4	Dombeya 'Seminole' / Dombeya	15 gal., 36" x 36", full
DT	45	Dianella tasmanica / Blueberry Flax Lily	3 gal., 16" x 16", full
FGI	59	Ficus 'Green Island' / Green Island Ficus	3 gal., 12" x 12", full
FGI7	6	Ficus 'Green Island' / Green Island Ficus	7 gal., 22" x 20", full
HHRN	12	Heliconia 'Hot Rio Nights'	15 gal., 7'-8' ht., full, dense
HIB	12	Hibiscus 'White Wings' / Hibiscus shrub	3 gal., 24" x 22", full to base, white flower with red throat
LM	107	Liriope muscari 'Super Blue'	3 gal. 15" x 15", full
PL	44	Pentas lanceolata 'BeeBright' / BeeBright Pentas	1 gal., 14" x 12", full, white flowers
PM	16	Podocarpus macrophyllus / Yew	7 gal., 42" x 18", full to base
SN	12	Strelitzia nicolai / White Bird of Paradise	8' o.a., multi-stem, dense, full frond
TJ	7	Trachelospermum jasminoides / Confederate Jasmine	3 gal., 28" o.a., full to base, espalier to wall in solid pattern/attach to palm trunk
TJ4	15	Trachelospermum jasminoides / Confederate Jasmine	4 gal., 28" o.a., full to base, espalier to wall in solid pattern/attach to palm trunk
MISCELLANEOUS			
MULCH		Chocolate Brown	3" depth, 100% coverage in all plant beds
SOD		Zeon Zoysia or alternate approved by Landscape Architect	Solid sod, laid tight, rolled for compaction Fine grade and install 80/20 mix of 80% coarse sand and 20% Canadian peat, 2"-3" thick over existing soil prior to laying sod

* Denotes Florida native plant material.

CURRENTLY PROPOSED



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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
PLANT LIST

DATE: 08/15/2023
DRAWN BY: SUJUL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 01

REVISIONS:
8.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM comnts.



SHEET:

L-14

ZON: 23-113
ARC: 23-145

Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services and all plants not otherwise specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

MEASUREMENTS

Trees: Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "v" crotches that could be points of weak limb structure or disease infestation.

Shrubs: Heights shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.

Palms: Clear Trunk (C.T.), shall be measured from the ground at the time of installation to the point where the mature aged trunk joins the immature or green portion of the trunk or the head.

Overall height (O.H.) shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Palms with marred or burred trunks will not be accepted.

SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16"-1'-12"	"AGRIFORM" TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
7-15 gal.	1/2 lb.	4
1'-6" caliper	2 lbs./1" caliper	2/1" caliper
6" and larger	3 lbs./1" caliper	2/1" caliper

*Florida East Coast Palm Special will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

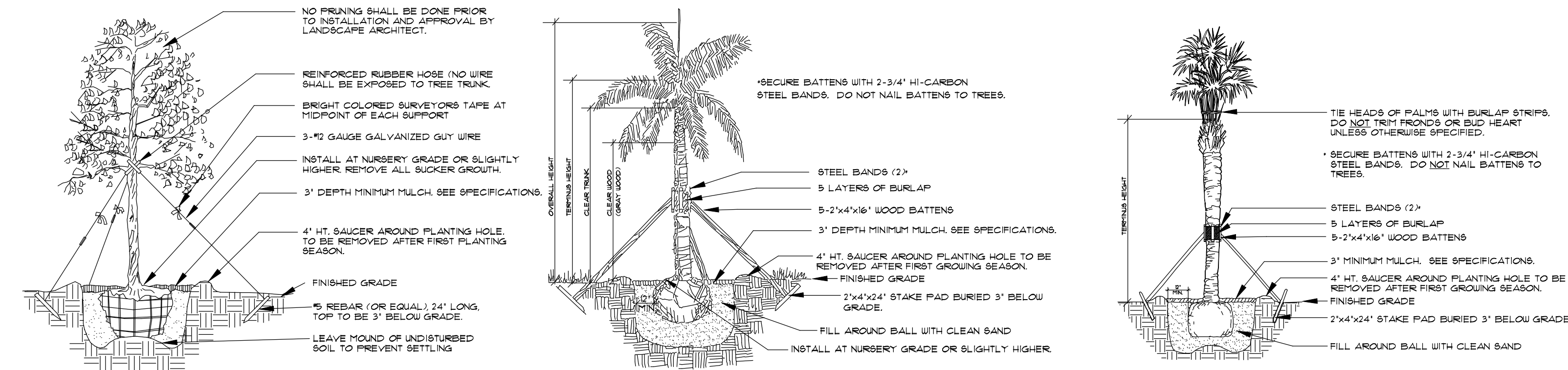
MULCH

Mulch material shall be three (3) inches of shredded melaleuca mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

SUBSTITUTIONS

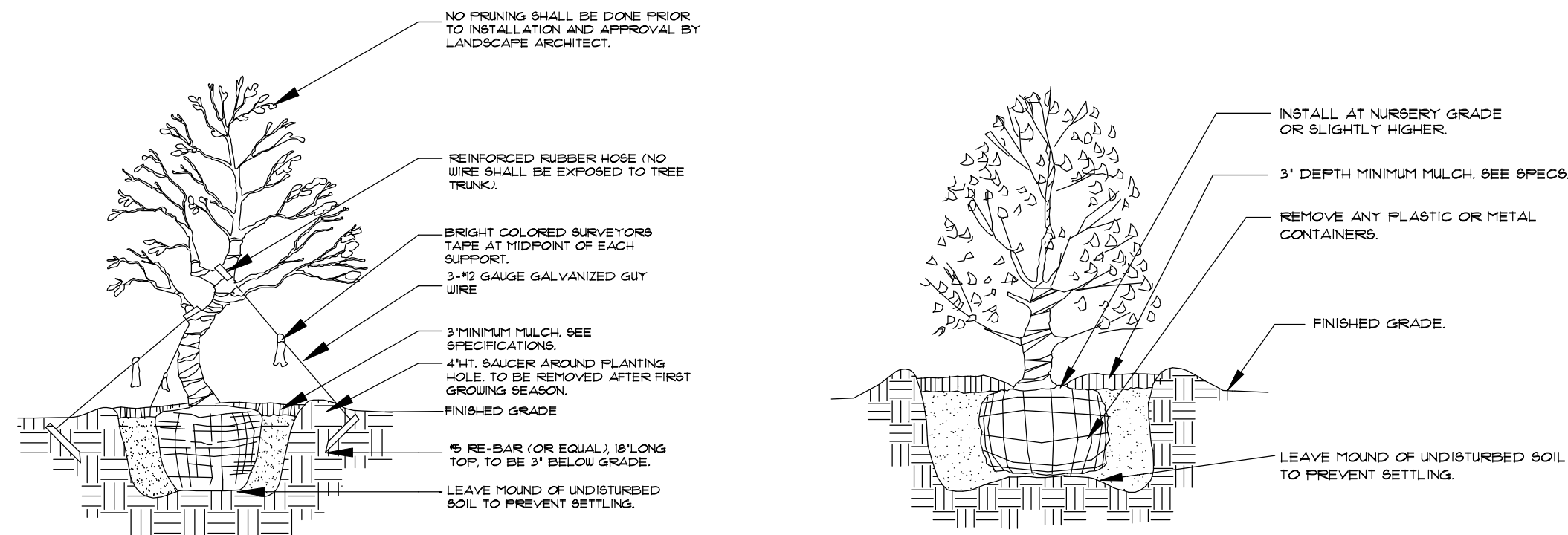
No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

Planting Details



Tree Planting

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
* BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT & MAINTAIN A VERTICAL POSITION.



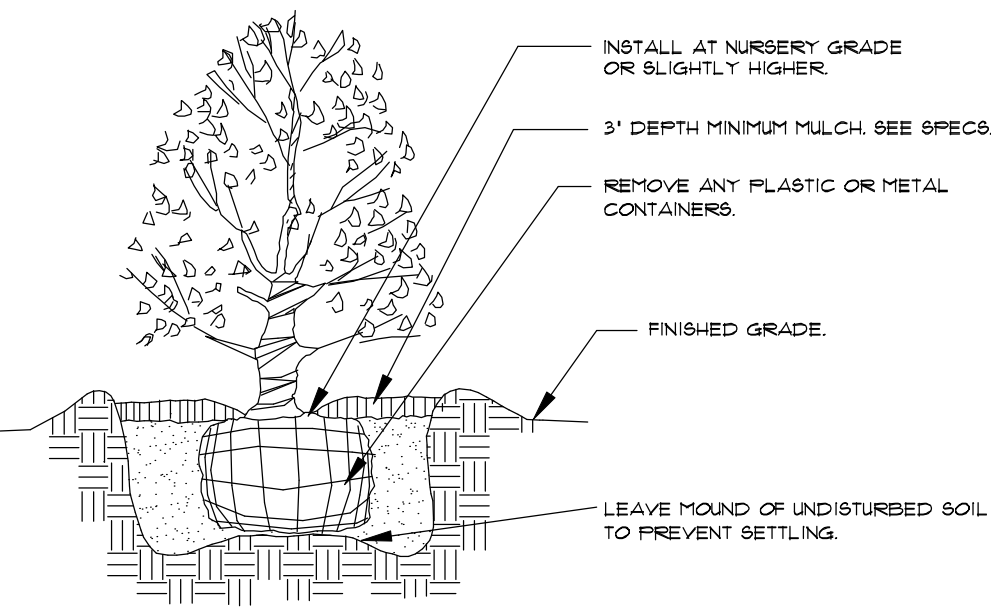
Irregular & Multi-Stem Tree Planting

FOR TREES 6"-14" HT.
NOTES:
SEE SPECIFICATIONS FOR BACKFILL MIXTURES AND FERTILIZATION.
BRACING-SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.

Palm Planting

APPLIES TO: ROYAL PALMS, QUEEN PALMS, ALEXANDER PALMS, MANILA PALMS.

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
* BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



Shrub Planting

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

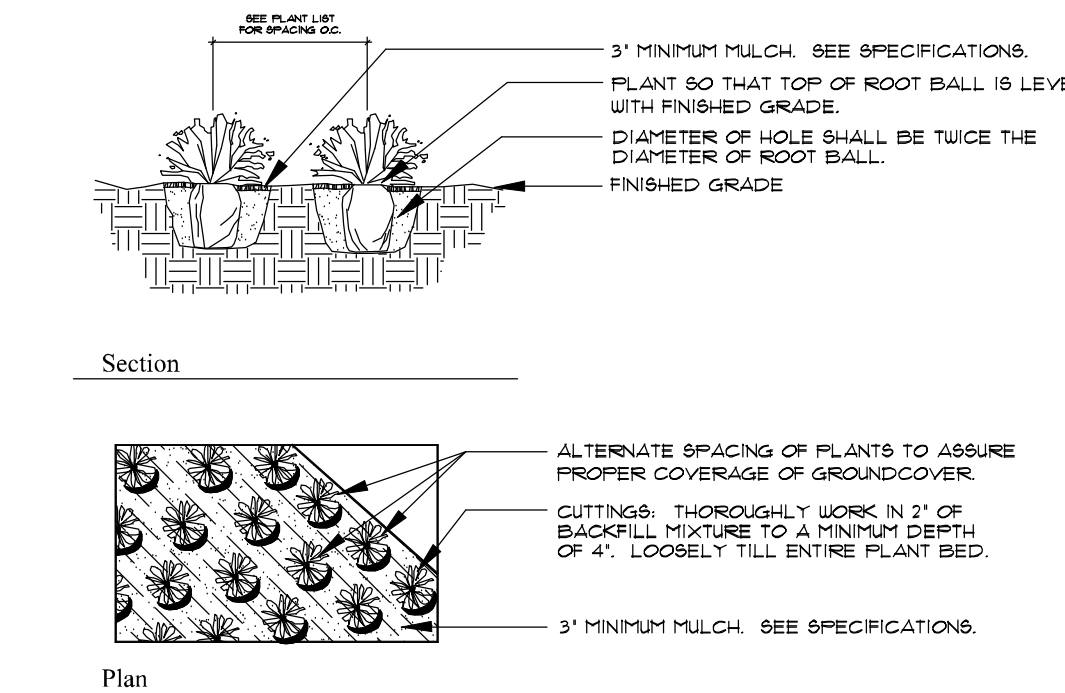
Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and sod shall have an automatic irrigation system providing 100% coverage. Said system shall consist of an automatic or electronic sensing device or switch that will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.
- Invasive species, including Brazilian Pepper, Australian Pine, Melaleuca, Snake Plant, Scaevola and Earleaf Acacia shall be eradicated in the development area and removed from the site.

Palm Planting

APPLIES TO: SABAL PALMS, WASHINGTON PALMS, CANARY ISLAND DATE PALMS, SENEGAL DATE PALMS.

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

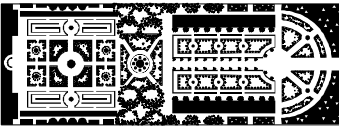


Groundcover Planting

* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and sod shall have an automatic irrigation system providing 100% coverage. Said system shall consist of an automatic or electronic sensing device or switch that will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.
- Invasive species, including Brazilian Pepper, Australian Pine, Melaleuca, Snake Plant, Scaevola and Earleaf Acacia shall be eradicated in the development area and removed from the site.



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design group, inc.

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Jupiter, Florida 33458

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Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
PLANTING DETAILS AND SPECIFICATIONS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

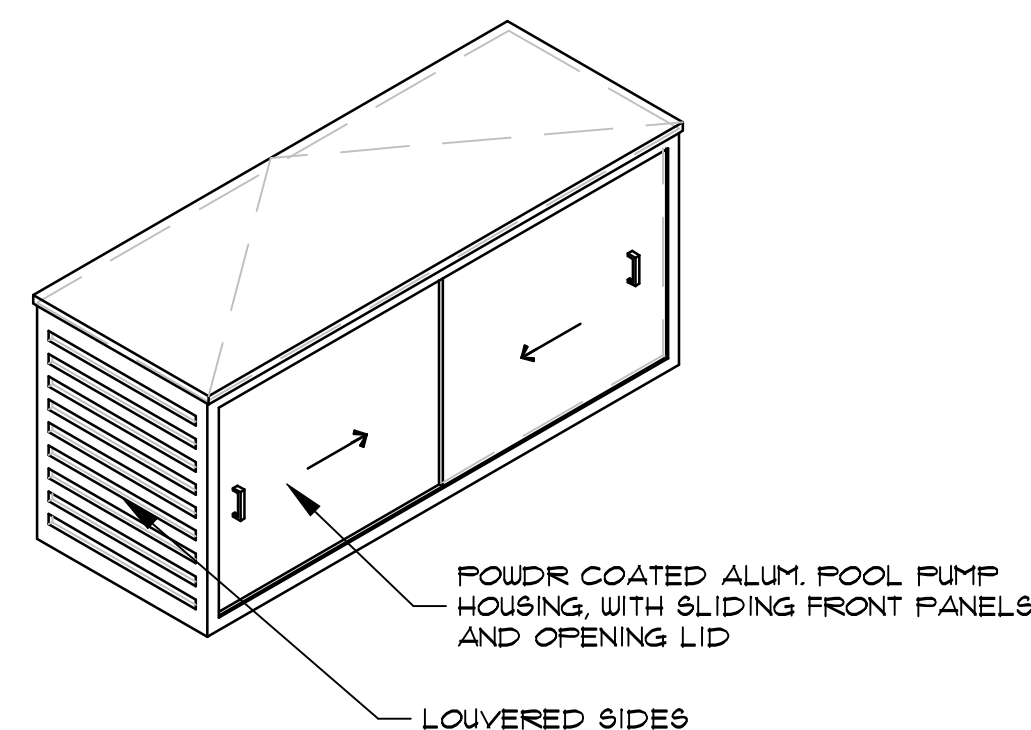
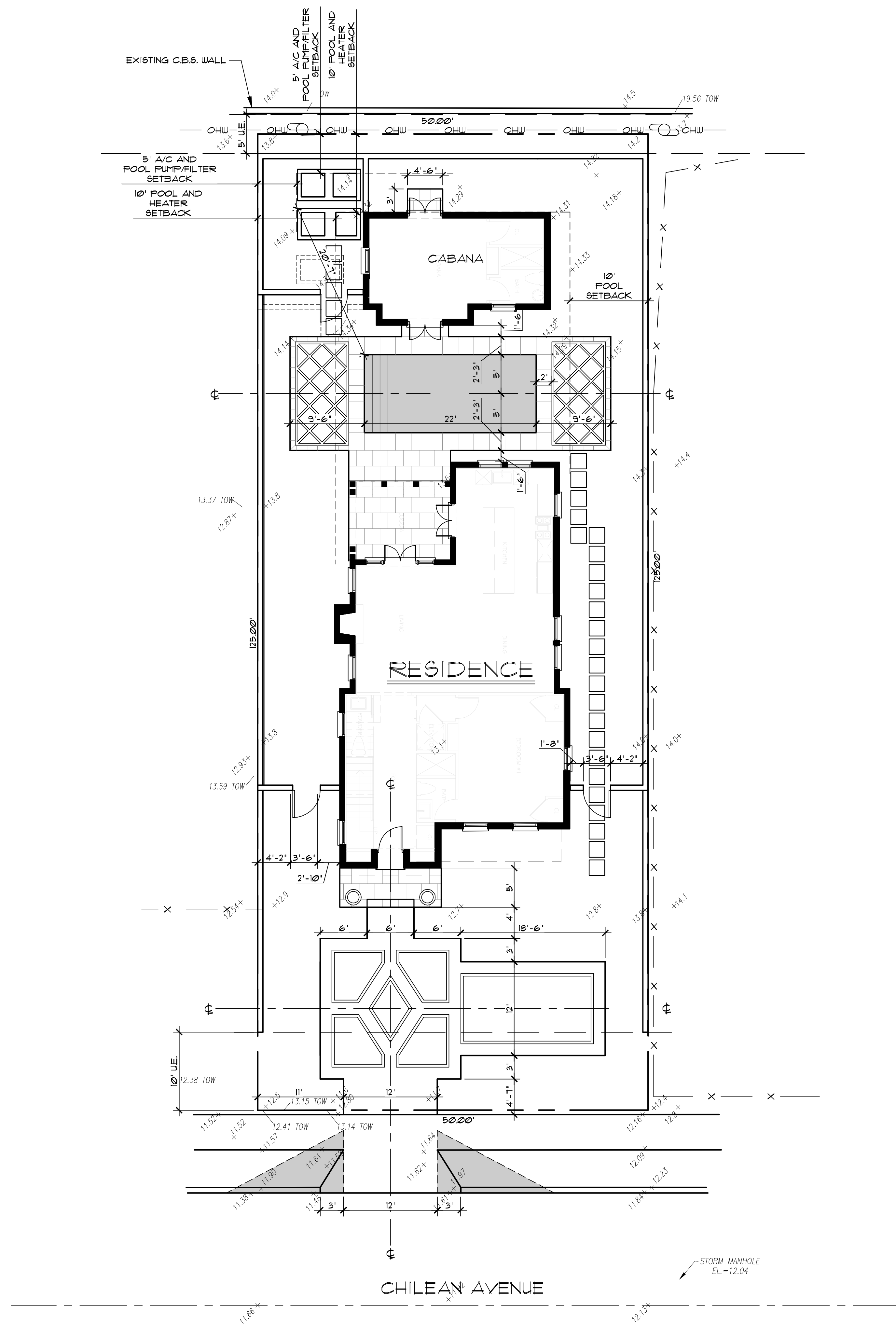
REVISIONS:
0.123 First Submittal
0.2523 Second Submittal
1.1423 Final submittal
2.524 Per ARCOM commts.



SHEET:

L-15

ZON: 23-113
ARC: 23-145



A POOL PUMP ENCLOSURE DETAIL



C DRIVEWAY:
EPIPHANY BEIGE TABBY CONCRETE

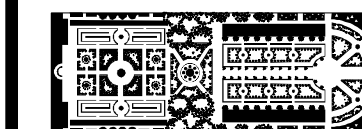


D PATIOS/LANDINGS:
SUNSET BEIGE LIMESTONE BY HAIFA, BRUSHED FINISH

Layout Notes

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
2. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
4. ALL FILL FOR BERMING AND PLANTING BROUGHT TO THE SITE SHALL BE CLEAN, FRIABLE SANDY LOAM OF SLIGHTLY ACID TO NEUTRAL PH. ALL FILL SHALL BE FREE FROM STICKS, ROCKS MARL, SOD AND OTHER DEBRIS.
5. REMOVE ALL ROAD BASE, SHELLROCK, MARL, CORAL ROCK, AND RUBBLE 30' MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT MIN. OF 1/8' PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION AND ELECTRIC SLEEVES TO ALL PLANTERS.

ZON: 23-113
ARC: 23-145



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design group, inc.

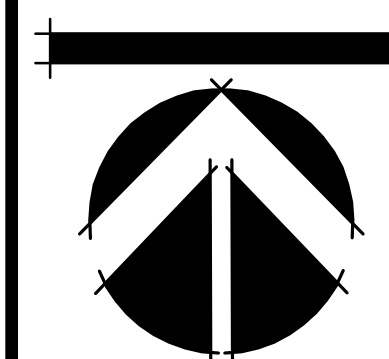
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
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BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
HARDSCAPE PLAN

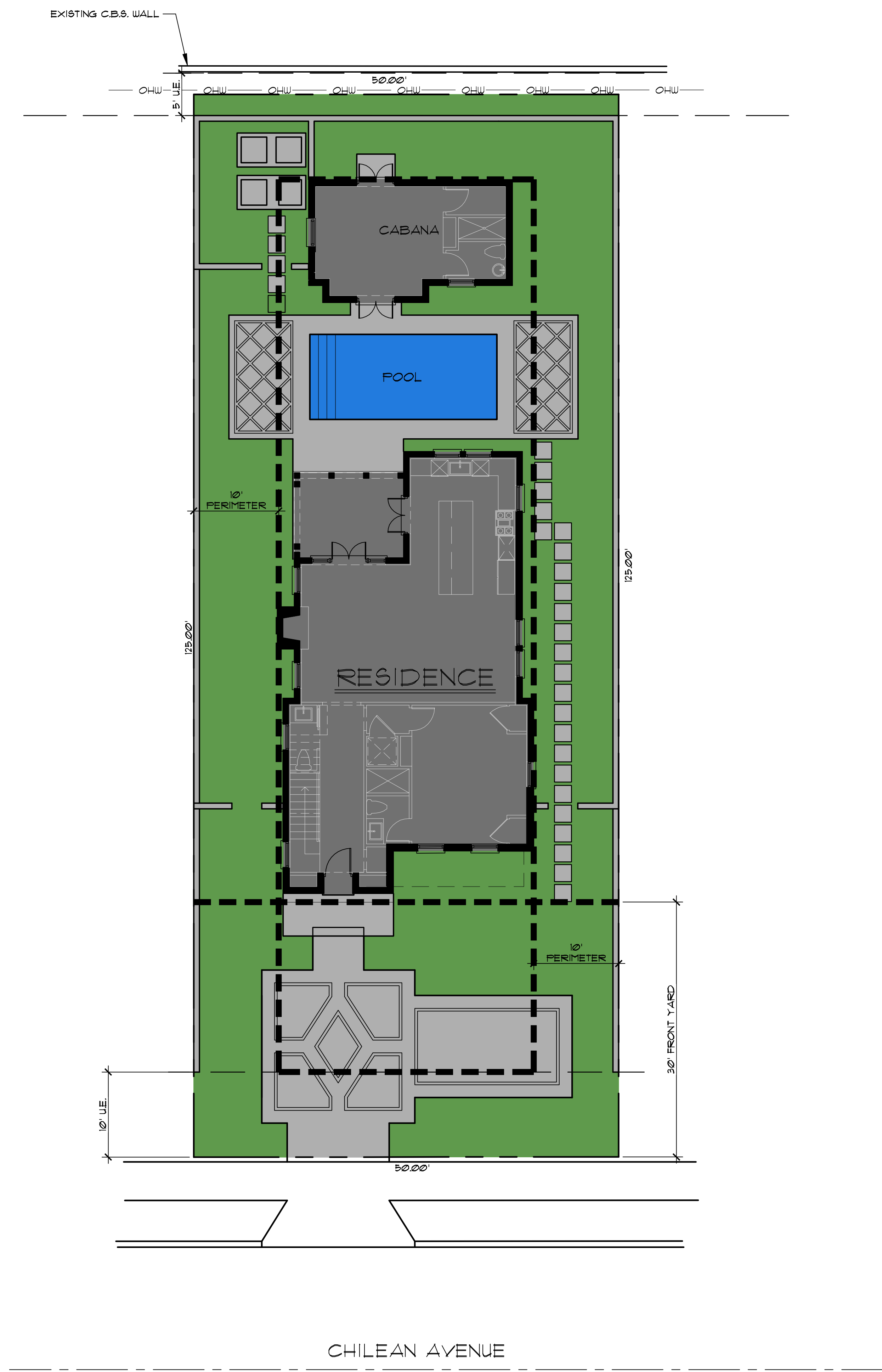
DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 01

REVISIONS:
9.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM commts.



SHEET:

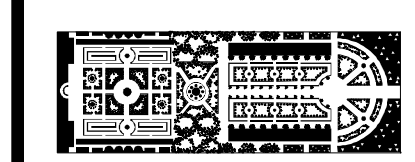
L-16



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend		
1	Property Address:	123 Chilean Avenue	
2	Lot Area (sq. ft.):	6,248 sq. ft.	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	2,812 sq. ft. / 45%	2,836 sq. ft. / 45.4%
5	LOS to be altered (Sq Ft and %)	N/A	6,248 sq. ft. / 100%
6	Perimeter LOS (Sq Ft and %)	1,406 sq. ft. / 50%	2,277 sq. ft. / 73.5%
7	Front Yard LOS (Sq Ft and %)	600 sq. ft. / 40%	796sq. ft. / 53.1%
8	Native Trees %	30% (number of trees)	100% (4)
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	35.7% (241)
10	Native Groundcover %	30% (groundcover area)	N/A

To determine qualifying native vegetation use either:
[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)



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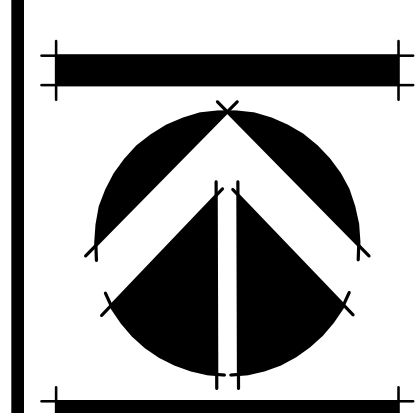
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
LANDSCAPE OPEN SPACE DIAGRAM

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: 1/8"=1'-0"
FILENAME: Bishop 01

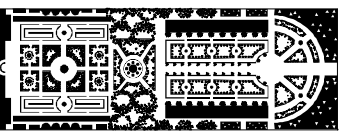
REVISIONS:
9.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.3.24 Final submittal
2.5.24 Per ARCOM commts.



SHEET:

L-18

ZON: 23-113
ARC: 23-145



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design group, inc.

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Jupiter, Florida 33458

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License #LA0001347

BISHOP RESIDENCE
123 CHILEAN AVE.
PALM BEACH, FLORIDA
YARD SECTION DETAILS

DATE: 08/15/2023
DRAWN BY: SW/JL
JOB NO.: 23-082
SCALE: N/A
FILENAME: Bishop 06

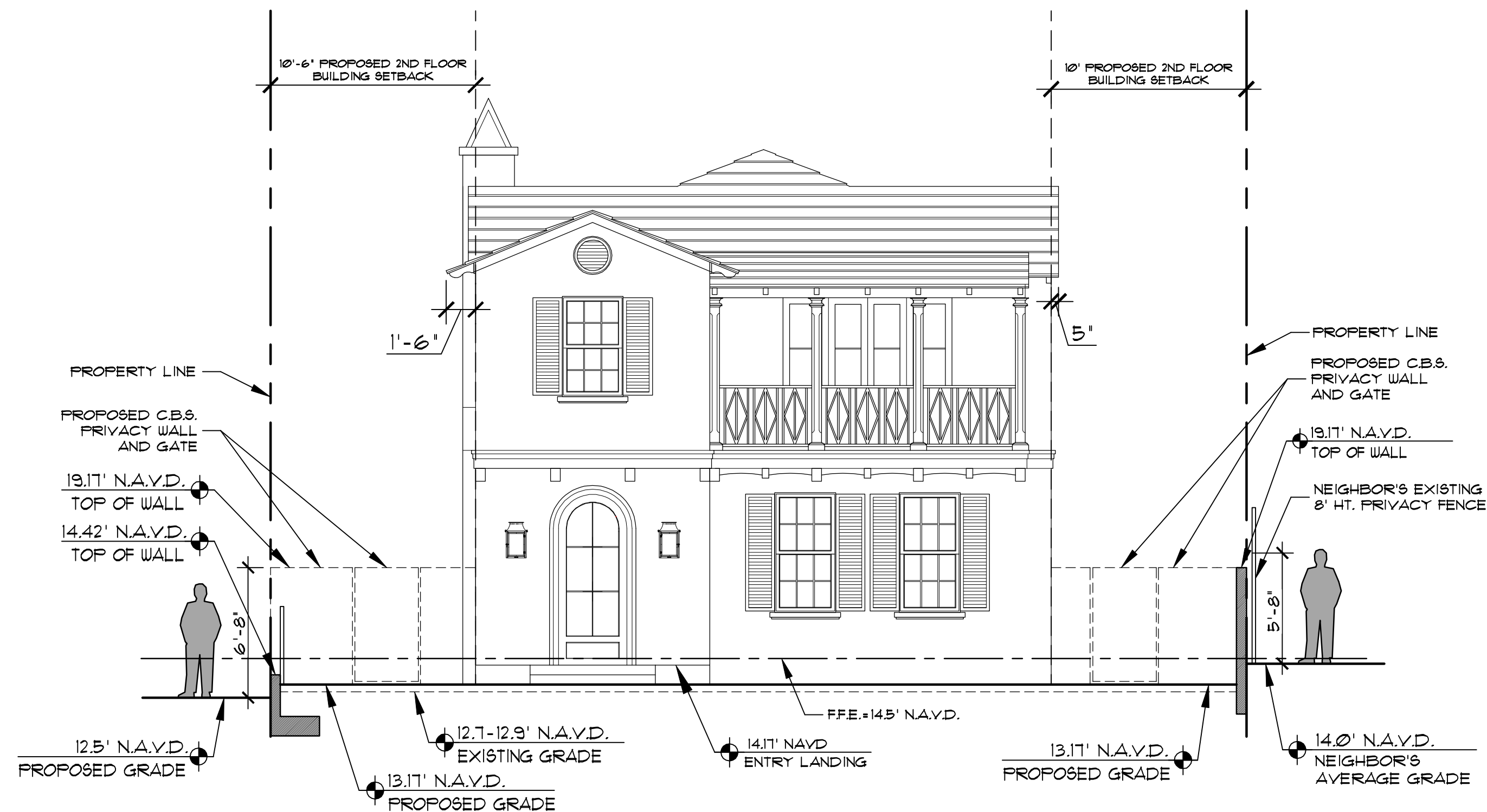
REVISIONS:
9.12.23 First Submittal
9.25.23 Second Submittal
11.14.23 Final submittal
1.24.24 Final submittal
2.5.24 Per ARCOM comts.



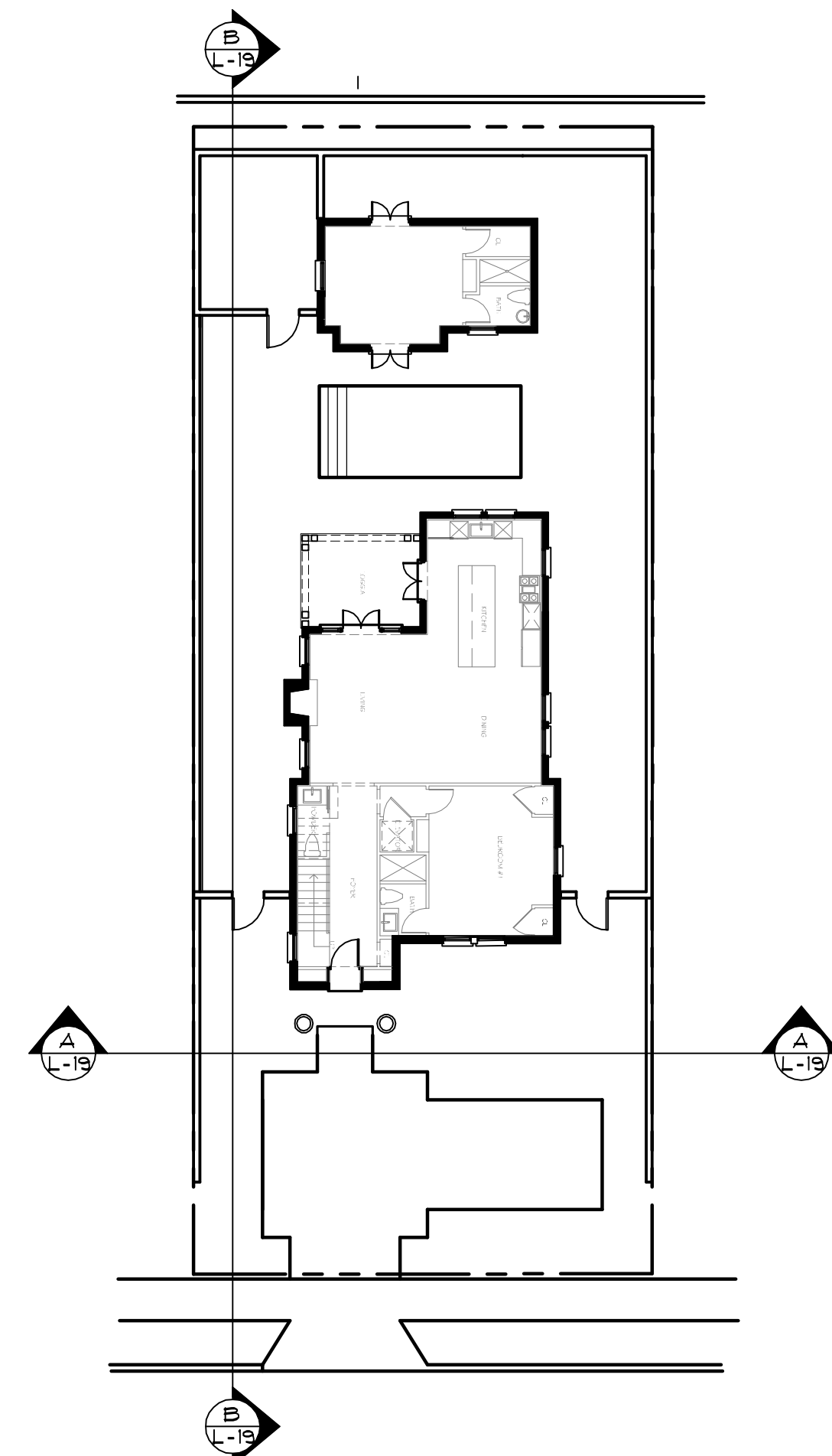
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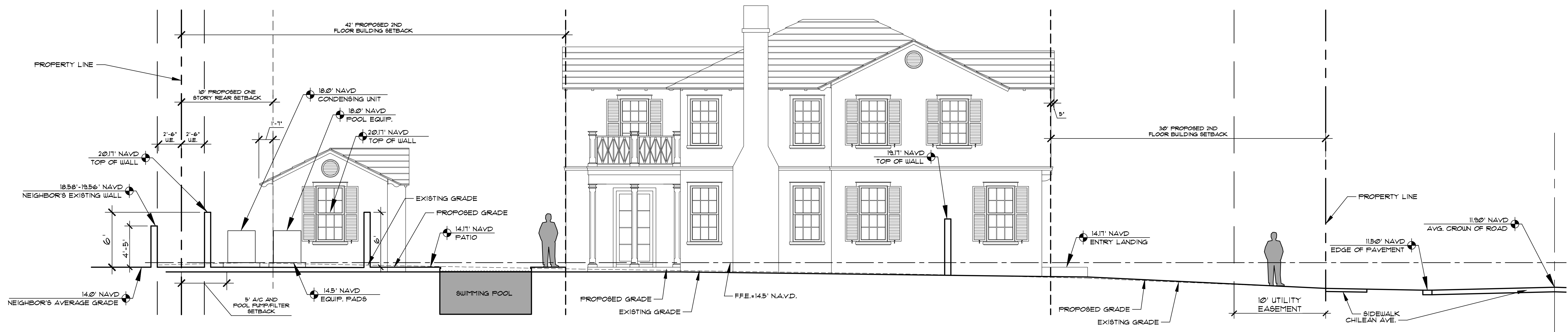
ZON: 23-113
ARC: 23-145



A YARD SECTION: WEST / EAST
L-19



ELEVATION KEY



B YARD SECTION: SOUTH / NORTH
L-19

48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
575 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
office@gruberengineers.com

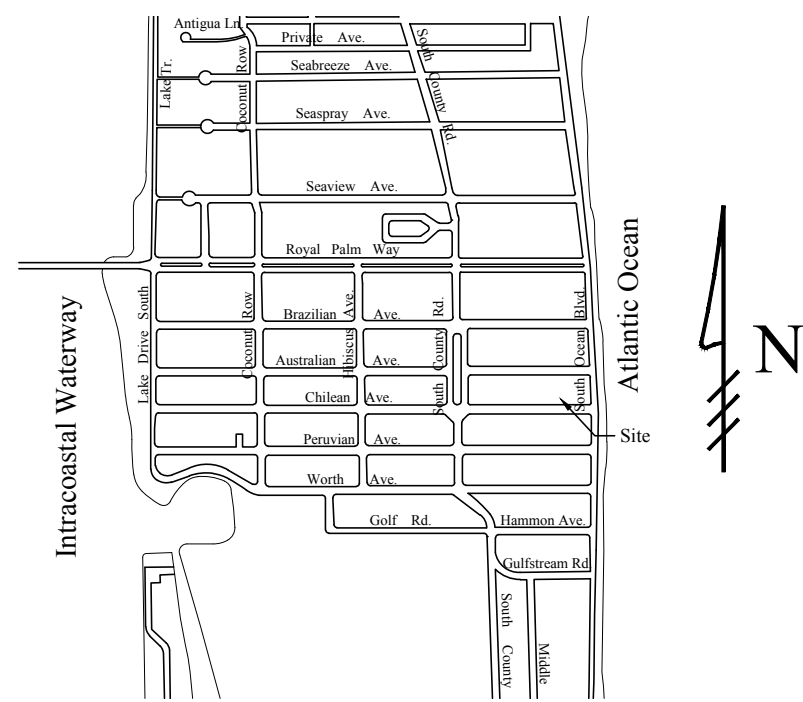
Project Information				
Project No.	2023-0073	Issue Date	09/22/2023	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading & Drainage Plan For:
Proposed Residence
123 Chilean Avenue
Palm Beach, Florida

Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber
FL P.E. No. 57466

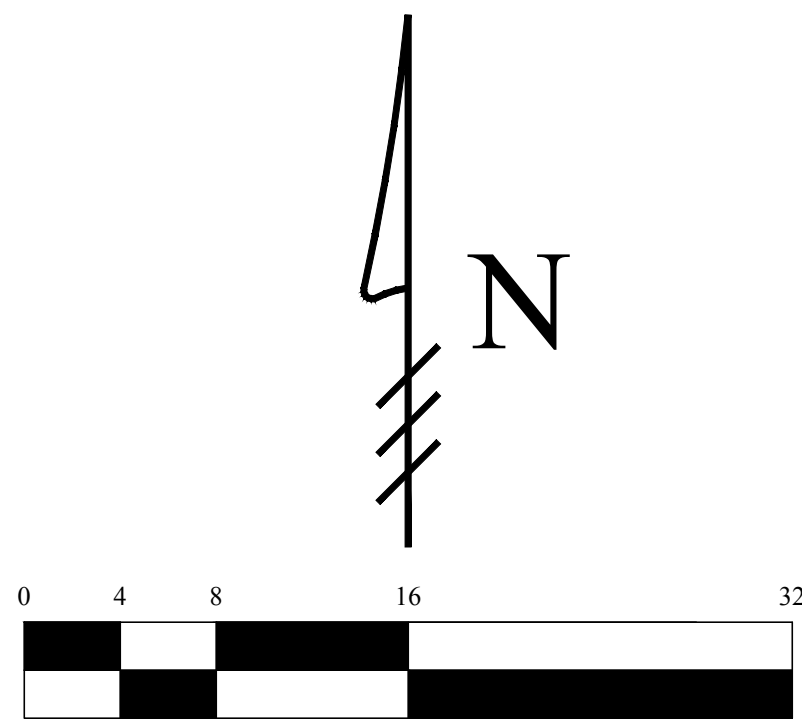
Sheet No.
C-1



Location Map
N.T.S.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 6,248 sq.ft.

Drainage Area Impervious Surface = 3,436 sq.ft.

Drainage Area Pervious Surface = 2,812 sq.ft.*

* Min. required by zoning code without a variance

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$)

where:

$C = 1.0$ (impervious surface)

$C = 0.2$ (pervious surface)

$i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 3,436 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 573 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 2,812 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 94 \text{ cu.ft.}$

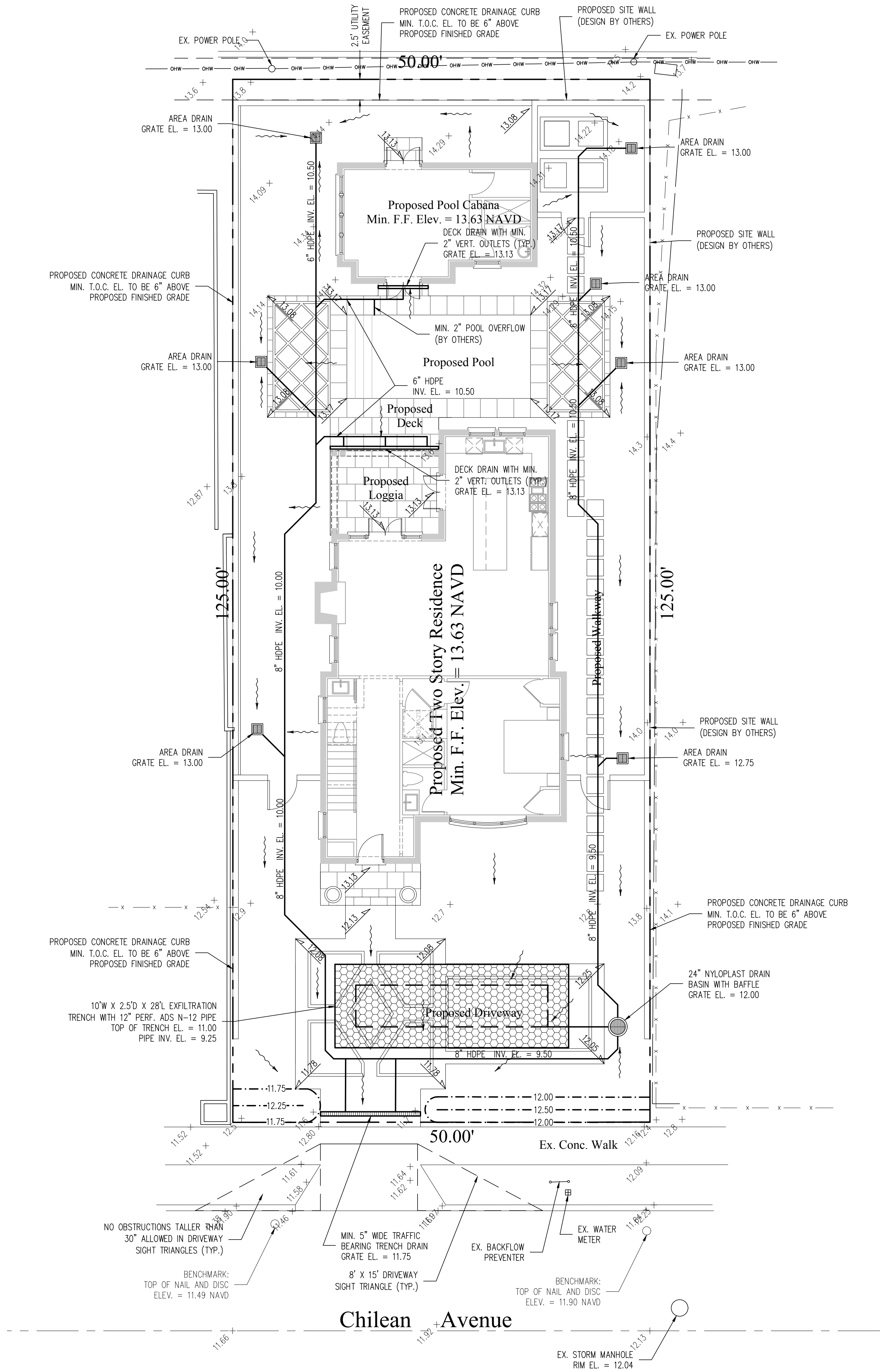
Total Volume to be Retained = 667 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	28	ft
W	=	Trench Width	=	10	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	2.50	ft
DS	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	778	cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by Parker-Yannette Design Group Received 9/22/23

ARC-23-145
ZON-23-113

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GRUBER CONSULTING ENGINEERS

LANDSCAPE/DRAINAGE PLAN CONFLICT STATEMENT

To: Planning Administrator
Town of Palm Beach

From: Chad M. Gruber, P.E.

Re: Proposed Residence
123 Chilean Ave.
Palm Beach, FL

Date: September 22, 2023

I have reviewed the landscape plan prepared by Parker-Yannette Design Group for the referenced project received 9/22/23 and compared it with the latest conceptual drainage plan prepared by this office dated 9/22/23. There do not appear to be any conflicts between the proposed landscape material and the storm piping and exfiltration trenches.

Please feel free to contact me if you have any questions.

Sincerely,

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Chad M. Gruber, P.E.
Florida P.E. No. 57466

Cc: File