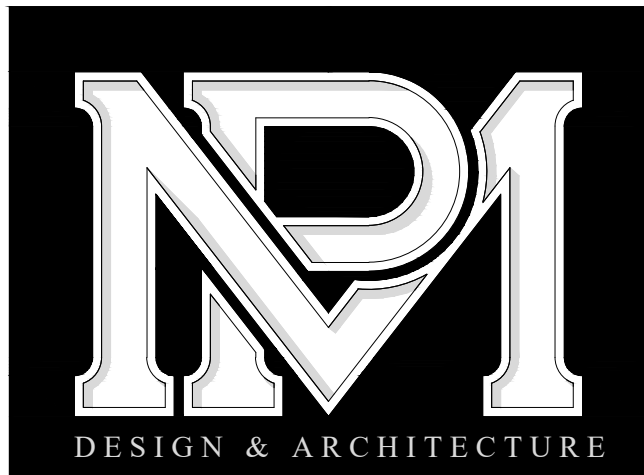


264 Dunbar LLC

264 Dunbar Road Palm Beach Fl. 33480

RECEIVED
By yfigueroa at 2:39 pm, Jan 16, 2024



ARCHITECTURE

MP DESIGN & ARCHITECTURE

LANDSCAPE

NIEVERA + WILLIAMS DESIGN

ARC-24-008
ZON-24-017

Pre App 10-16-2023
First Submittal 12-14-2024
Second Submittal 01-03-2024
Notice to Proceed 01-08-2023
Drop Off Sets 01-15-2024
TC Meeting 03-13-2024
Arcom Meeting 02-28-2024

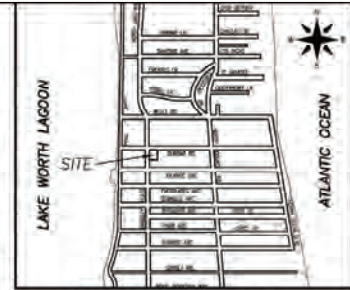
SCOPE OF WORK	SHEET INDEX	SHEET INDEX	SHEET INDEX
- Proposed new Two-Story Residence with a Three-Car Garage, Guest House above, Pool Loggia, Pool Cabana and New Pool - A variance is sought to increase the generator enclosure wall height by 1'-3" due to specific requirements outlined by the Kholer 60kW generator, deviating from the standard 7'-0" specifications.	COVER MEETINGS PROJECT INFORMATION, DEADLINES AND INDEX SURVEY ZONING LEGEND AERIAL VICINITY LOCATION MAP LOCATION PLAN A000 PROPOSED SITE PLAN A001 STREETSCAPE, SITESCAPE A007 YARD SECTIONS PHOTOS 1 SURROUNDING PROPERTY PHOTOS PHOTOS 2 SURROUNDING PROPERTY PHOTOS PHOTOS 3 SUBJECT PROPERTY PHOTOS A002 PROPOSED FIRST & SECOND FLOOR CUBIC CONTENT RADIO PLAN A003 PROPOSED CUBIC CONTENT RADIO AXONOMETRICS A004 PROPOSED FIRST FLOOR ZONING DIAGRAM A005 PROPOSED SECOND FLOOR ZONING DIAGRAM A100 PROPOSED FIRST FLOOR PLAN A100.1 ENLARGED FIRST FLOOR PLAN A101 PROPOSED SECOND FLOOR PLAN A101.1 ENLARGED PROPOSED SECOND FLOOR PLAN A102 PROPOSED ROOF PLAN A102.1 ENLARGED PROPOSED ROOF PLAN	COLORS A200 PROPOSED NORTH & SOUTH ELEVATION A200.1 ENLARGED PROPOSED NORTH & SOUTH ELEVATION A201 PROPOSED SOUTH ELEVATION - SECTION 1 PROPOSED NORTH ELEVATION - SECTION 2 A201.1 PROPOSED ENLARGED SOUTH ELEV. -SECTION 1 PROPOSED ENLARGED NORTH ELEV. -SECTION 2 A202 PROPOSED SOUTH ELEVATION - SECTION 3 PROPOSED NORTH ELEVATION - SECTION 4 A202.1 PROPOSED ENLARGED SOUTH ELEV. - SECTION 3 PROPOSED ENLARGED NORTH ELEV. - SECTION 4 A203 PROPOSED EAST & WEST ELEVATION -SECTION A203.1 ENLARGED PROPOSED EAST & WEST ELEVATION A204 PROPOSED EAST - SECTION 5 PROPOSED WEST ELEVATION - SECTION - 6 A204.1 ENLARGED PROPOSED EAST ELEV. - SECTION 5 ENLARGED PROPOSED WEST ELEV. - SECTION 6 A205 EQUIPMENT ENCLOSURE SECTIONS A300 CORNICE DETAIL A301 DETAILS A302 DETAILS COURTYARD ENTRY ELEVATION DETAIL PEDIMENT PROFILE COLUMN CAP & BASE DETAIL WINDOW SHUTTER & SILL DETAIL WINDOWS DETAILS	SHEET LEGEND EX1 EXISTING SITE PLAN DM1 DEMOLITION PLAN LP1 LANDSCAPE PLAN EL2 ELEVATION PLAN EL1 ELEVATION PLAN SITE SITE PLAN L1 HARDSCAPE PLAN L2 MATERIALS LG1 LANDSCAPE GRADING PLAN LP1 LANDSCAPE 1 LP2 PLANT LIST DERAILS EL3 SITE SELECTION/ELEVATION D2 EQUIPMENT AREA DETAILS D3.1 EQUIPMENT AREA DETAILS OS1 OVERALL - OPEN SPACE OS2 FRONT-OPEN SPACE DIAGRAM OS3 SIDES-OPEN SPACE DIAGRAM OS4 NATIVE-OPEN SPACE DIAGRAM CSR CONSTRUCTION SCREENING PLAN A006 TRUCK & SITE LOGISTICS PLAN C1 CONCEPTUAL SITE GRADING & DRAINAGE PLAN EC-1 CONCEPTUAL CONSTRUCTION STAGING & PARKING AND EROSION CONTROL PLAN.

TITLE COMMITMENT REVIEW					
CLIENT: Cam Eusebio Searby	COMMITMENT NO. 13-17225	DATE: 11/16/23			
REVIEWED BY: Craig Wallace	JOB NO. 11-1164.3				
SEC. 6	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT MATTER
1	PB 7, PG 88	Part of ADAMS ADDITION TO PALM BEACH.	*		
18	CHS 22853, PG 428	As affected by Amendment NO. 18A, 2023.			*

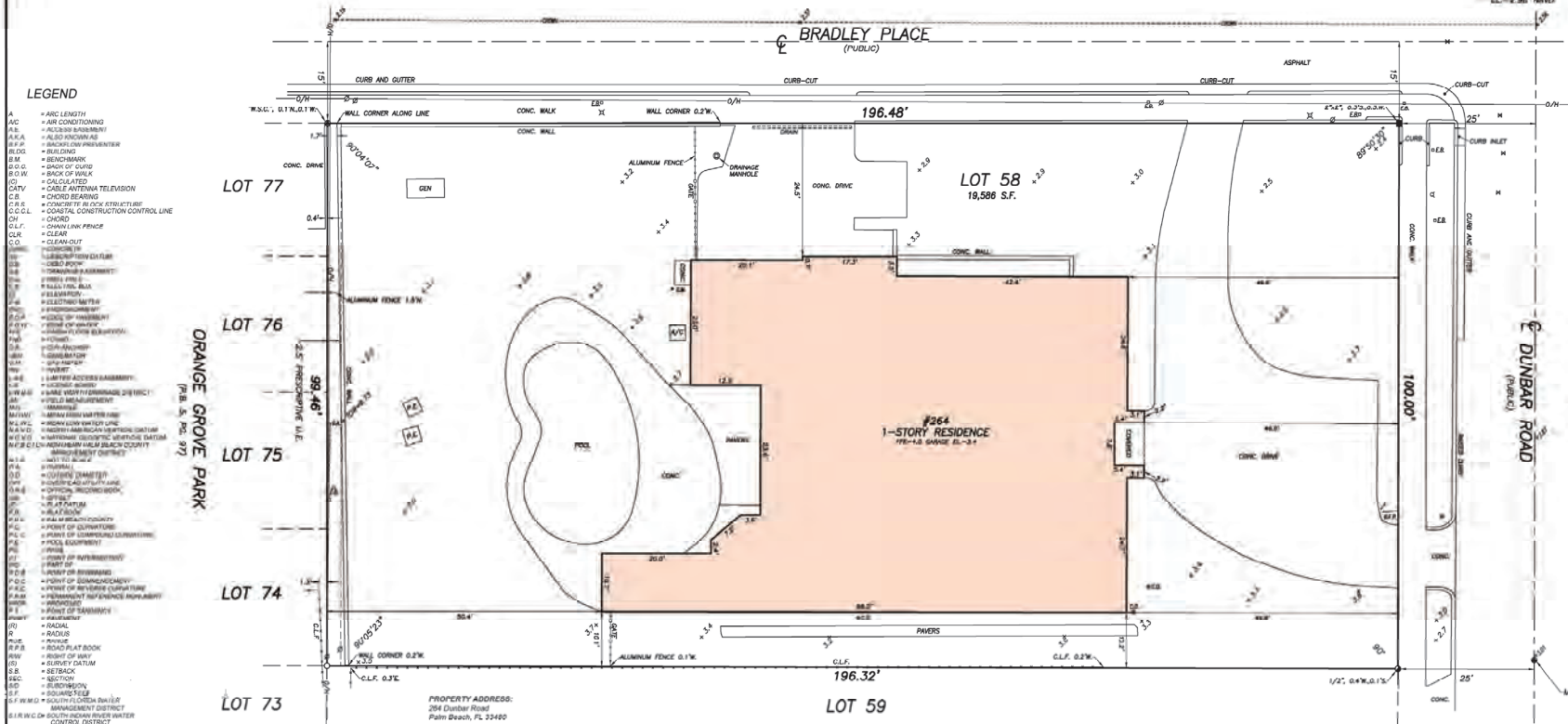
BOUNDARY SURVEY FOR: CARIN E. SEARBY

This survey is made, specifically and only for the following party for the completion of recording on this surveyor's premises.
Carin E. Searby.

The undersigned surveyor assumes no responsibility or liability for any other party other than stated above.



VICINITY SKETCH N.T.S.



PROPERTY ADDRESS:
284 Dunbar Road
Palm Beach, FL 33480

LEGAL DESCRIPTION:
Lot 58, ADAMS ADDITION, according to the Plat thereof, on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida recorded in Plat Book 7, Page 88.

FLOOD ZONE:
This property is located in Flood Zone AE (SL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12069C0581F, dated 10/5/2017.

- NOTES:**
- All information regarding more easements, adoptions, and other documents that might affect the quality or title to tract shown herein was gained from commitment number 23-17225, issued by statewide Land Title, dated November 16, 2023. This office has made no search of the Public Records.
 - Elevations shown herein, if any, are in feet and decimal parts thereof and are based on NAVD-83. The expected accuracy of the elevations shown herein is 0.03' for the hard surface elevations (shown to a 0.00' and 0.1' (shown to a 0.0) for the soft surface elevations. Elevations shown herein are U.S. survey feet unless otherwise noted.
 - Description furnished by client or client's agent.
 - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
 - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4568.
 - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
 - The survey sketch shown herein does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
 - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
 - Revisions shown herein do not represent a "survey update" unless otherwise noted.
 - All data shown within the revisions block herein are for interface filing use only and in no way affect the date of the field survey stated herein.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - It is a violation of Rule 5A-11 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
 - The ownership of fences, perimeter walls and/or hedges shown herein are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
 - The expected horizontal accuracy of the information shown herein is +/- 0.10'.

CERTIFICATION:
I HEREBY ATTEST that the survey shown herein conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 6A-17, Florida Administrative Code pursuant to Section 473.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 11/7/2023

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

REVISIONS:

1214123 SPOT ELEVATIONS J.D./S.W. 11-1164.4 PB35509

BOUNDARY SURVEY FOR:

CARIN E. SEARBY



WALLACE SURVEYING
CORP. LICENSE NUMBER 2-000
2000 N. W. 10th Ave., Suite 100, Fort Lauderdale, FL 33304

FILE	J.M.	JOB NO.	11-1164.3	TA	PB354, PG. 65
BY/CD	M.B.	DATE	11/7/23	INS. NO.	11-1164-1
CHKD	C.W.	REV.	11-1164-1.DWG	SHEET	1 OF 1



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	264 DUNBAR ROAD		
2	Zoning District:	RB		
3	Lot Area (sq. ft.):	19,586 SF		
4	Lot Width (W) & Depth (D) (ft.):	100' x 196.32'		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE-FAMILY		
6	FEMA Flood Zone Designation:	Flood Zone AE (Elevation: 6'-0")		
7	Zero Datum for point of meas. (NAVD)	7'-0"		
8	Crown of Road (COR) (NAVD)	2.87		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	30%	-	23.0%(4,503 SF)
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs, Structure, etc)	-	-	7,081 SF
12	*Front Yard Setback (Ft.)	30'	-	32'-2"
13	* Side Yard Setback (1st Story) (Ft.)	12'-6"E, 25'-0"W	-	12'-6"E, 27'-5"W
14	* Side Yard Setback (2nd Story) (Ft.)	15'-0"E, 30'-0"W	-	15'-1"E,30'-0"W
15	*Rear Yard Setback (Ft.)	10'	-	18'-0"
16	Angle of Vision (Deg.)	100	-	100
17	Building Height (Ft.)	22'	-	20'-0"
18	Overall Building Height (Ft.)	30'	-	28'-0"
19	Cubic Content Ratio (CCR) (R-B ONLY)	3.91(76,245 CCR)+5%	-	3.93 (76,852 CCR)
20	** Max. Fill Added to Site (Ft.)	2.11	-	2.11
21	Finished Floor Elev. (FFE)(NAVD)	7'-0"	-	7'-0"
22	Base Flood Elevation (BFE)(NAVD)	-	-	6'-0"
23	Landscape Open Space (LOS) (Sq Ft and %)	45%	-	50.7% 9,941 SF
24	Perimeter LOS (Sq Ft and %)	2,762 SF (50%)	-	4,622 SF (84%)
25	Front Yard LOS (Sq Ft and %)	40%	-	52.4% 1,310 SF
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction
(N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and
highest Crown of Rd (COR) divided by two. (FFE -
COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per
category as required by Ord. 003-2023, on
separate TOPB Landscape Legend

Enter N/A if value is not applicable.

Enter N/C if value is not changing.

REV BF 20230626



COMM NO.
2314

DATE
02-26-24

REVISIONS

A New Residence for

264 Dunbar L.L.C.

264 Dunbar Road

Palm Beach FL 33480



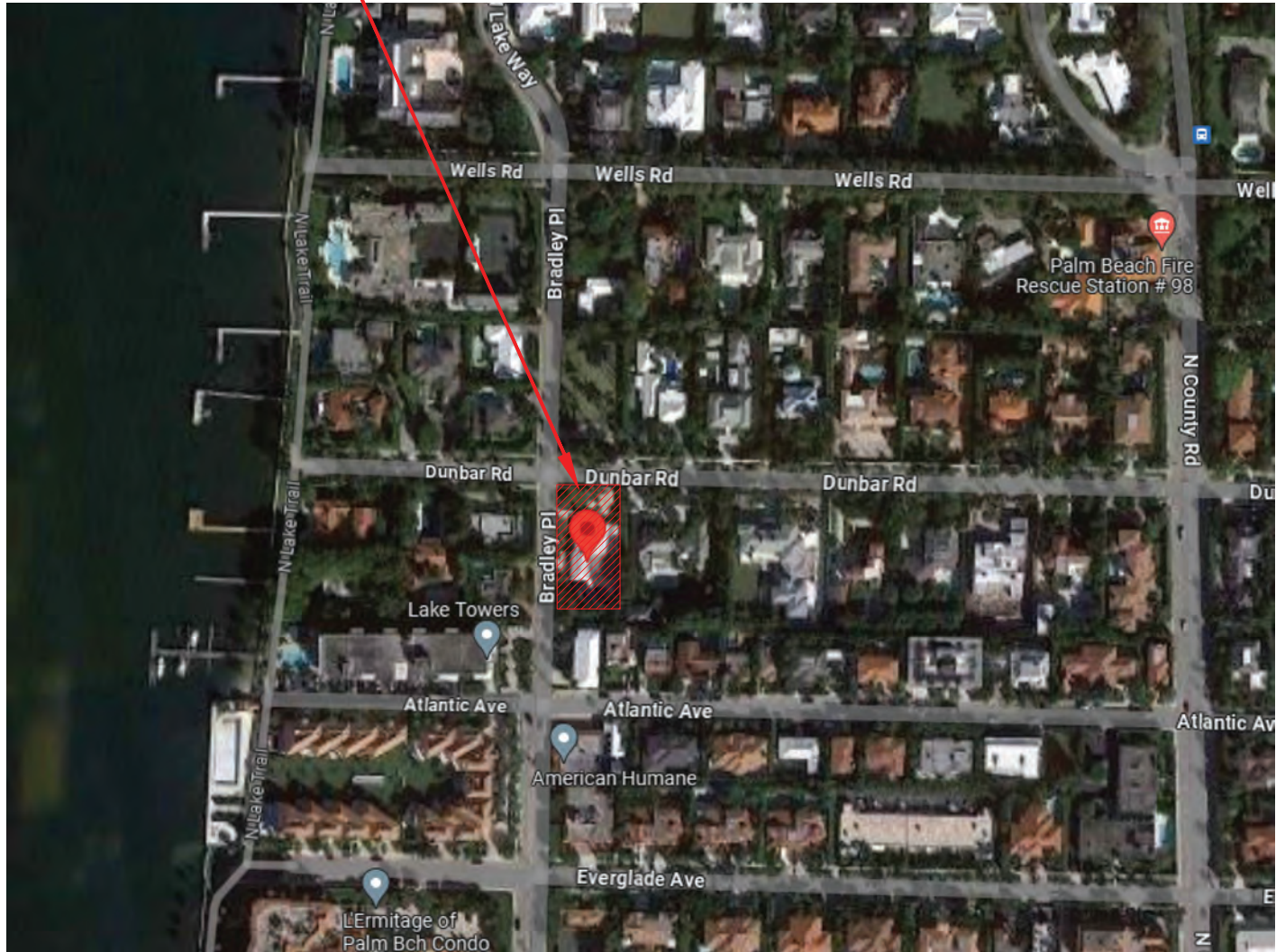
**MP DESIGN &
ARCHITECTURE, INC**
217 PERUVIAN AVENUE, SUITE 4
PALM BEACH, FLORIDA 33480
561.853.7575
AA26001667

SHEET NO.

**Zoning
Legend**

ARC-24-008

SUBJECT PROPERTY



Vicinity Location Map

Scale

n.l.s.



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2314

DATE
02-26-24

REVISIONS

A New Residence for
264 Dunbar L.L.C.
264 Dunbar Road
Palm Beach FL 33480



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PROJECT NO.
**Vicinity
Location
Map**

ARC-24-008



Location Plan
Scale

n.t.s.



COMM NO.
2314
DATE
02-28-24

REVISIONS

A New Residence for
264 Dunbar L.L.C.
264 Dunbar Road
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SHEET NO.
Location
Plan

Location Map

Scale



n.f.s.

ZONING & SITE CALCULATIONS

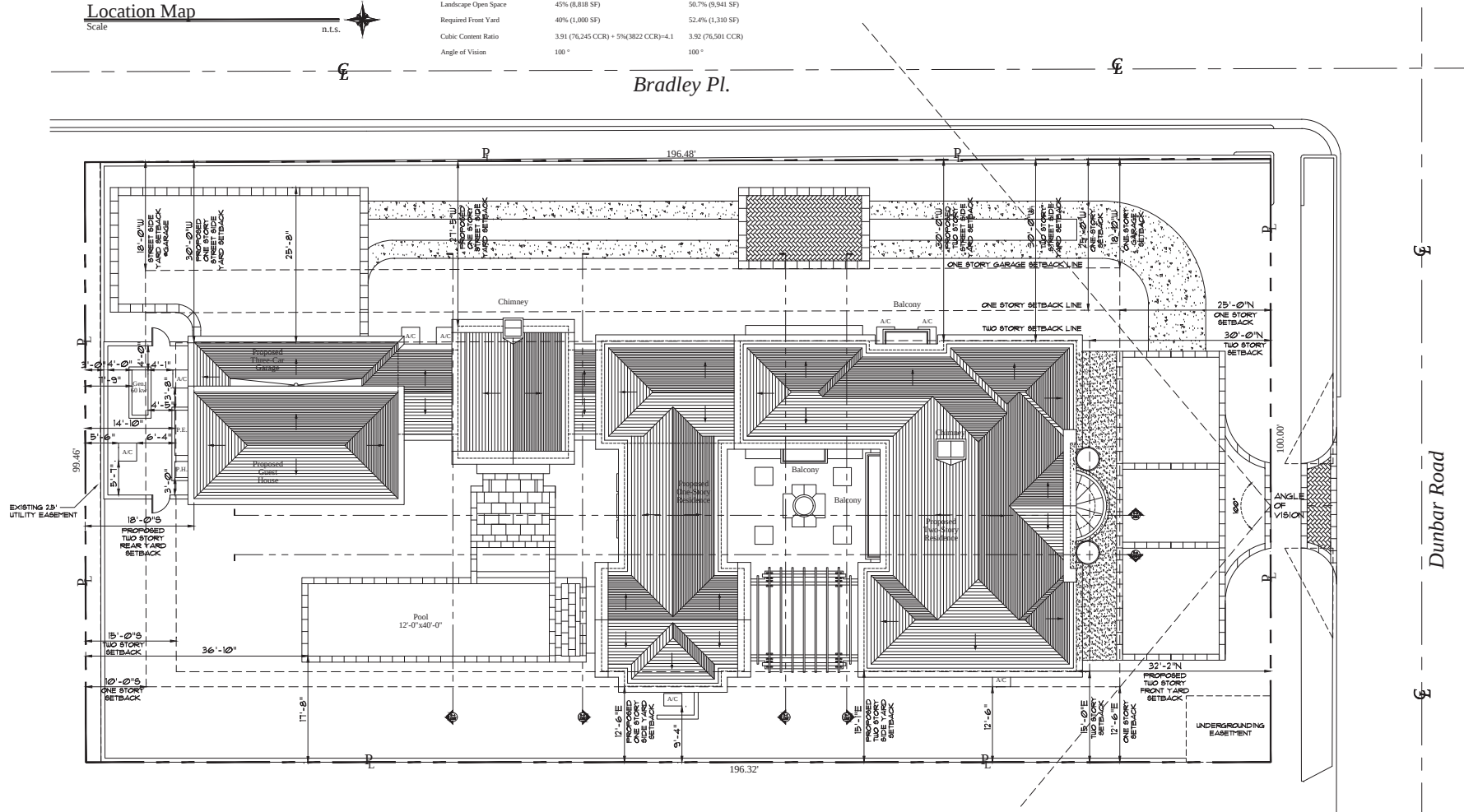
<u>Zoning Item</u>	<u>Required/Allowed</u>	<u>Proposed</u>
Zoning District	RB	RB
Lot Area	10,000 SF	19,586 SF
Lot Width	100'	100'
Lot Depth	100'	186.32'
Front Yard Setback	30' 2-Story	32'-2"
Side Yard Setback - East	15'-0" 2-Story	15'-1"
Street Side Yard Setback - West	18' @ One-Story Garage	30'-0"
Rear Yard Setback	18'-0" 2-Story	18'-0"
Maximum Building Height	14' 1-Story 22' 2-Story	10'-0" 30'-0"
Maximum Overall Height	30'	28'-0"
Lot Coverage	30% 2-Story (5,875 SF)	23.0% (4,503 SF)
Landscape Open Space	45% (8,818 SF)	50.7% (9,943 SF)
Required Front Yard	40% (1,000 SF)	52.4% (1,310 SF)
Cubic Content Ratio	3.91 (76,245 CCR) + 5% (822 CCR)=4.1	3.2 (76,501 CCR)
Angle of Vision	100°	100°

AREAS SF CALCULATIONS

First Floor AC	3,344 SF
Second Floor AC	2,578 SF
Total AC	5,922 SF
Garage	800 SF
Loggia	250 SF
Pergola	109 SF

LEGAL DESCRIPTION

LT 58 ADAMS ADDITION, according to the Plat thereof, on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida recorded in Plat Book 7, Page 68.



Proposed Site Plan

Scale

$$1/8'' = 1'-0''$$


ARC-24-008



COMM NO
2314

DATE
02-28-24

REVIEWS

A New Residence for

264 Dunbar L.L.C.

264 Dunbar Road

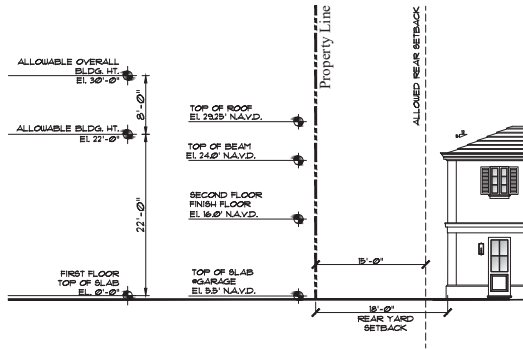


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061.833.75/5
1126001667

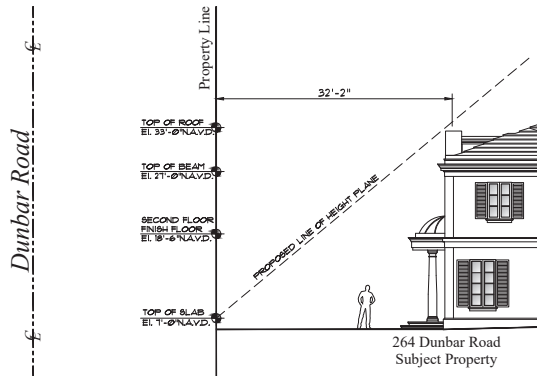
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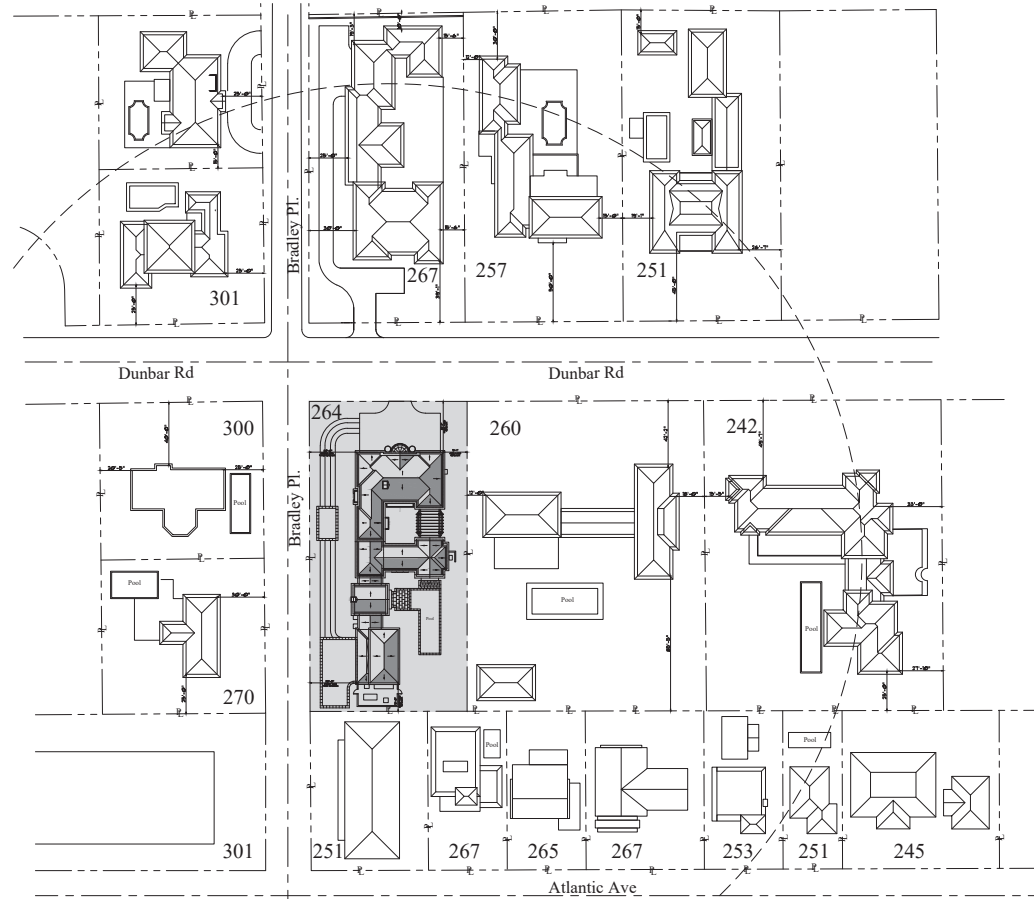
Rear Height Plane Diagram

Scale 1/8" = 1'-0"



Height Plane Diagram

Scale 1/8" = 1'-0"



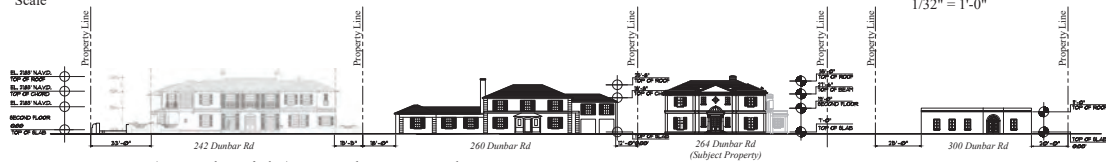
Sitescape

Scale 1/32" = 1'-0"



Streetscape (North Side) Dunbar Road

Scale 1/32" = 1'-0"



Streetscape (South Side) Dunbar Road

Scale 1/32" = 1'-0"



COMM NO.
2314

DATE
02-28-24

REVISIONS

A New Residence for

264 Dunbar L.L.C.

Palm Beach FL 33480

264 Dunbar Road



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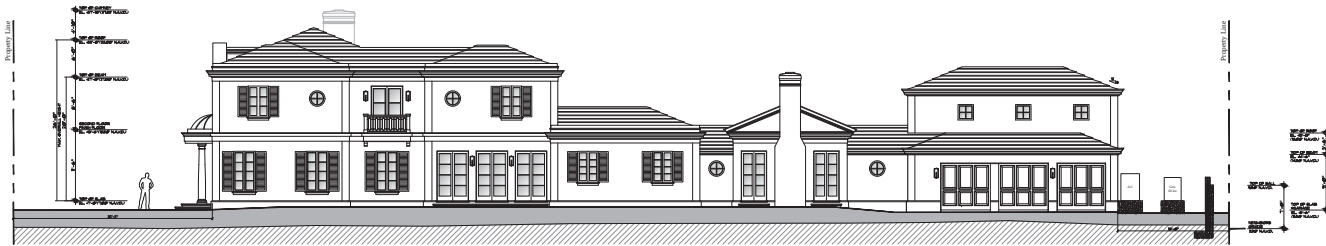
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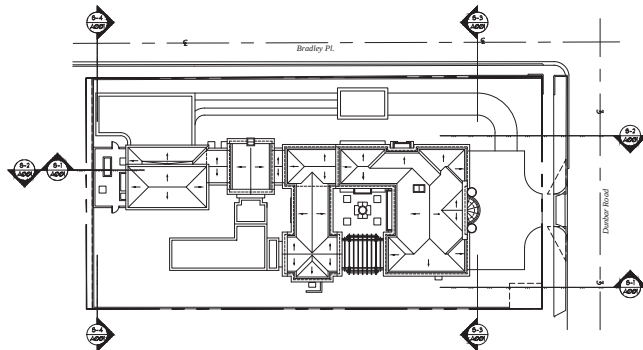
ARC-24-008



Proposed East Elevation - Yard Section Diagram



Proposed West Elevation - Yard Section Diagram



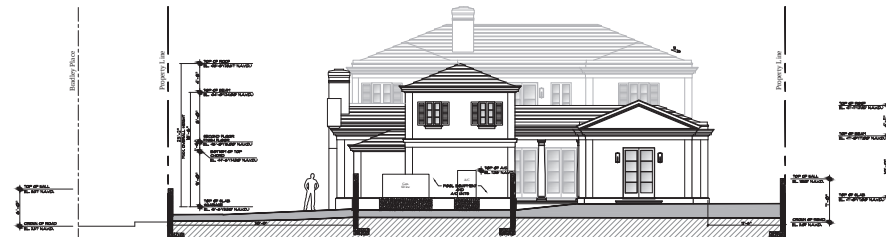
Key Plan

Scale

N.T.S.



Proposed North Elevation - Yard Section Diagram



Proposed South Elevation - Yard Section Diagram

LEGEND

Area of Fill



COMM NO.
2314

DATE
02-09-24

REVISIONS

A New Residence for

264 Dunbar L.L.C.

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264 Dunbar Road



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A007

ARC-24-008



301 Dunbar Rd



267 Dunbar Rd



257 Dunbar Rd



251 Dunbar Rd



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2314
DATE
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REVISIONS

A New Residence for
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264 Dunbar Road
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SHEET NO.
Photos
1



242 Dunbar Rd



260 Dunbar Rd



264 Dunbar Rd
(Subject Property)



300 Dunbar Rd



COMM NO
2314
DATE
02-28-24

REVISIONS

A New Residence for
264 Dunbar L.L.C.
264 Dunbar Road
Palm Beach FL 33480



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SHEET NO.
Photos
2



264 Dunbar Rd
(Front View)



264 Dunbar Rd
(Rear View)



264 Dunbar Rd
(Side View)



264 Dunbar Rd
(Side View)



COMM NO.
2314

DATE
02-26-24

REVISIONS

A New Residence for

264 Dunbar L.L.C.

Palm Beach FL 33480

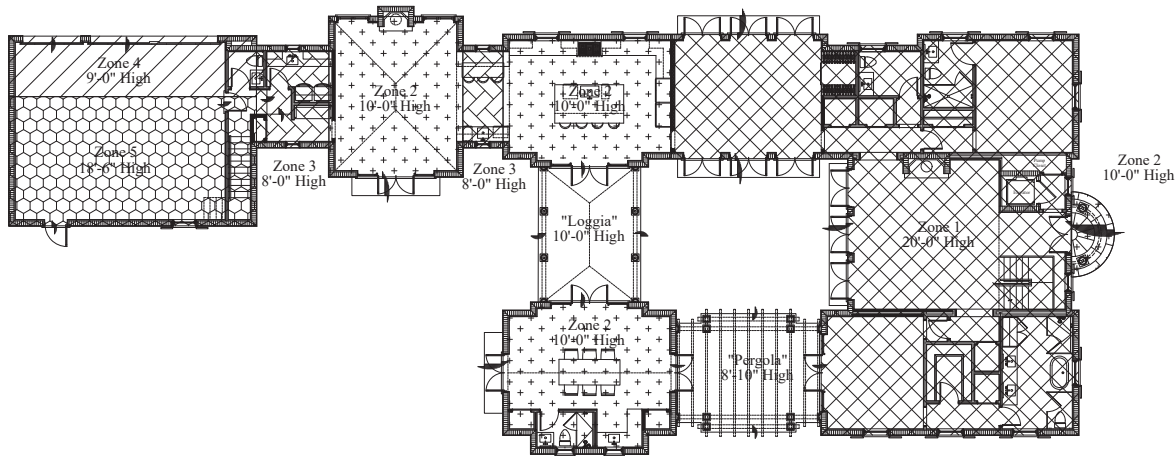
264 Dunbar Road



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SHEET NO.

Subject
Property

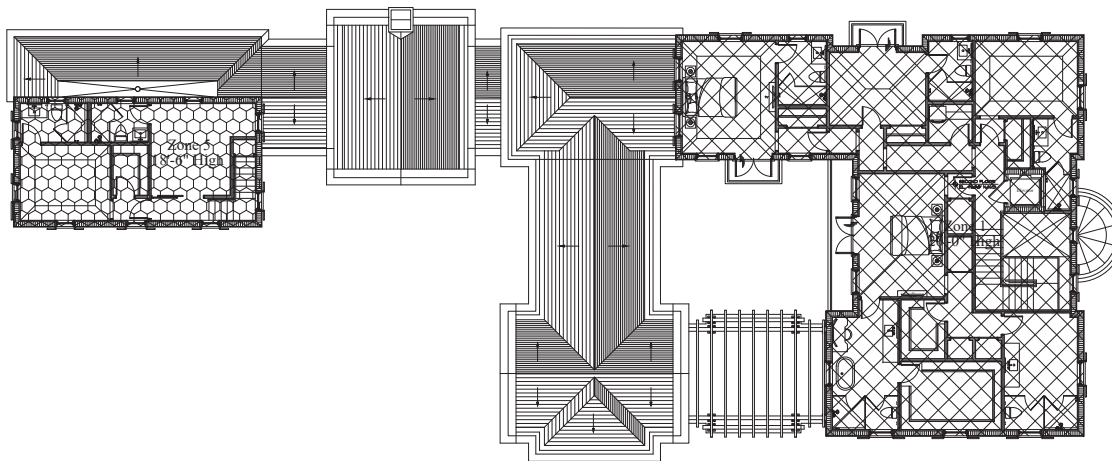


Proposed First Floor Cubic Content Ratio Plan
Scale

3/32" = 1'-0"

Proposed CCR Calculations	
ZONE	CUBIC FEET
1	41,093 CU.FT
2	13,228 CU.FT
3	1,728 CU.FT
4	2,520 CU.FT
5	11,863 CU.FT
TOTAL	TOTAL = 71,734 CU.FT *
*PERGOLA (263 x 8'-10" = 1,323 CCR)	
*LOGGIA (244 x 10'-0" = 1,440 CCR)	
*PERGOLA (1,734 CCR) 4,763 CCR = 13,527 16,491 CCR	

Legend	
	ZONE 1 TWO STORY AREA
	ZONE 2 ONE STORY AREA
	ZONE 3 ONE STORY AREA
	ZONE 4 ONE STORY AREA
	ZONE 5 TWO STORY AREA



Proposed Second Floor Cubic Content Ratio Plan
Scale

3/32" = 1'-0"



COMM NO.
2314

DATE
02-28-24

REVISIONS

A New Residence for

264 Dunbar L.L.C.

Palm Beach FL 33480

264 Dunbar Road

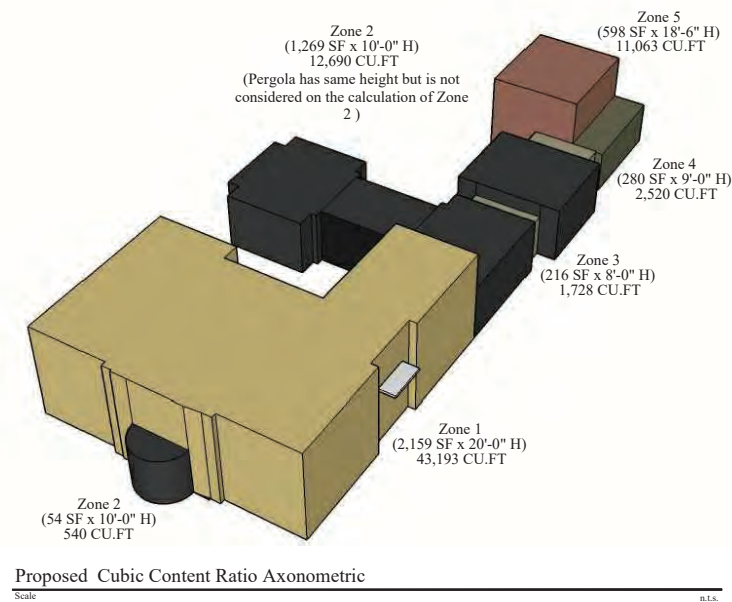
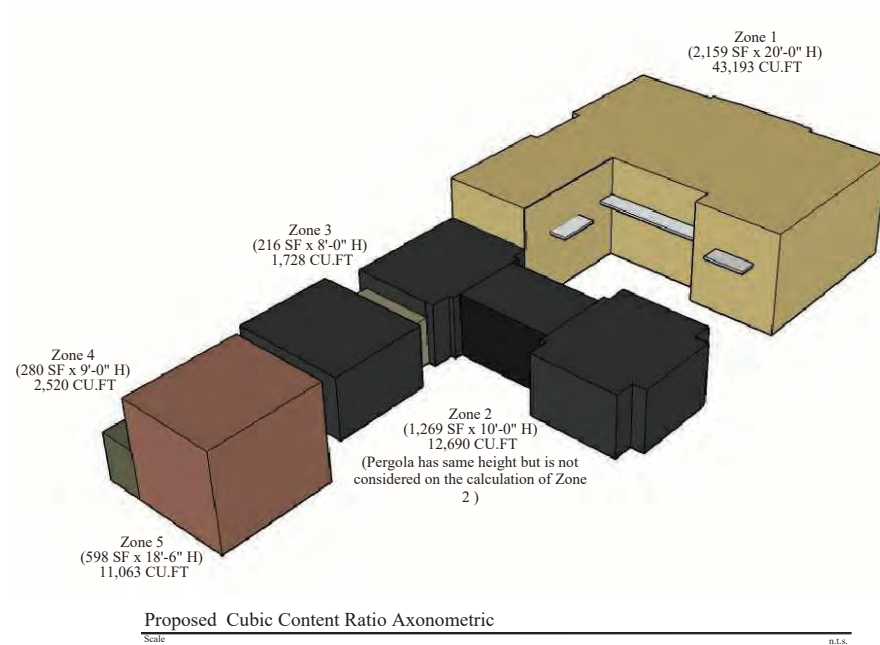


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SHEET NO.

A002

ARC-24-008



COMM NO.
2314

DATE
02-28-24

REVISIONS

A New Residence for
264 Dunbar L.L.C.

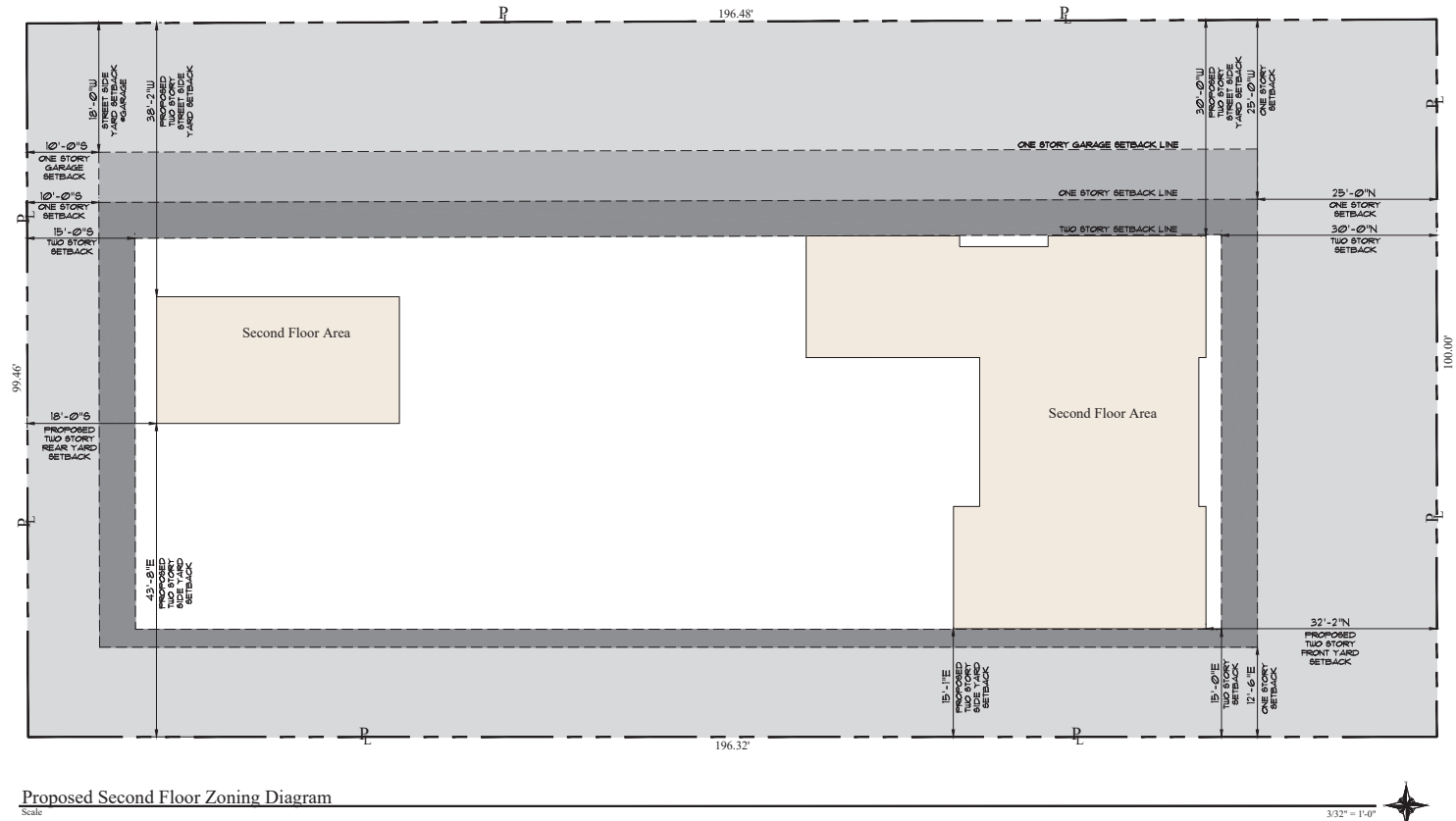
264 Dunbar Road
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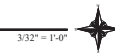
SHEET NO.
A003

ARC-24-008



Proposed Second Floor Zoning Diagram

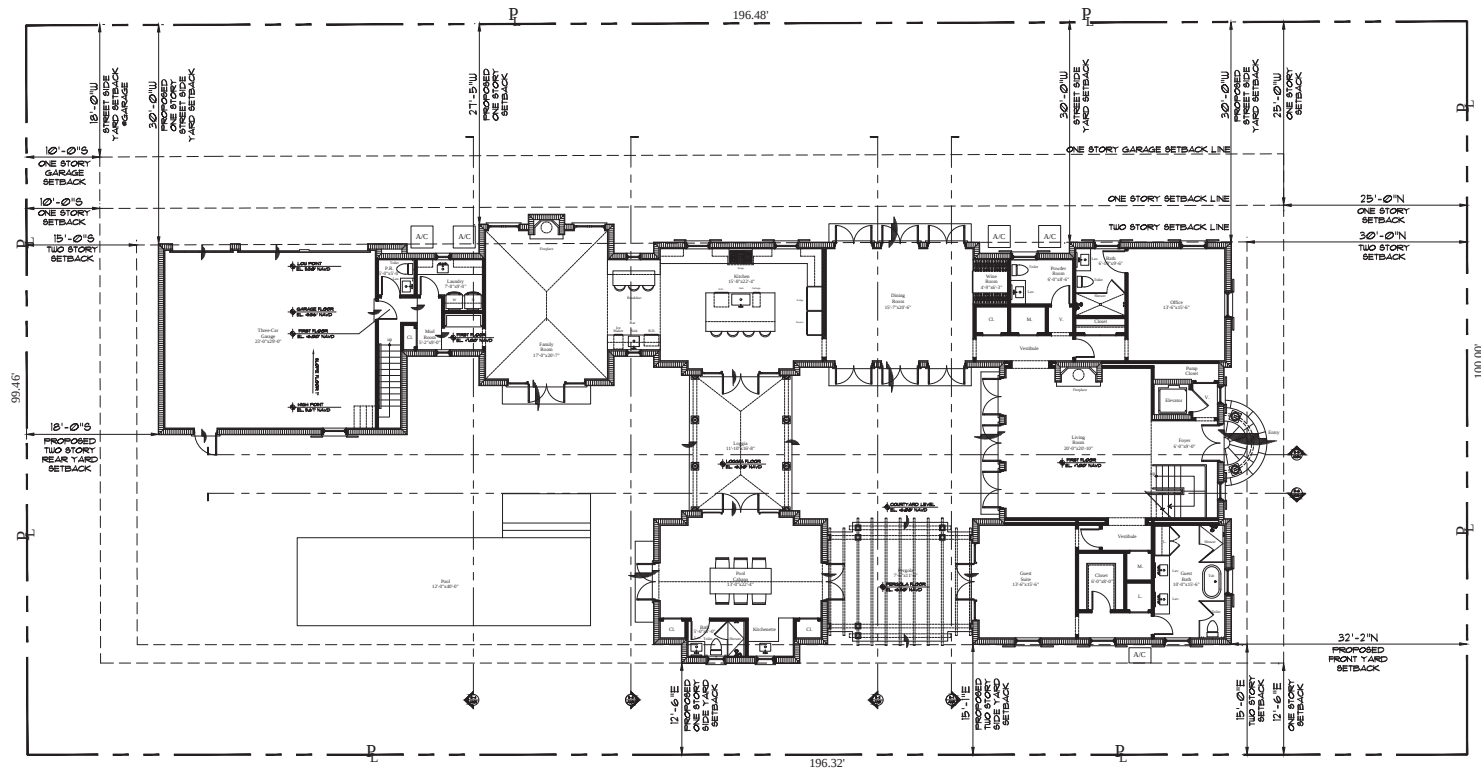
Scale



Legend

- 1 STORY GARAGE
- SETBACK LINE
- 1 STORY SETBACK LINE
- 2 STORY SETBACK LINE
- BUILDABLE AREA
- PROPOSED 2 STORY HOUSE

ARC-24-008



Proposed First Floor Plan

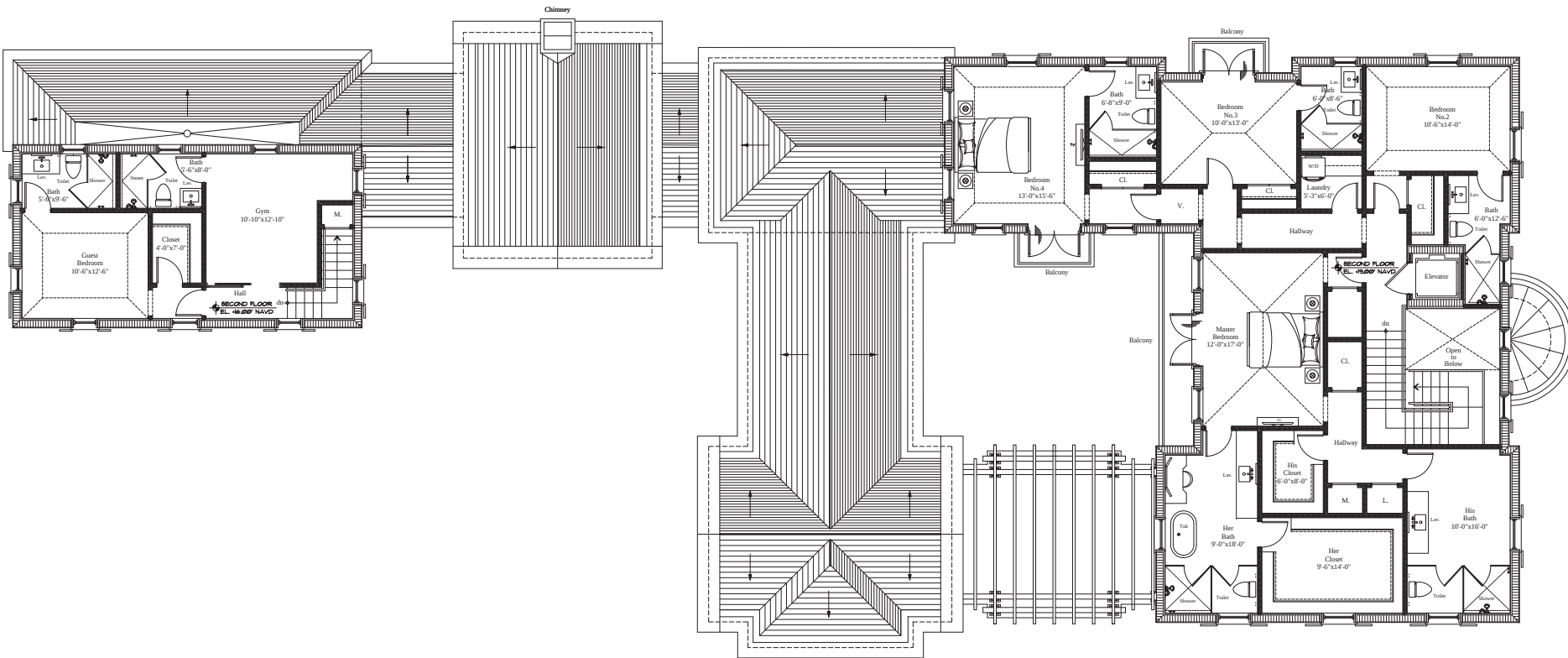
Scale

$\frac{1}{8}'' = 1'-0''$



ARC-24-008





Proposed Second Floor Plan
Scale



N.T.S.



COMM NO.
2314
DATE
02-28-24

REVISIONS

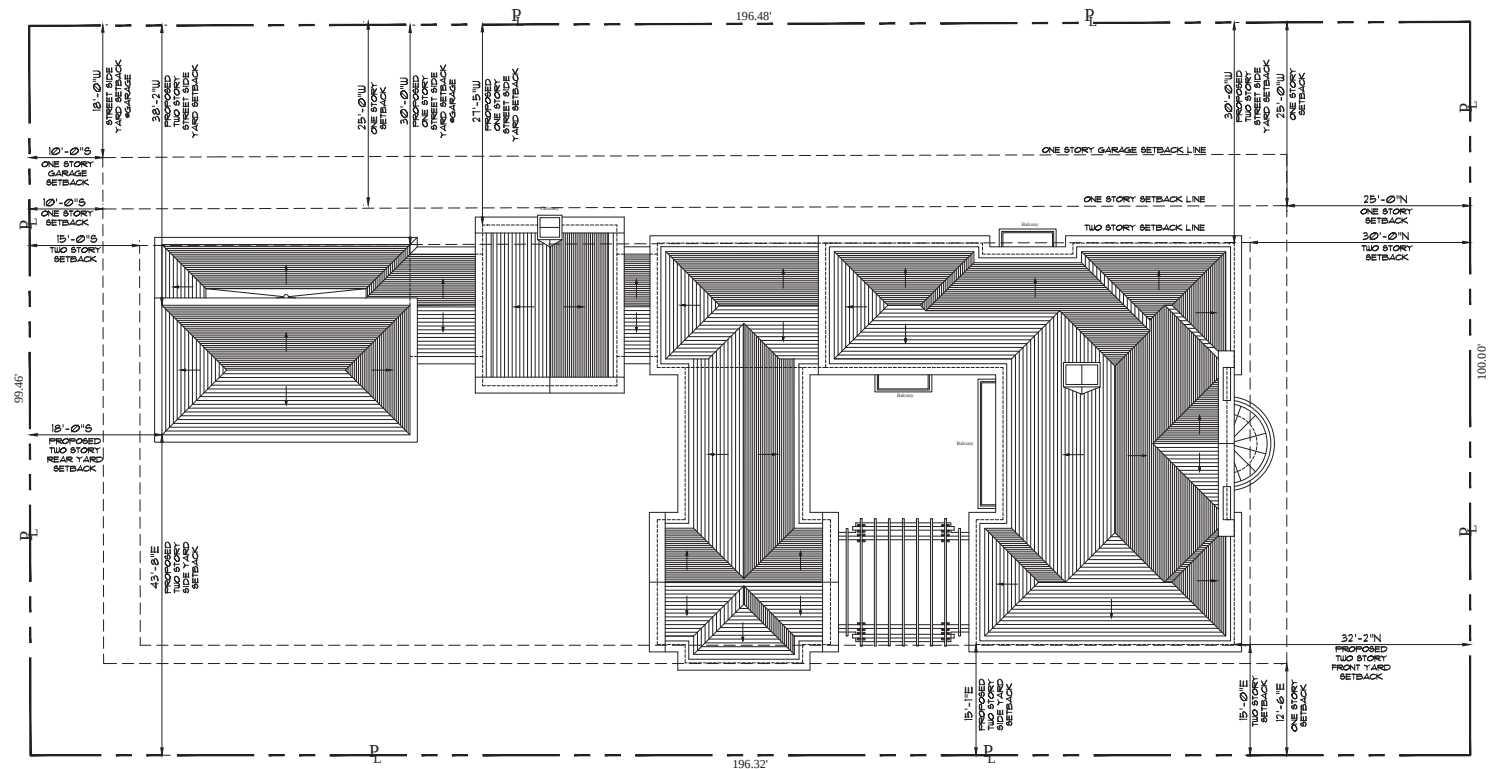
A New Residence for
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SHEET NO.
A101.1

ARC-24-008

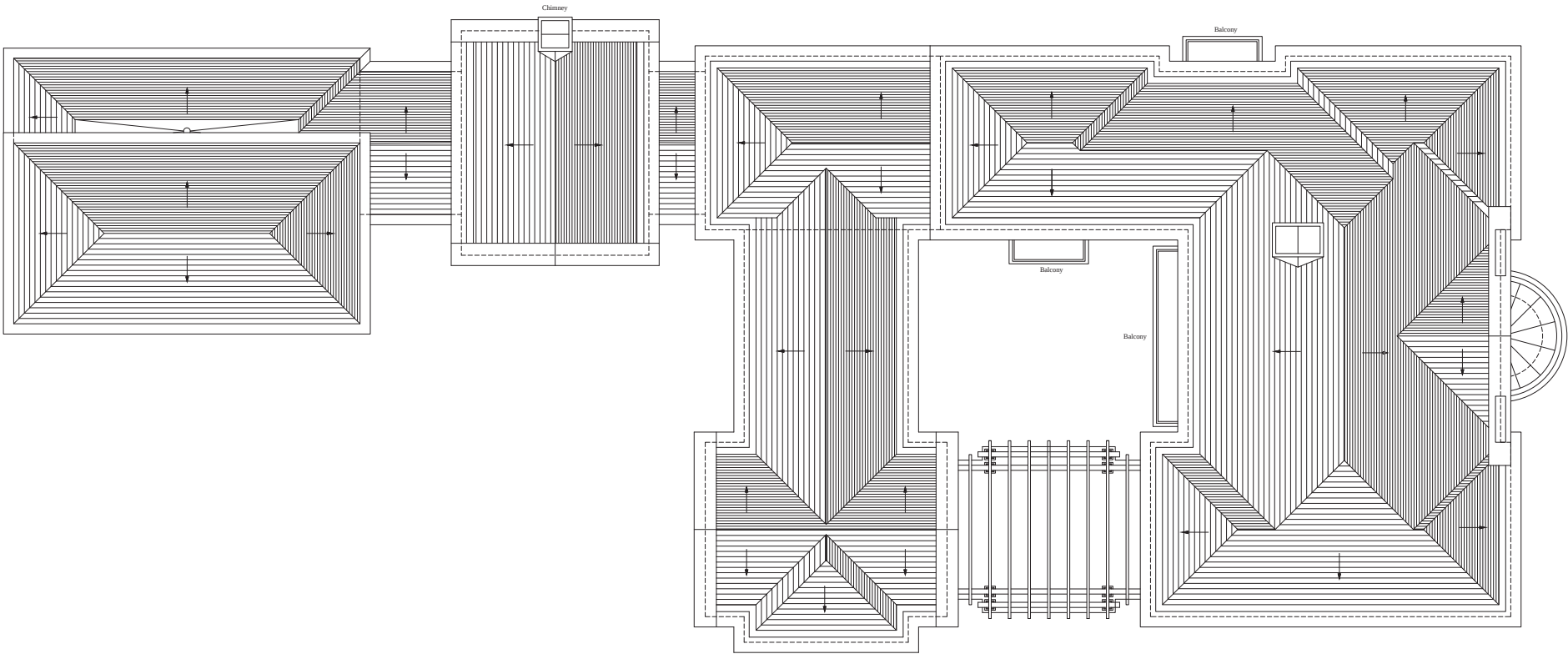


Proposed Roof Plan

1/8 " = 1'-0"



ARC-24-008



Proposed Roof Plan

Scale

n.t.s.



ARC-24-008



COMM NO.
2314
DATE
02-28-24

REVISIONS

A New Residence for
264 Dunbar L.L.C.
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MP DESIGN &
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217 PERMAN AVENUE, SUITE 4
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SHEET NO.
A102.1



COMM NO.
2314

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02-28-24

REVISIONS

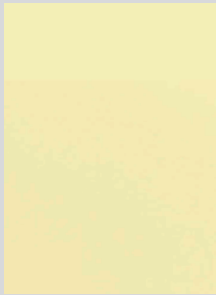
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SHEET NO.

Colors



San Pedro Morning 366

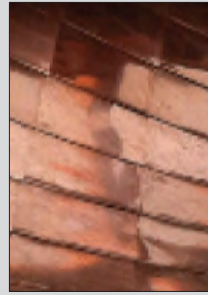
Benjamin Moore

Building Color



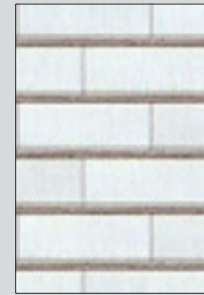
White

Doors, Windows, Railings, Shutters,
Trims and Details



Copper Roof

Standing Seam Metal Roof

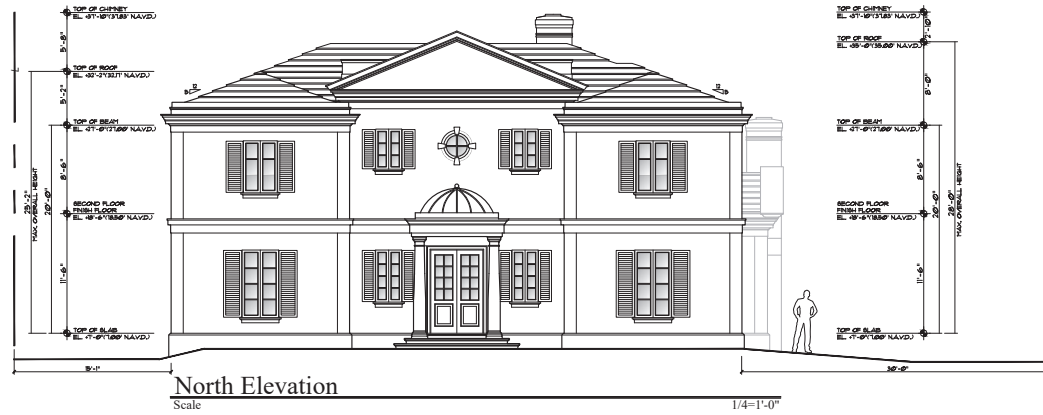


White

Flat Cement Roof Tile

Proposed Building Colors

ARC-24-008



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2314

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REVISIONS

A New Residence for
264 Dunbar L.L.C.
264 Dunbar Road
Palm Beach FL 33480

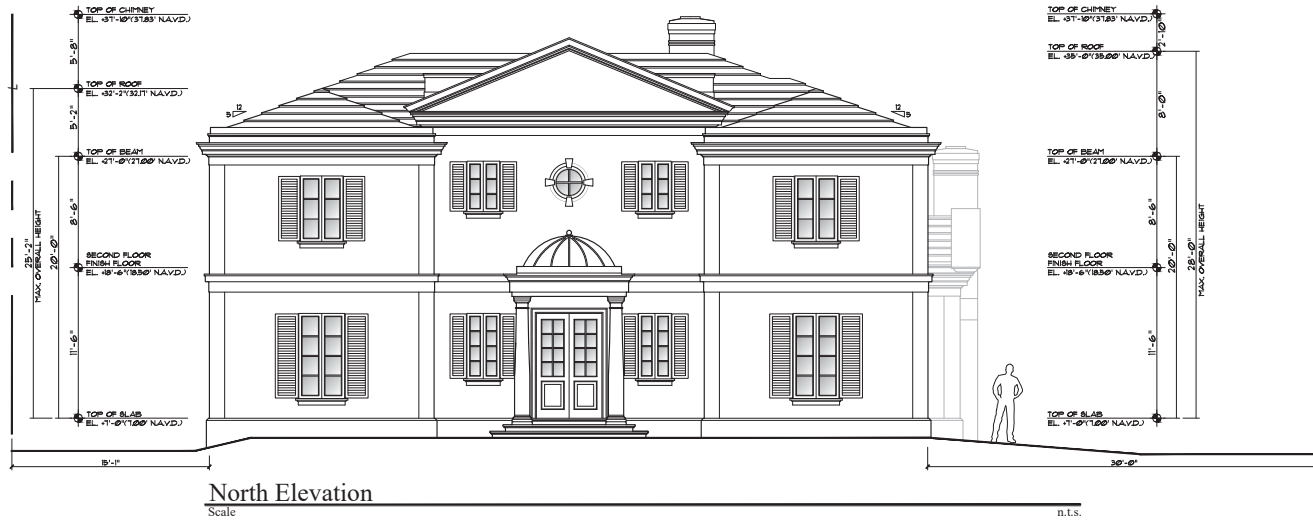


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2314

DATE
02-28-24

REVISIONS

A New Residence for
264 Dunbar L.L.C.

Palm Beach FL 33480

264 Dunbar Road

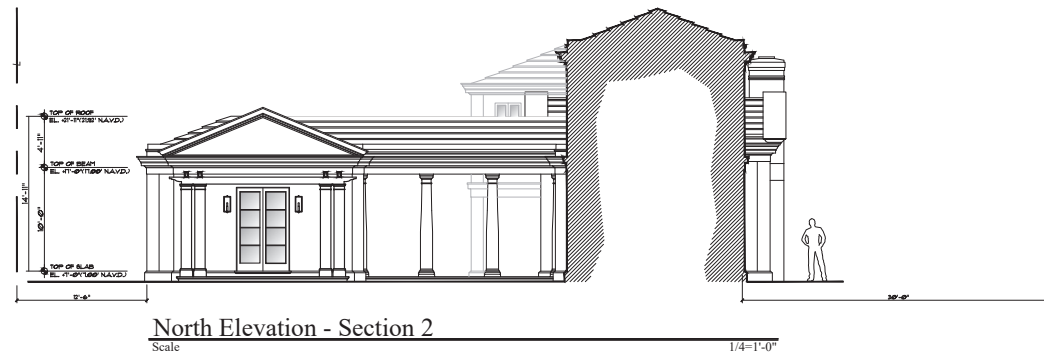
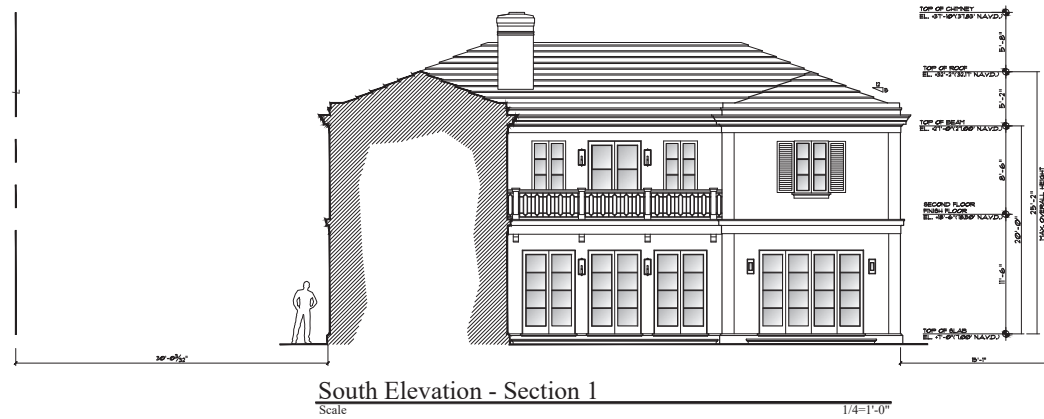


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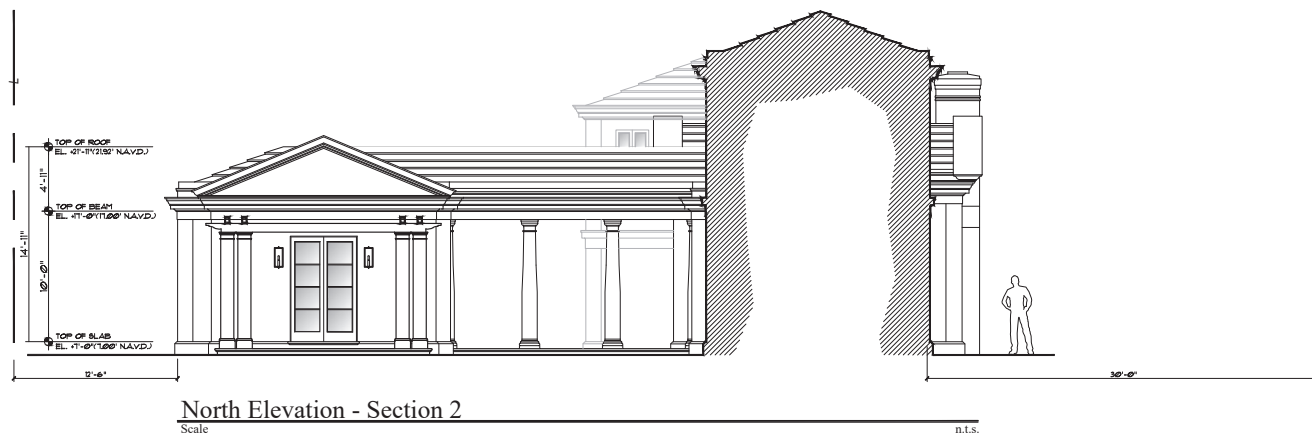
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South Elevation - Section 3
Scale

1/4=1'-0"



North Elevation - Section 4
Scale

1/4=1'-0"



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SHEET NO.

A202

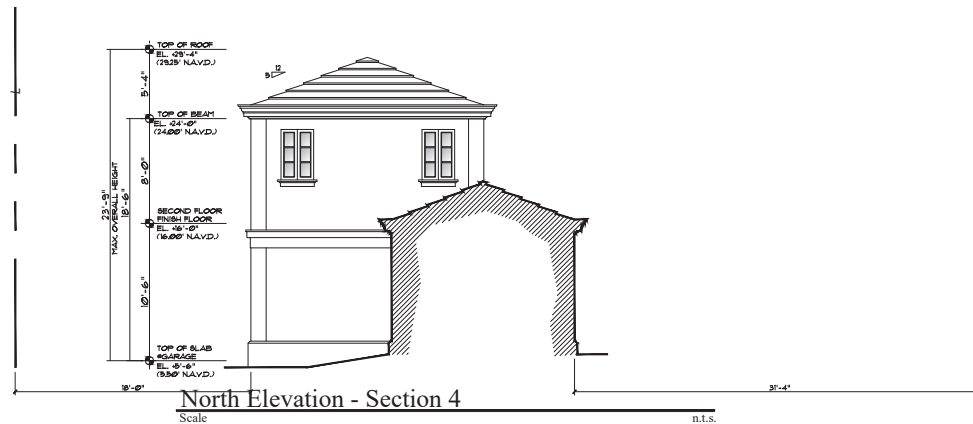
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South Elevation - Section 3

Scale

n.t.s.



North Elevation - Section 4

Scale

n.t.s.



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A New Residence for

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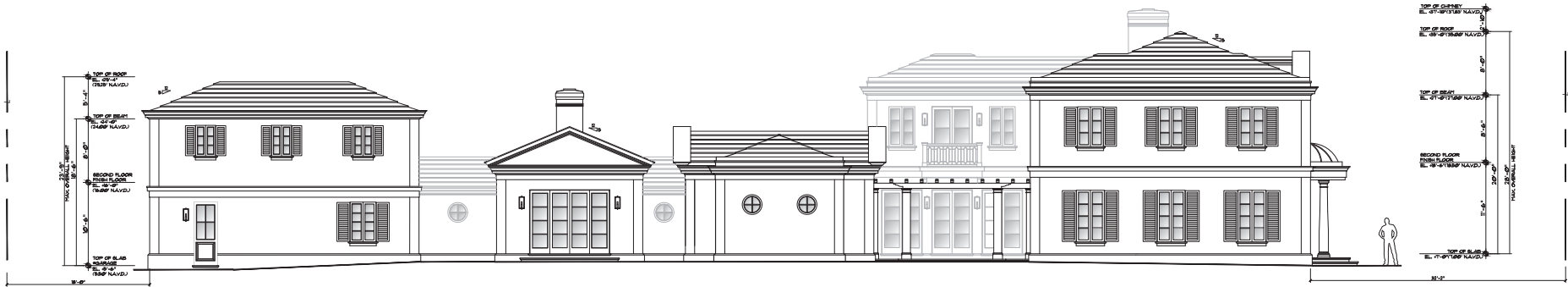
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A202.1



East Elevation
Scale

1/4"=1'-0"



West Elevation
Scale

1/4"=1'-0"



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A New Residence for

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264 Dunbar Road

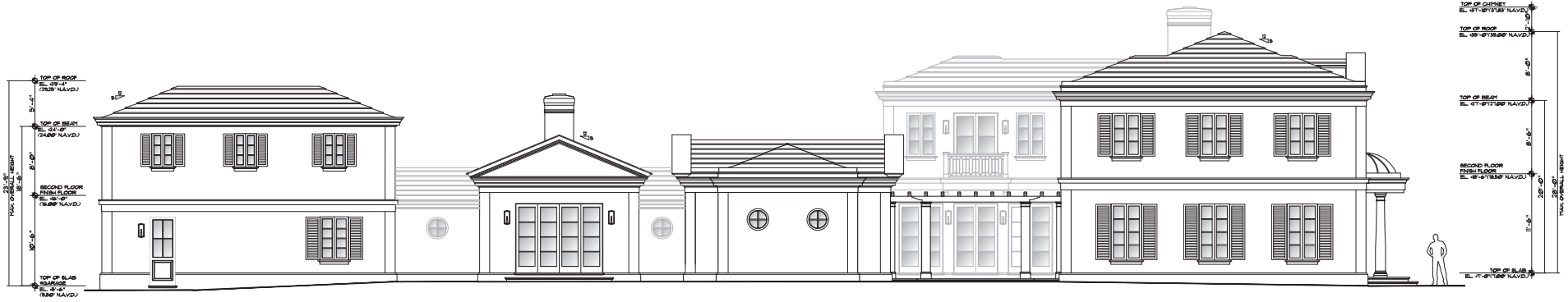


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East Elevation
Scale

n.t.s.



West Elevation
Scale

n.t.s.



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A New Residence for

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264 Dunbar Road
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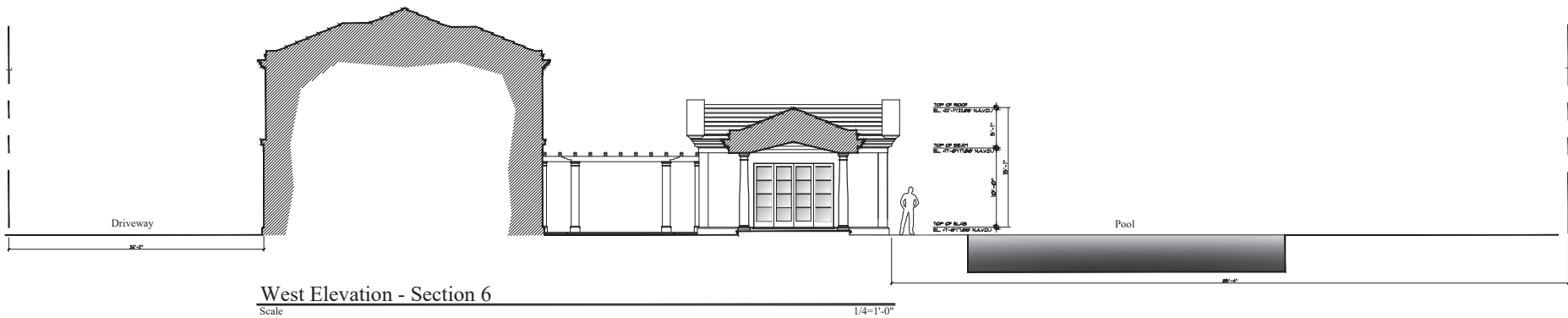


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A203.1

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SHEET NO.

A204

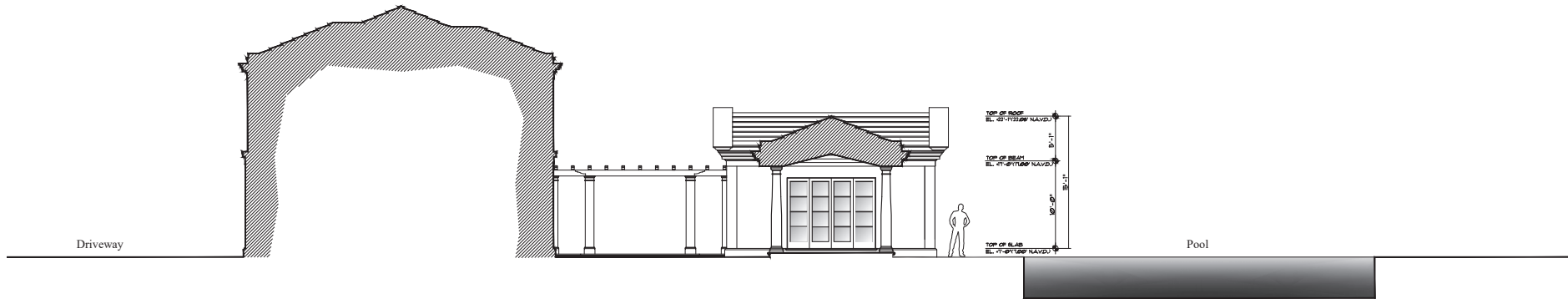
ARC-24-008



East Elevation - Section 5

Scale

n.l.s.



West Elevation - Section 6

Scale

n.l.s.



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A New Residence for

264 Dunbar L.L.C.

264 Dunbar Road
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SHEET NO.

A204.1

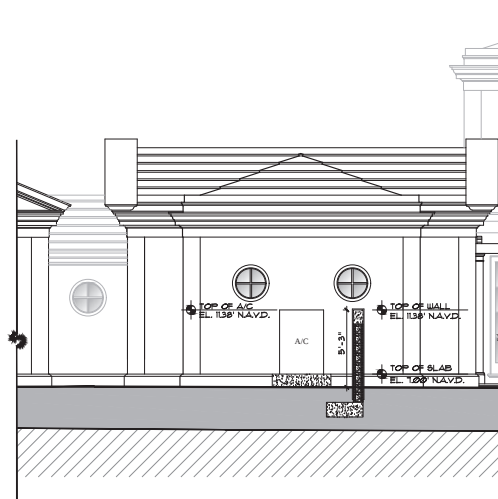
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Proposed Equipment Enclosure Section @South Side

Scale

1/4"=1'-0"



Proposed A/C Wall Section @East Side

Scale

1/4"=1'-0"



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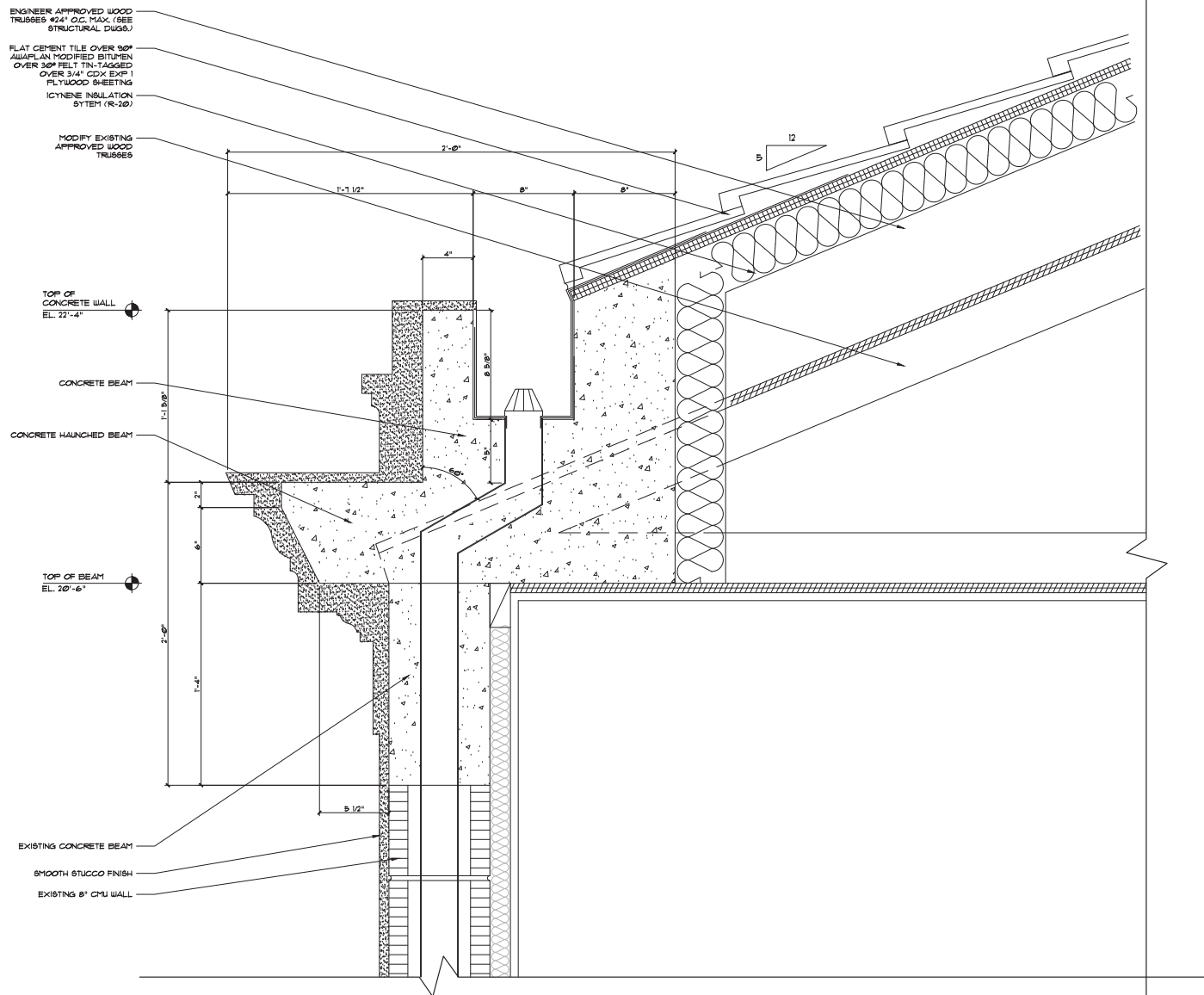


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A205

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9-1
A300

Cornice Detail

Scale

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264 Dunbar L.L.C.

264 Dunbar Road

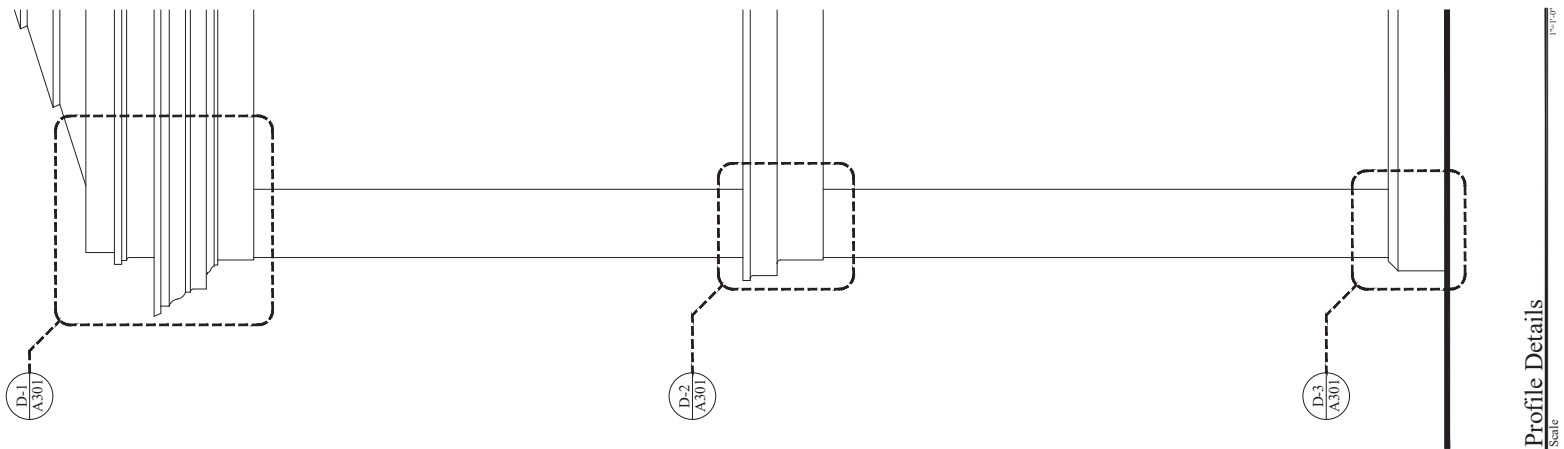
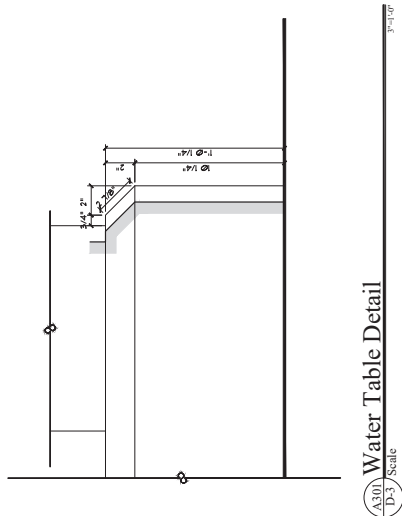
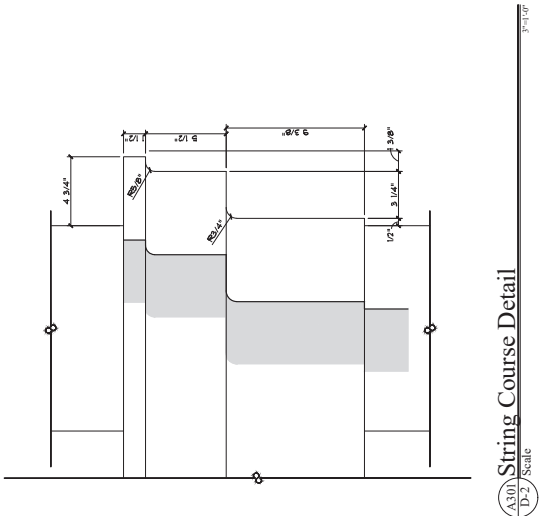
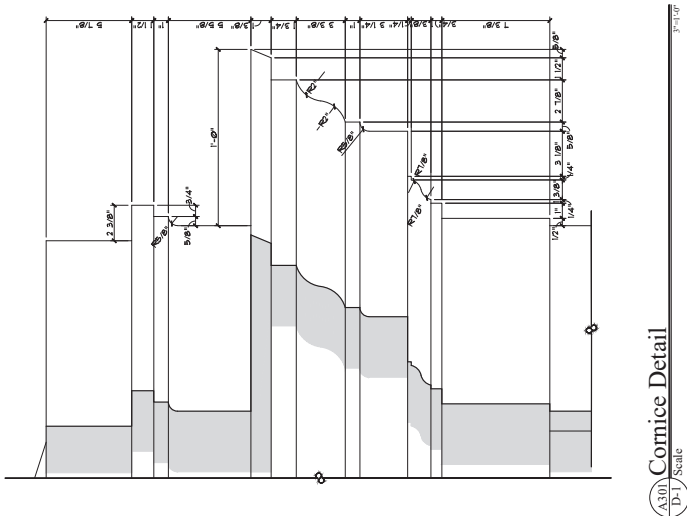
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A300



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A301

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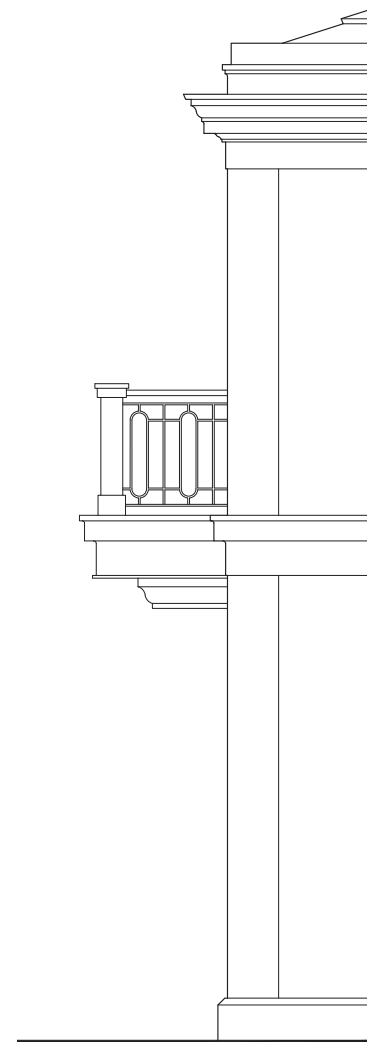
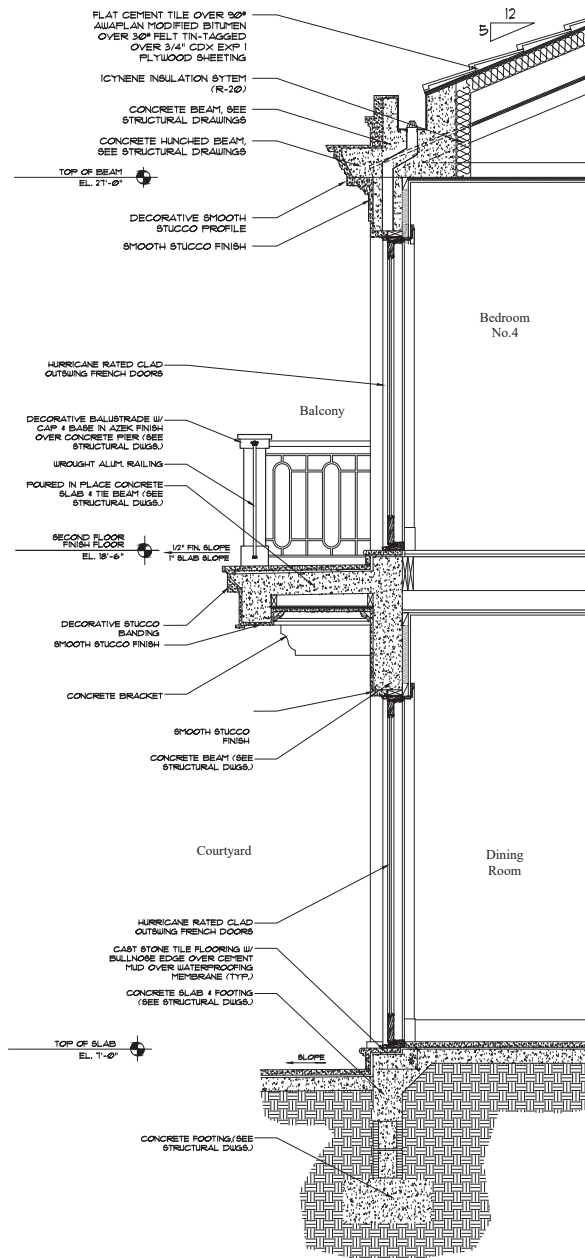


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2314
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East Elevation @ Facing South Courtyard
Scale 3/4" = 1'-0"



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264 Dunbar Road

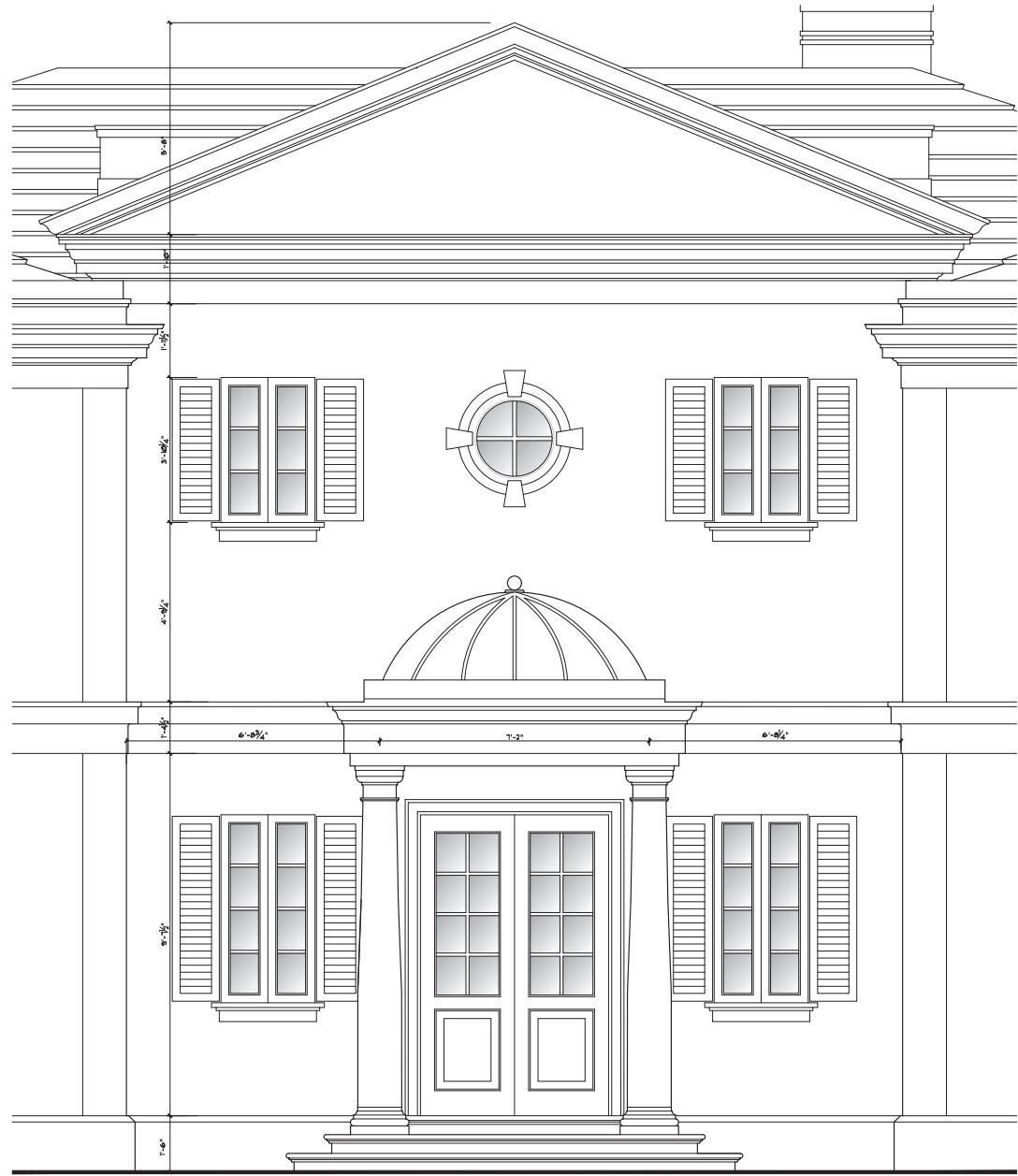


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A302

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Entry Elevation Detail
Scale

3/4" = 1'-0"

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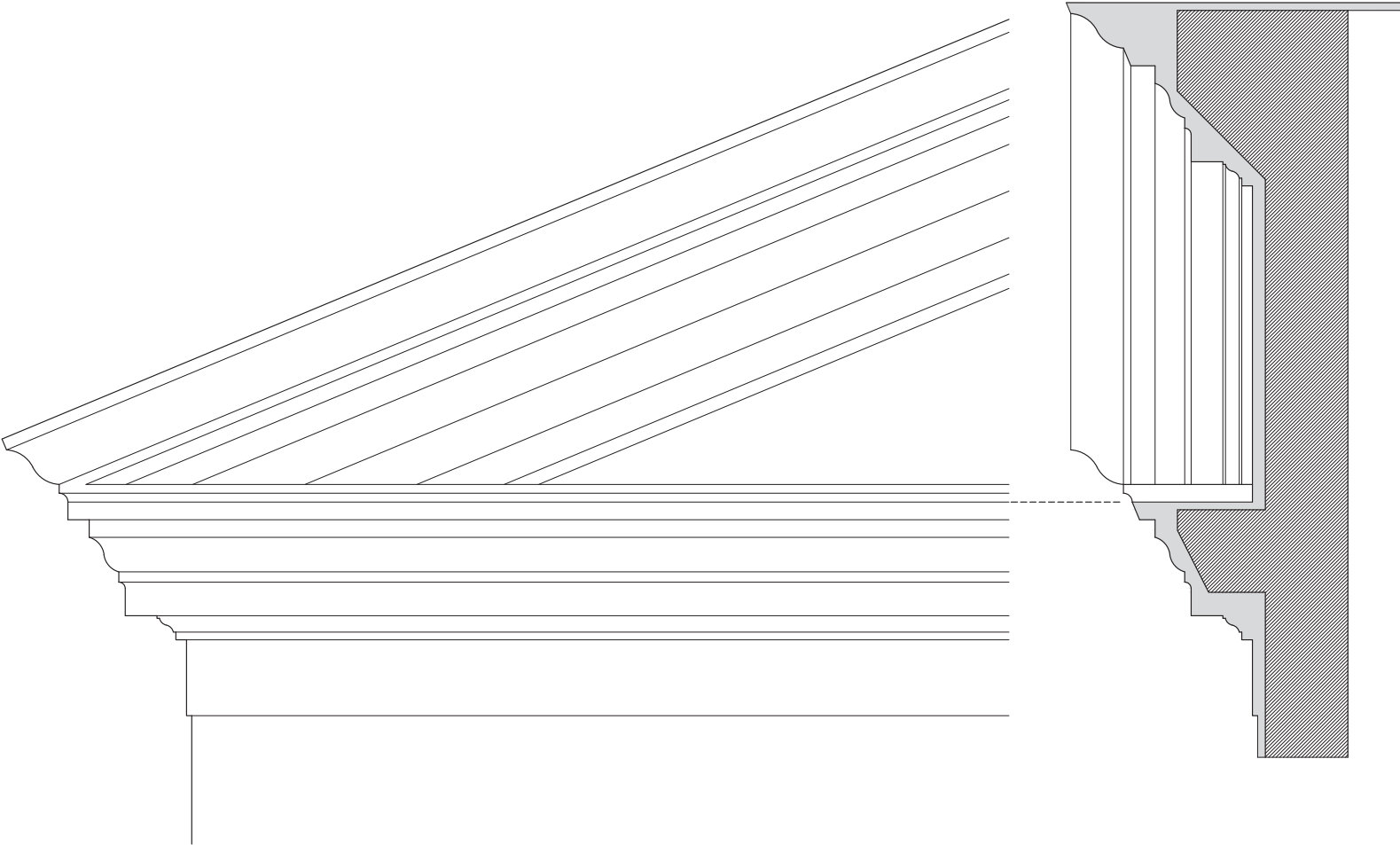
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ENTRY NO.
Entry
Elevation
Detail



Full Pediment Profile
Scale

Full Size

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SHEET NO.
Pediment
Profile



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DATE
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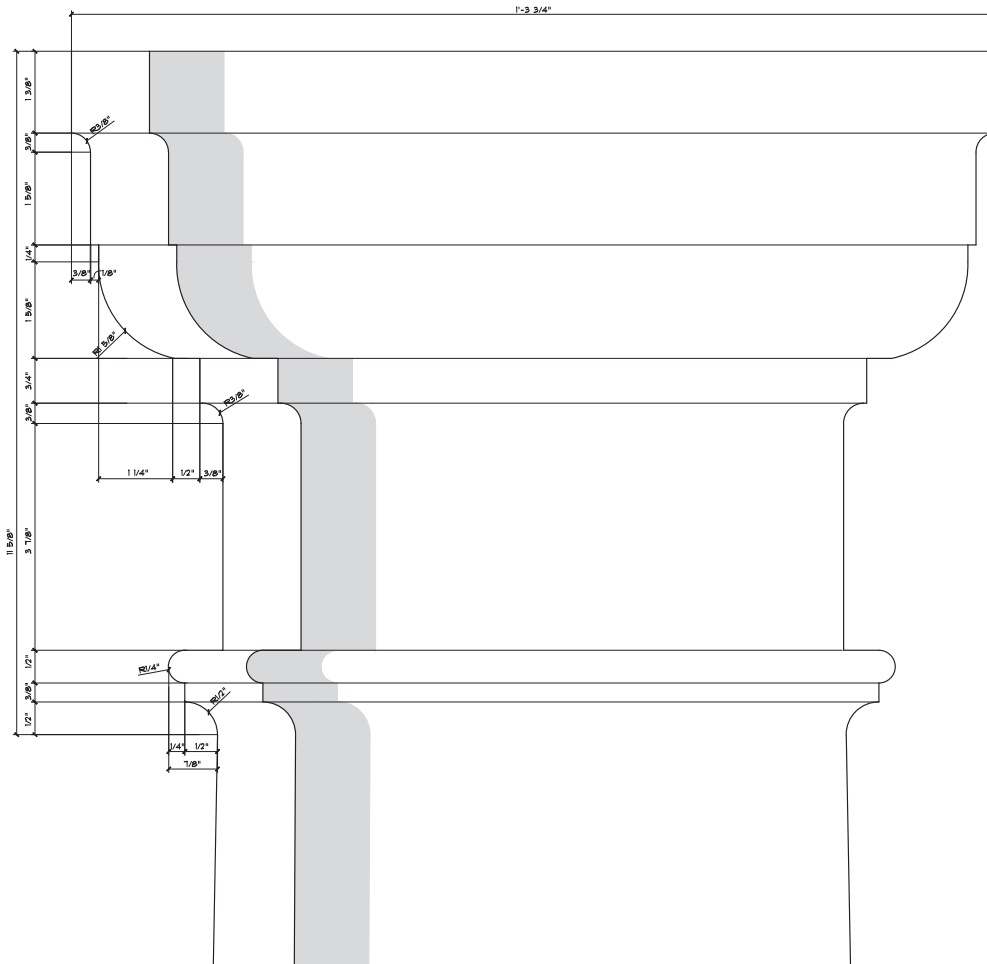
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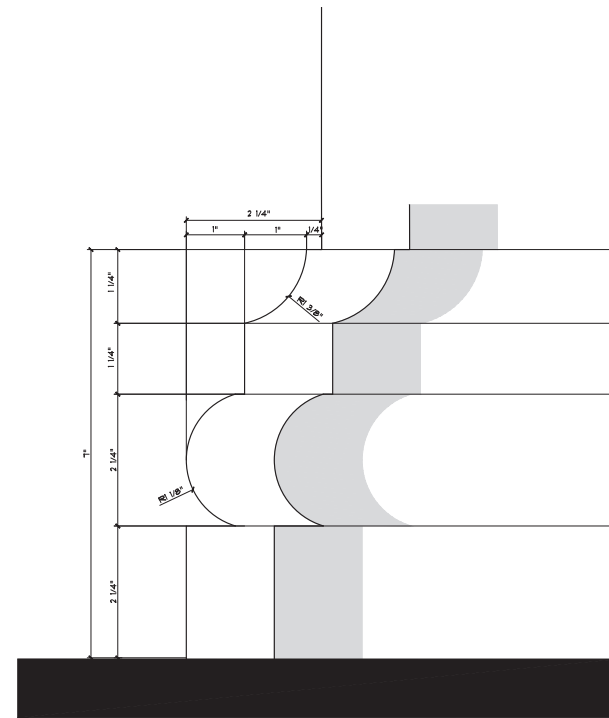
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SHEET NO.
Column Detail



Column Cap Detail

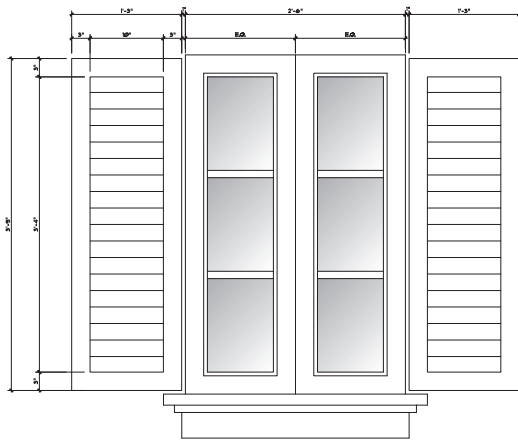
Scale Full Size



Column Base Detail

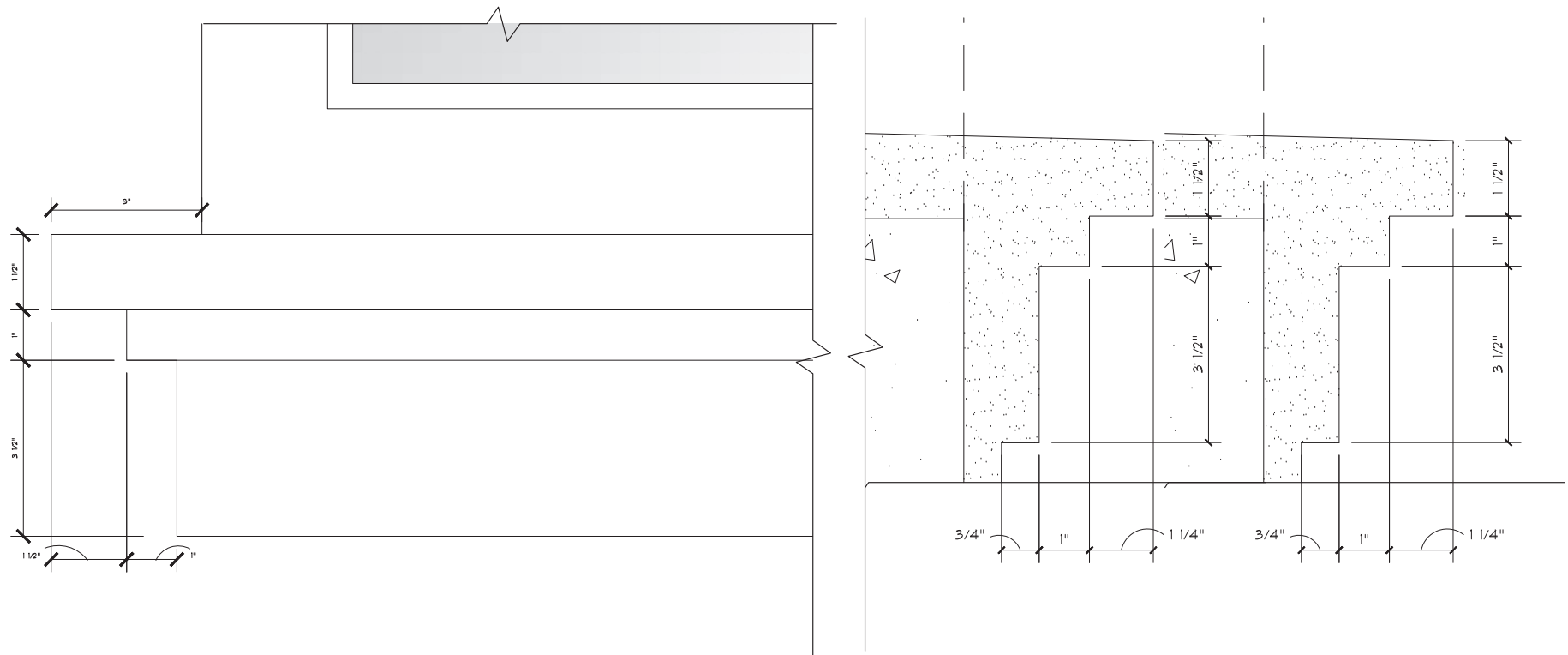
Scale Full Size

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Window & Shutter Detail

Scale 1-1/2"=1'-0"



Window Sill Detail

Scale Full Size

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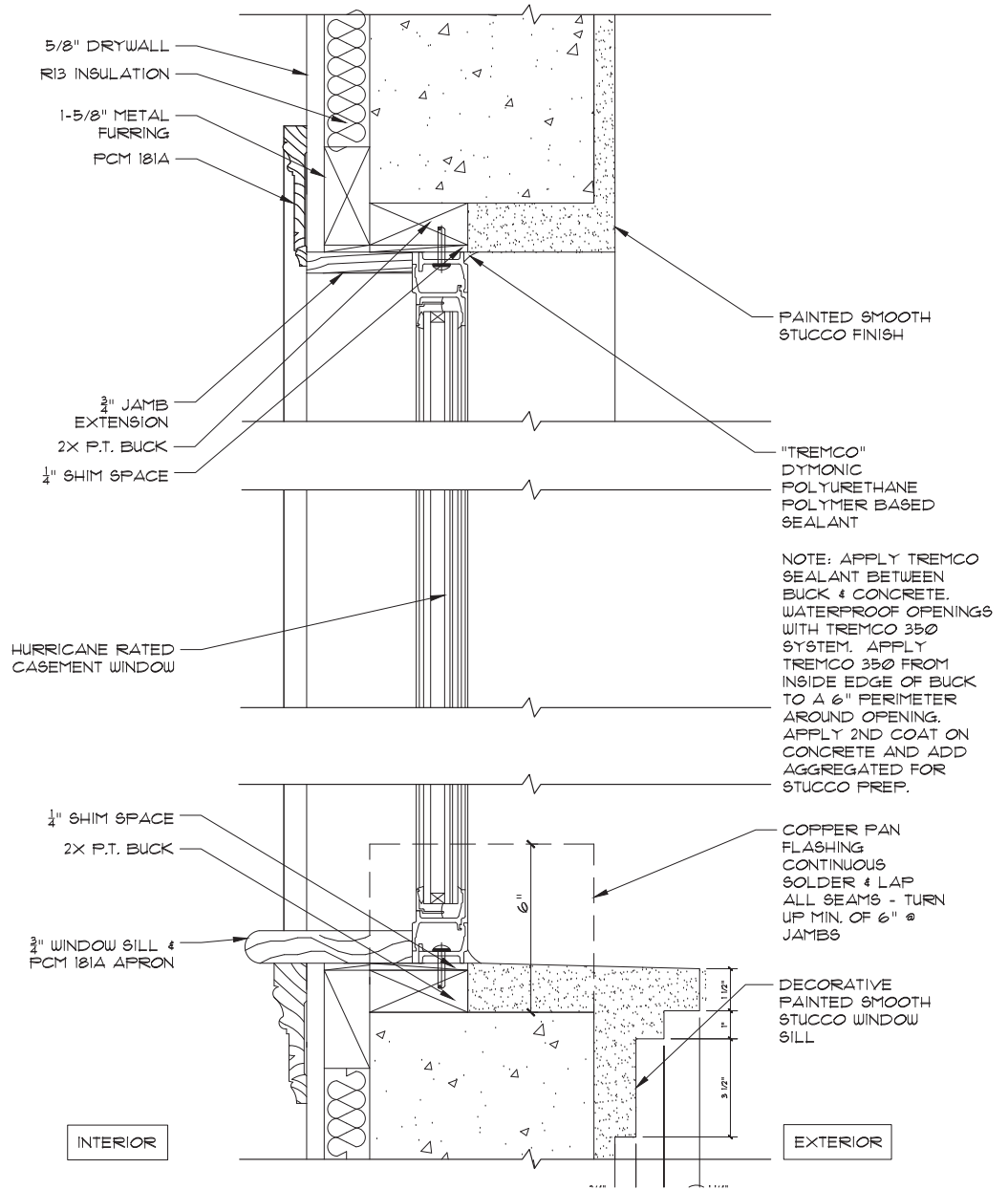
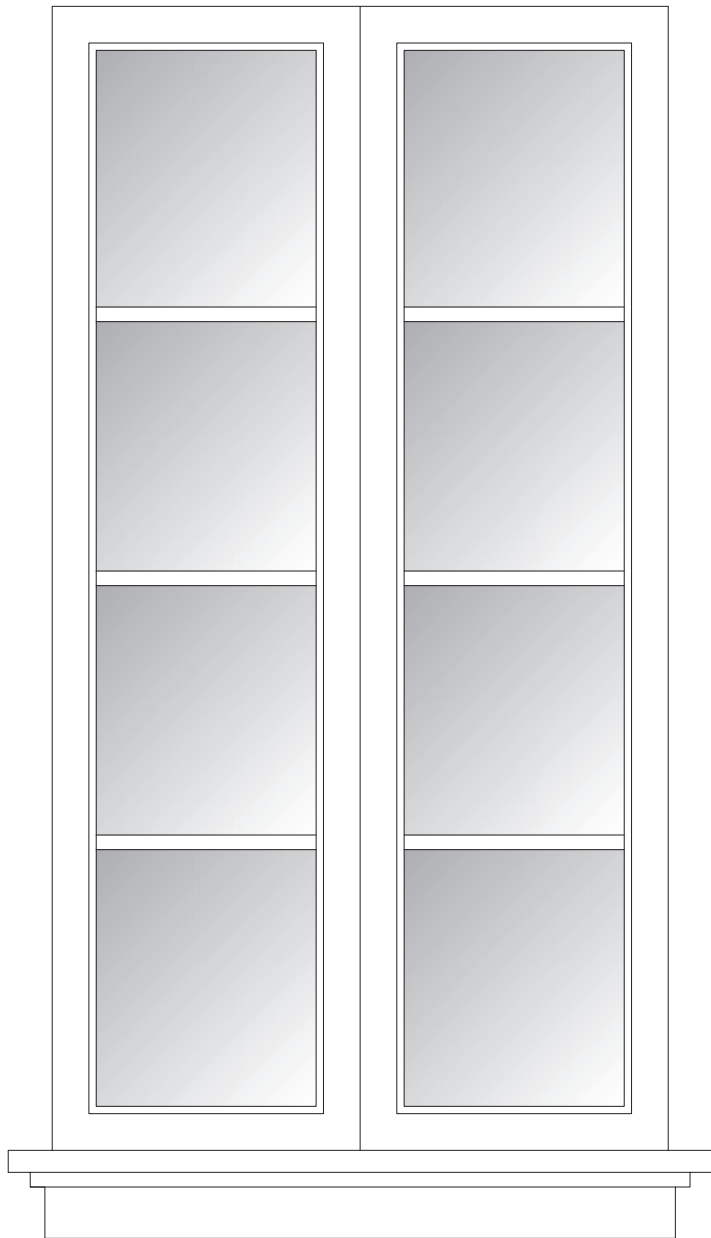
264 Dunbar Road



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Window
Detail



Window Details

Scale

6"=1'-0"

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Window
Detail

Route To Property:

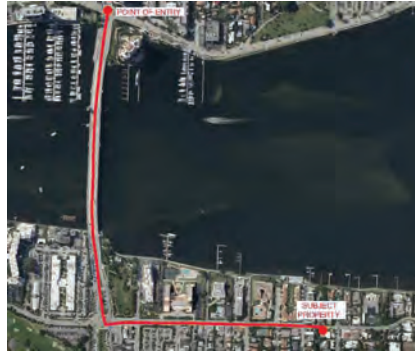
Enter the Town of Palm Beach thru US HWY 1 over the Flagler Memorial Bridge. Turn left on Bradley Place heading north until reaching subject property on Dunbar Road. Entry point to be at west driveway on Bradley Place.

Max. Number Of Trips to Subject Property:

80 Building material and dumpster trucks

Maximum Truck Length:

60'

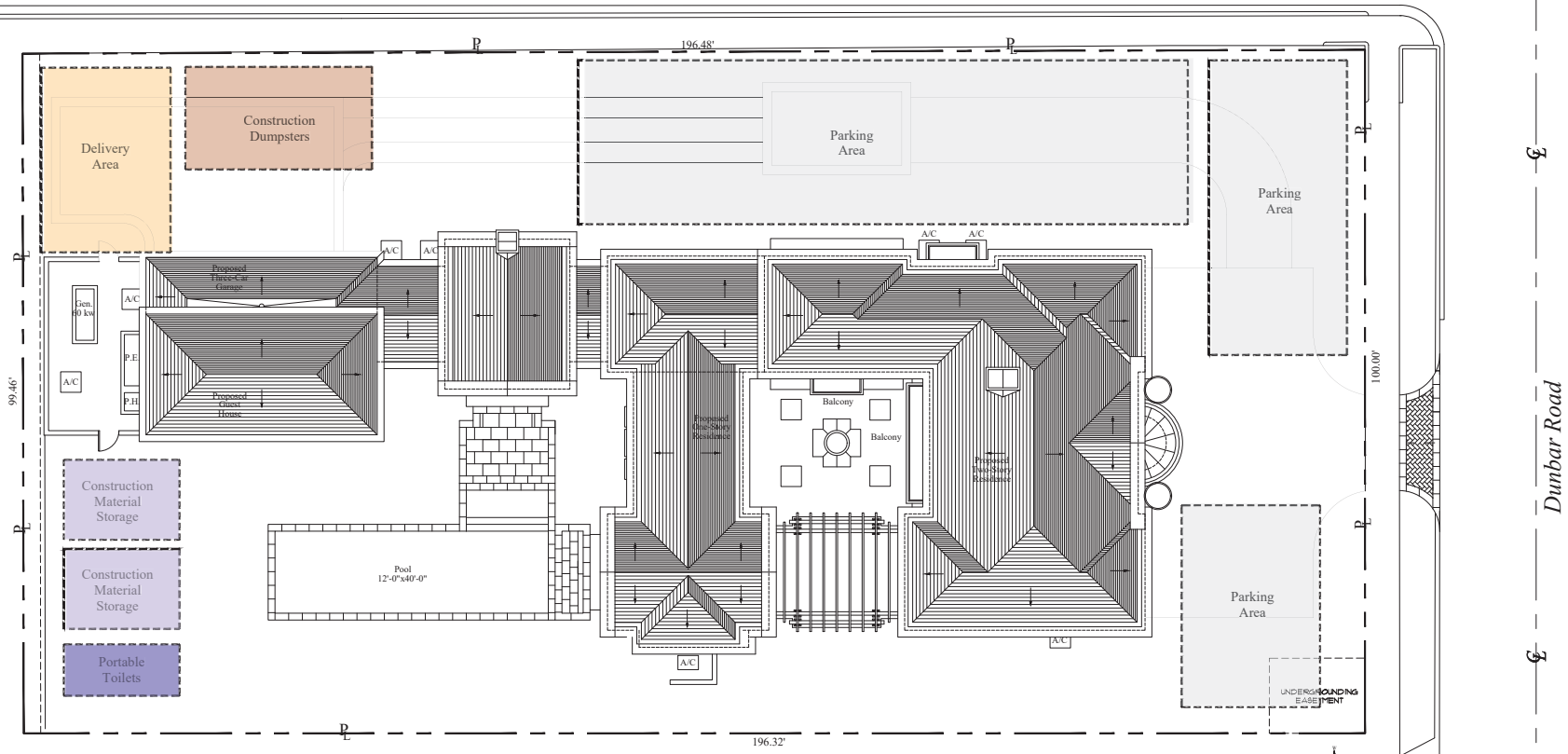


Truck Traffic Map

Scale

Bradley Pl.

n.t.s.



Truck & Site Logistics Plan

Scale

1/8" = 1'-0"

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