

DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
LANDMARKS - 1-17-24 - TOWN COUNCIL - 1-10-24

RECEIVED

By yfigueroa at 11:51 am, Jan 05, 2024



ABBREVIATIONS

ABV	ABOVE	GALV.	GALVANIZED	F.T.	PRESSURE TREATED
AFCI	ARC FAULT CURRENT INTERRUPT	GFCI	GROUND FAULT CURRENT INTERRUPT	PARTN.	PARTITION
AF	ABOVE FINISHED FLOOR	GL.	GLASS	PKT.	POCKET
AHU	AIR HANDLER UNIT	GWB	GYPSUM WALLBOARD	PLYWD.	PLYWOOD
BF	BI FOLD	GYP. BD.	GYPSUM WALLBOARD	FR.	FAIR
B.P.	BI PASS	HGT.	HEIGHT	R.O.	ROUGH OPENING
BLK.	BLOCK	HPS.	HOOPS	RASH	RACK AND SHELF
BLW.	BELOW	HR	HOUR	S.C.	SOLID CORE
BRG.	BEARING	HS	HORIZONTAL SLIDING	S.G.D.	SLIDING GLASS DOOR
BTM.	BOTTOM	HVHZ	HIGH VELOCITY HURRICANE ZONE	SF	SQUARE FOOT
CLG.	CEILING	INS.	INSULATION	SH	SINGLE HUNG
CLR	CLEAR	INT.	INTERIOR	SMs	SHEET METAL SCREWS
CMU	CONCRETE MASONRY UNITS	LG.	LONG	SS.	STAINLESS STEEL
COL.	COLUMN	LIN.	LINEN	ST.	STIRRUPS
CONC.	CONCRETE	L.T.	LIGHT	STL.	STEEL
CSMT.	CASEMENT	L.T.	LAUNDRY TUB	SW	SWITCH
DBL.	DOUBLE	MC.	MEDICINE CABINET	SWOT.	SHEARWALL OVERTURNING FORCE
DIA.	DIAMETER	ME.	MATCH EXISTING	TEMP.	TEMPERED
DISP.	DISPOSAL	M.R.H.	MEAN ROOF HEIGHT	T.B.	THROUGH BOLT
DP	DESIGN PRESSURE	M.T.	METAL THRESHOLD	T.O.	THROUGH OUT
DR	DOOR	MAX.	MAXIMUM	T.O.B.B.	TOP OF MASONRY BOND BEAM
DW	DISH WASHER	MFR.	MANUFACTURER		
EE.	EACH END	MICRO.	MICROWAVE	T.O.P.L.	TOP OF WOOD PLATE
ELEC.	ELECTRICAL	MIN.	MINIMUM	T.O.B.	TOP OF TIE BEAM
ELEV.	ELEVATION	M.O.	MASONRY OPENING	TYP.	TYPICAL
EA.	EACH SIDE	MONO.	MONOLITHIC	U.ON.	UNLESS OTHERWISE NOTED
EXT.	EXTERIOR	MTL.	METAL	UL	UNDERWRITERS LABORATORIES
F.B.C.	FLORIDA BUILDING CODE	N.I.C.	NOT IN CONTRACT	U.C.	UNDER COUNTER
F.R.	FIRE RATED	O.H.D.	OVER HEAD DOOR	V.I.F.	VERIFY IN FIELD
FR	FRENCH DOOR	O/C	ON CENTER	W.A.	WEDGE ANCHORS
FIN.	FINISHED	P.L.F.	POUNDS PER LINEAR FOOT	W.	WITH
FL.	FLOOR	P.S.F.	POUNDS PER SQUARE FOOT	WC	WATER CLOSET
G.T.	GIRDER TRUSS	P.S.I.	POUNDS PER SQUARE INCH	WD.	WOOD
GA.	GAUGE				

FLORIDA BUILDING CODE 2020

W/ NFPA 70 2014 EDITION, NATIONAL ELECTRIC CODE & FLORIDA STATUTES
WIND SPEED = 110 MPH V (ULT), 132 MPH V (ASD)
WIND IMPORTANCE FACTOR = 1.0
RS, RENOVATION LEVEL 2
EXPOSURE D
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - Gcpi = 0.18
MEAN ROOF HEIGHT = 28'-0"

PROJECT INDEX

C1	COVER SHEET	A1.0	FLOOR PLANS, NOTES AND SCHEDULES
S1	SURVEY	A1.1	ROOF PLANS
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PH2	PHOTOGRAPHS	A2.1	EXISTING AND PROPOSED ELEVATIONS
PH3	PHOTOGRAPHS	A2.1b	PROPOSED ELEVATIONS
PH4	PHOTOGRAPHS	A2.2	EXISTING AND PROPOSED ELEVATIONS
SP1	SITE PLAN, VICINITY LOCATION MAP, LOCATION PLAN, CALCULATIONS	A2.2b	PROPOSED ELEVATIONS
SP2	CONSTRUCTION SCHEDULING PLAN	A2.5	OPEN SPACE DIAGRAM
D1.0	DEMOLITION PLAN, NOTES AND SCHEDULES	A3.0	SCISSORS
D1.1	DEMOLITION ELEVATION 1, NOTES AND SCHEDULES	A4.0	DOOR AND WINDOW DETAILS
D1.2	DEMOLITION ELEVATION 2, NOTES AND SCHEDULES	VRD	VARIANCE DIAGRAM
D1.3	DEMOLITION ELEVATION 3, NOTES AND SCHEDULES	L1	PERSPECTIVE RENDERINGS
D1.4	DEMOLITION ROOF PLAN, NOTES AND SCHEDULES		

PROJECT TEAM

SURVEYOR: WALLACE SURVEYING
ARCHITECT: BRASSEUR AND DROBOT ARCHITECTS, P.A.
CONTRACTOR: T.B.D.

SCOPE OF WORK

CONSTRUCTION OF (2) DORMERS ON THE EAST AND (2) DORMERS ON THE WEST SIDE OF THE EXISTING 3RD FLOOR ROOF, AN INTERIOR REMODEL TO THE HOUSE AND IN THE EXISTING 3RD FLOOR ATTIC / STORAGE SPACE WITH AN EXISTING BATHROOM REMODEL AND STAIR BEING RELOCATED. AN ADDITION OF A DUTCH COLONIAL GABLE ENTRY FEATURE TO MATCH THE REMOVED ORIGINIAL FROM 1925. THE PROPOSED GABLE ENTRY FEATURE WILL HAVE A BALCONY AT THE 2ND FLOOR.



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BR 26001461

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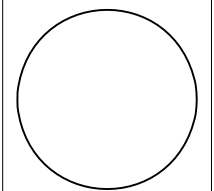
A REMODEL AND ADDITION TO:

269 PARK AVENUE

WEST PALM BEACH, FLORIDA

SEAL BY:

☒ JEFFREY D. BRASSEUR - BR 0017698
☐ JASON P. DROBOT - BR 94845



JOB #: 22-010
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DRAWN BY: JDB

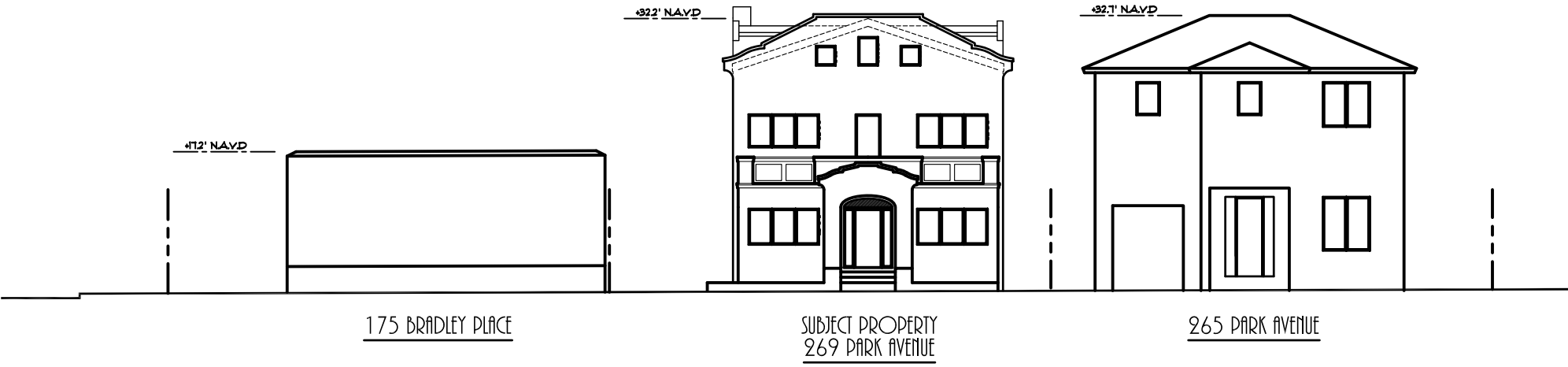
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COVER SHEET

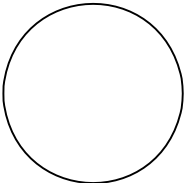


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1/PH1 - SOUTH ELEVATION ELEVATION SUBJECT PROPERTY



2/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



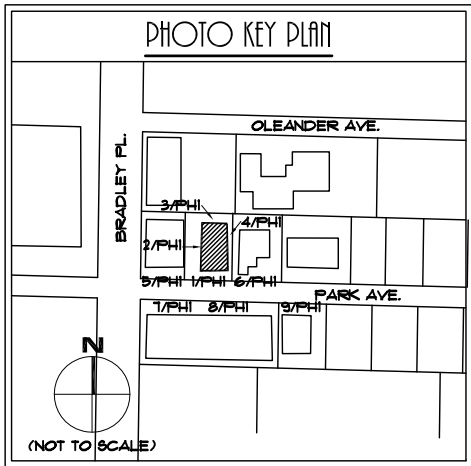
3/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



4/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



5/PH1 - 175 BRADLEY PLACE



6/PH1 - 265 PARK AVENUE



7/PH1 - 165 BRADLEY PLACE



8/PH1 - 165 BRADLEY PLACE PARKING



9/PH1 - 262 PARK AVENUE

PHOTO SHEET

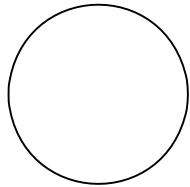


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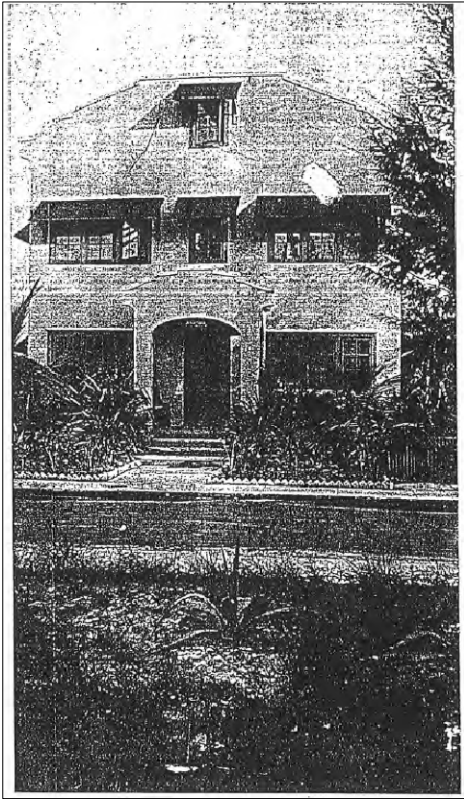
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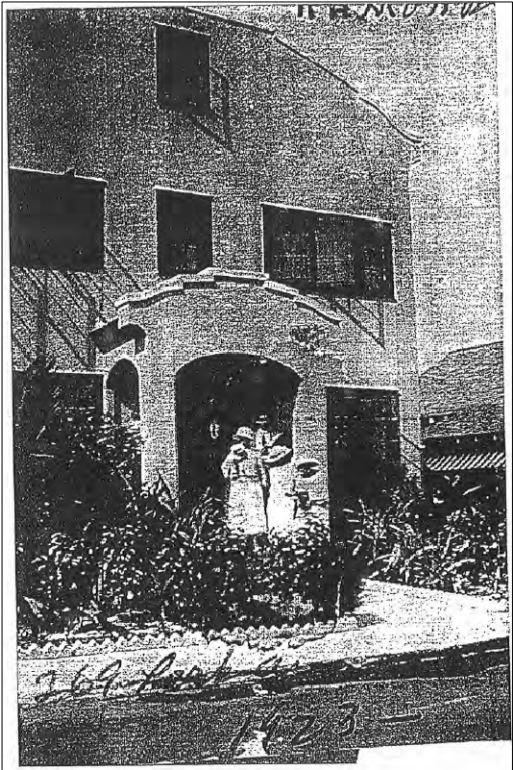
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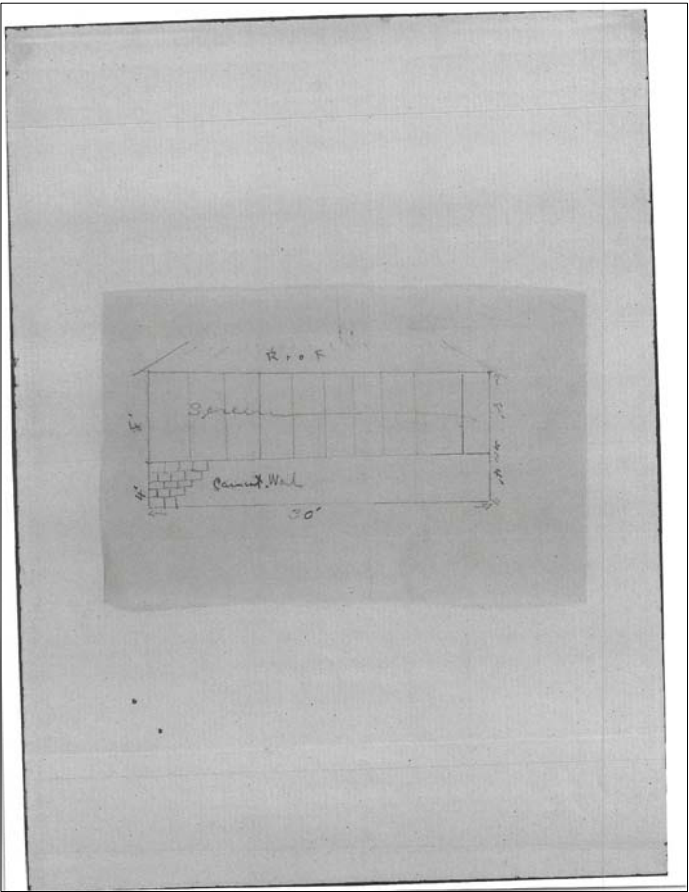




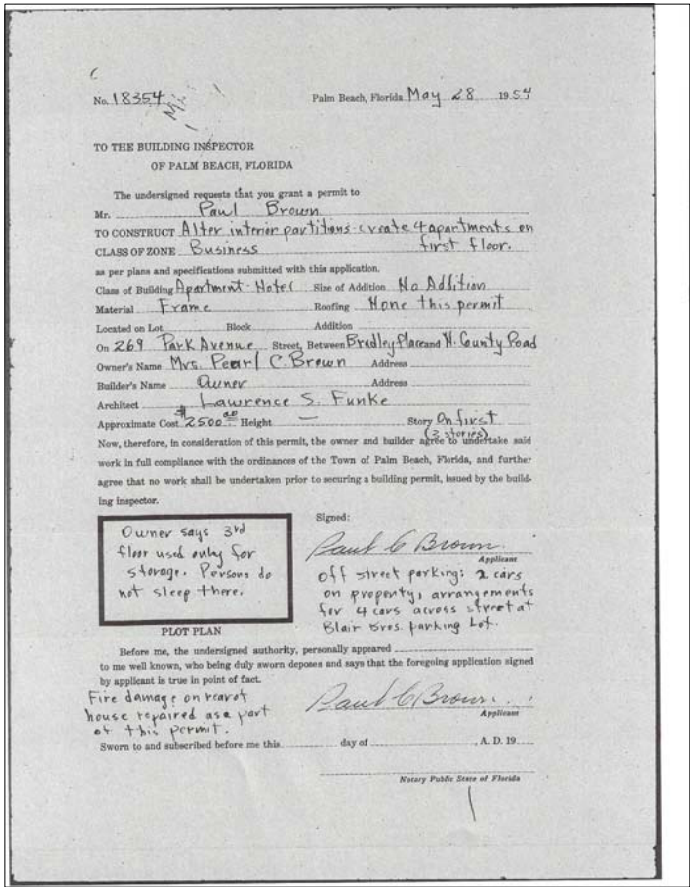
ORIGINAL SOUTH ELEVATION



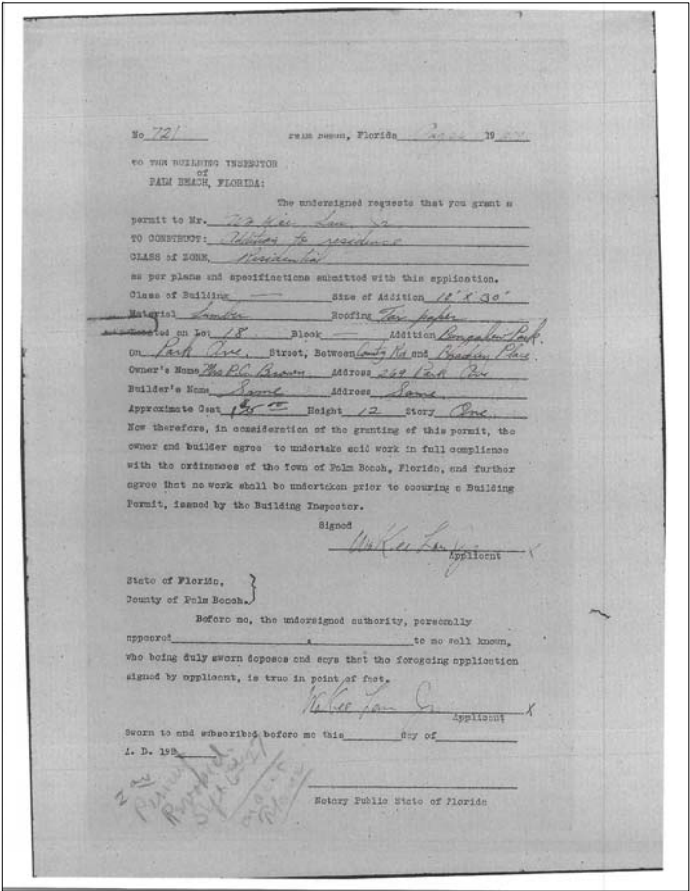
ORIGINAL SOUTH ELEVATION - CA. 1923



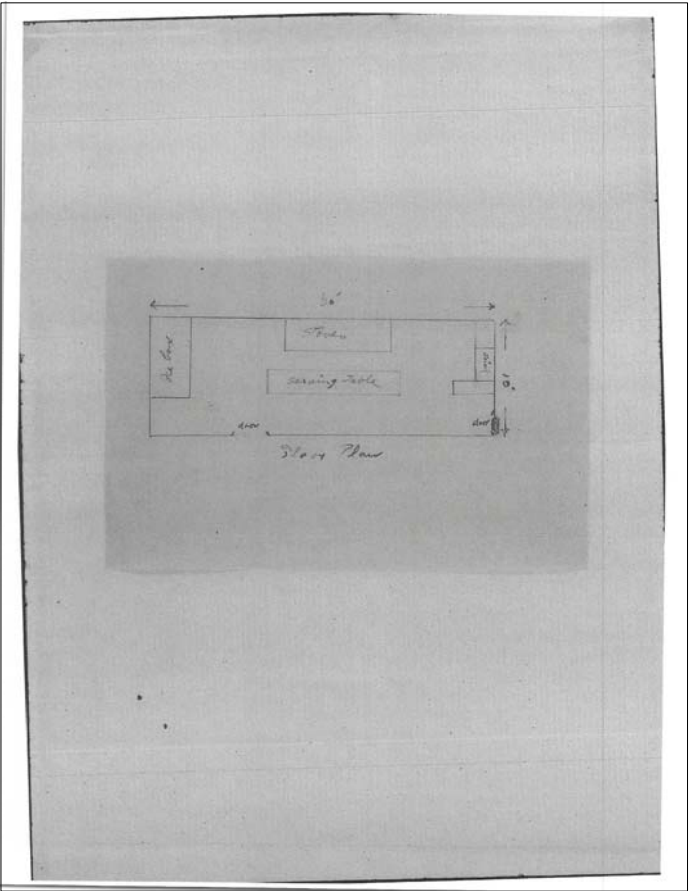
1927 PERMIT - 1-STORY - ADDITION ELEVATION



1954 PERMIT - 3-STORY - STORAGE



1927 PERMIT - 1-STORY - ADDITION



1927 PERMIT - 1-STORY - ADDITION PLAN

HISTORIC PHOTOS AND PERMITS



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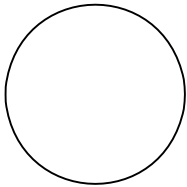
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2

3

PH2
SHEET: 5 OF: -



EXISTING 3RD STORY STORAGE AREA



EXISTING 3RD STORY STORAGE AREA



EXISTING 3RD STORY TOILET ROOM



EXISTING 3RD STORY BATHROOM



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



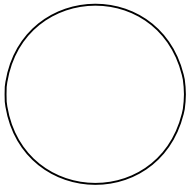
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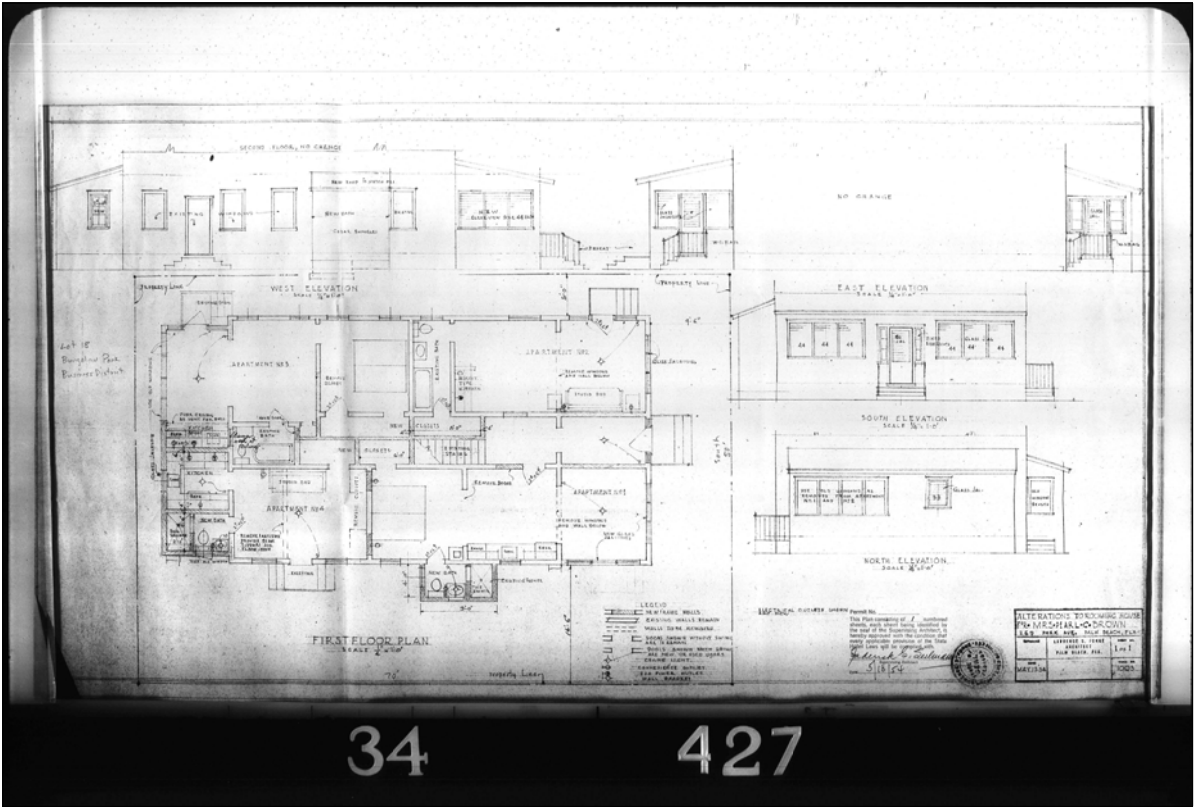
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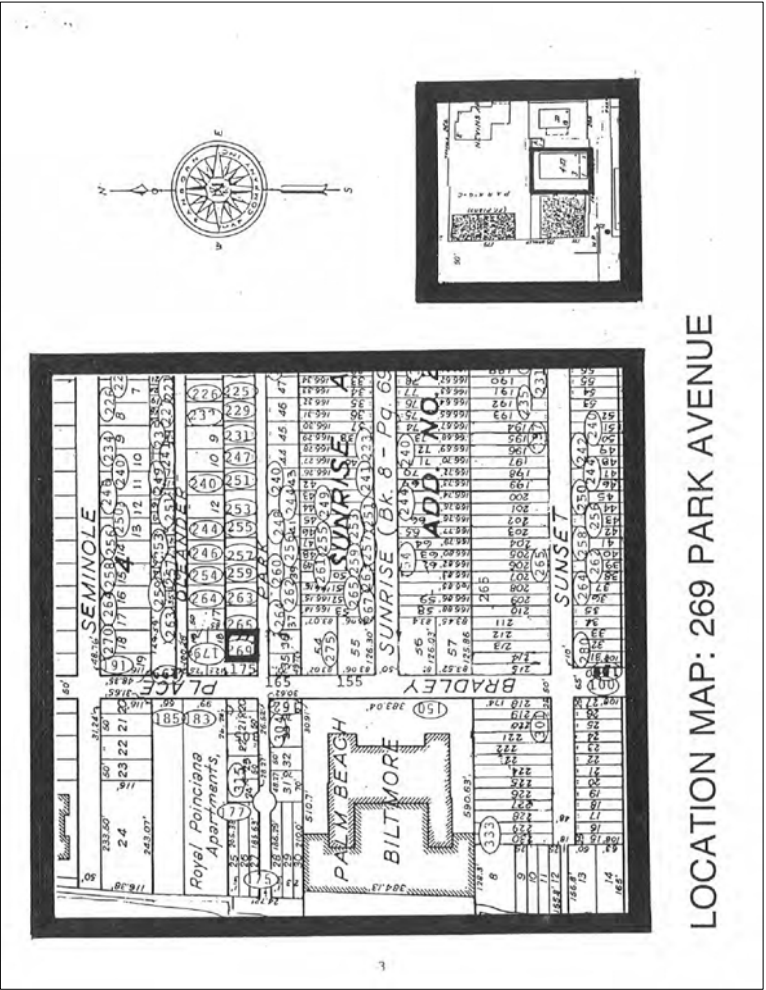


SHEET: 4 OF: -

PHOTOGRAPHS



PERMIT DRAWING 1954



HISTORIC TAX MAP W/ FRONT ADDITION



102 SEAVIEW AVENUE



SEASPRAY AVENUE



YATES HOUSE 1730

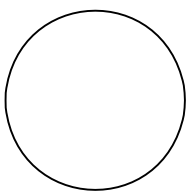


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PHOTOGRAPHS

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SITE PLAN NOTE

1. THE ARCHITECTURAL SITE PLAN IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVES, AND SITE FEATURES ONLY. THE OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50% COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SETBACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS PLAN, THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THE CONFLICTS.

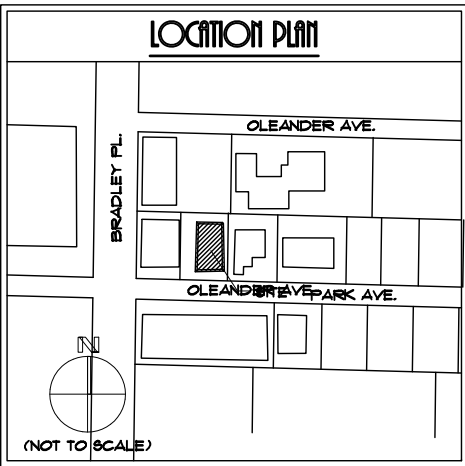
SITE INFORMATION

WALLACE SURVEYING CORP.
LB 4569
5553 VILLAGE BLVD.
WEST PALM BEACH, FL 33407
DATED 1-10-2022

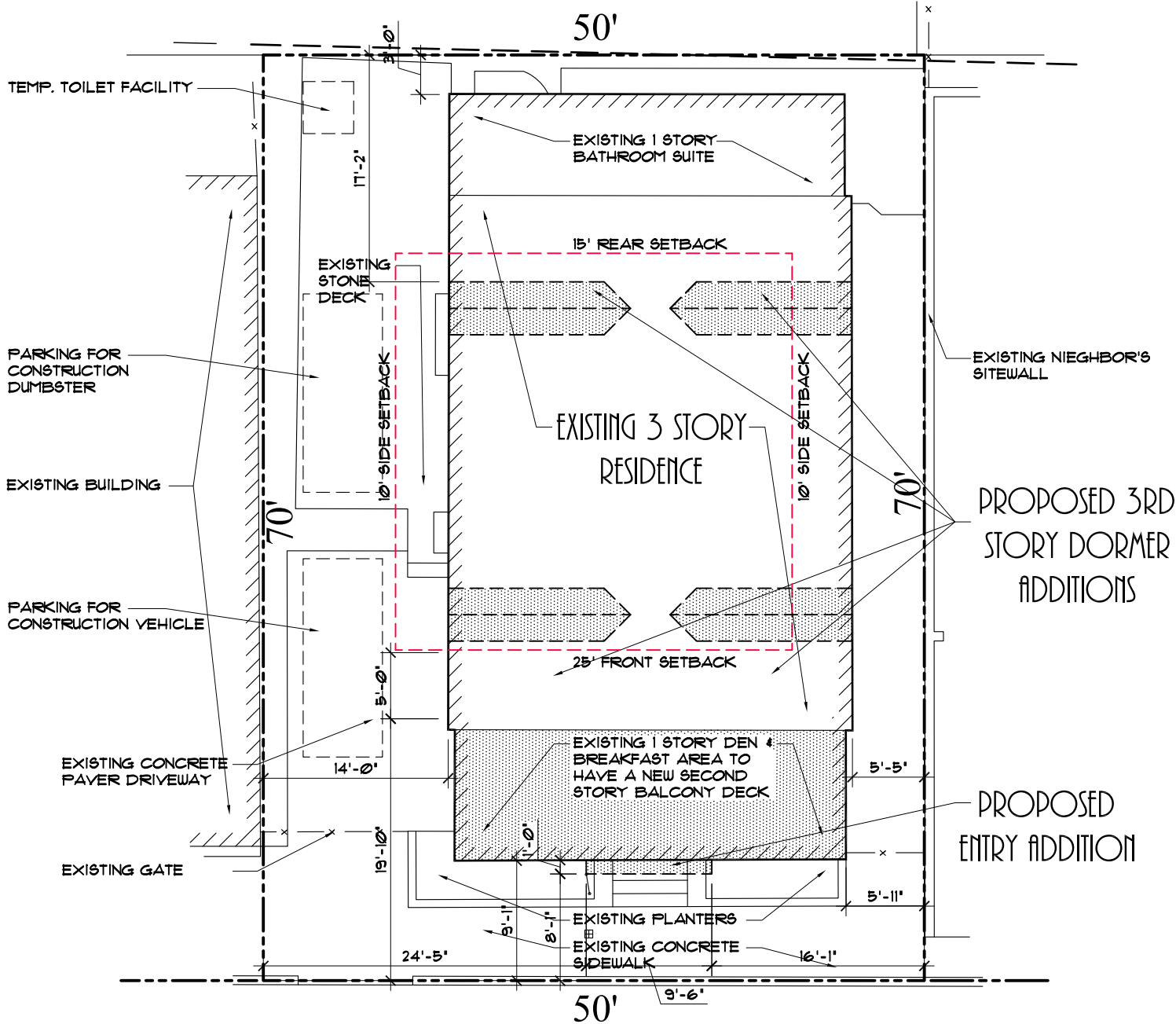
LEGAL DESCRIPTION

MUNICIPALITY: PALM BEACH
PARCEL CONTROL NUMBER: 50-43-15-08-000-0100
SUBDIVISION: BUNGALOW PARK ADD IN
OFFICIAL RECORDS BOOK: 33093 PAGE: 491
LEGAL DESCRIPTION: BUNGALOW PARK ADD LT 10

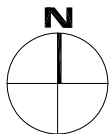
LOCATION PLAN



VICINITY LOCATION MAP



PARK AVENUE



SITE PLAN
SCALE: 3/16" = 1'-0"

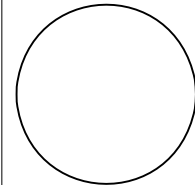


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Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Zoning Legend			
1	Property Address:	269 Park Avenue	
2	Zoning District:	R-C	
3	Lot Area (sq. ft.):	3,500 s.f.	
4	Lot Width (W) & Depth (D) (ft.):	50' & 70'	
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	Single Family	
6	FEMA Flood Zone Designation:	AE - Special Flood Hazard Area	
7	Zero Datum for point of meas. (NAVD)	7.00' NAVD	
8	Crown of Road (COR) (NAVD)	1.38' NAVD	
9		REQ'D / PERMITTED	EXISTING
10	Lot Coverage (Sq Ft and %)	1,050 S.F./30%	1,753 S.F./50%
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Access Structure, etc)	2,100 S.F.	4,169 S.F.
12	*Front Yard Setback (Ft.)	25'	9.1'
13	*Side Yard Setback (1st Story) (Ft.)	10'	5.4' & 14'
14	*Side Yard Setback (2nd Story) (Ft.)	10'	5.4' & 14'
15	*Rear Yard Setback (Ft.)	15'	3'
16	Angle of Vision (Deg.)	NA	NA
17	Building Height (Ft.)	23.5'	25.2'
18	Overall Building Height (Ft.)	23.5'	25.2'
19	Cubic Content Ratio (CCR) (R-B ONLY)	NA	NA
20	** Max. Fill Added to Site (Ft.)	NA	NA
21	Finished Floor Elev. (FFE)(NAVD)	7.0' NAVD	4.01' NAVD
22	Base Flood Elevation (BFE)(NAVD)	7.0' NAVD	4.01' NAVD
23	Landscape Open Space (LOS) (Sq Ft and %)	1,575 S.F./45%	594 S.F./17%
24	Perimeter LOS (Sq Ft and %)	786 S.F./50%	594 S.F./37.7%
25	Front Yard LOS (Sq Ft and %)	NA	NA
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

* Indicate each yard area with cardinal direction
(N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and
highest Crown of Rd (COR) divided by two. (FFE -
COR) / 2 = Max. Fill (Spec. 134-1600)

*** Provide Native plant species info per
categories required by Ord. 003-2022 on
separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626

ZONING DIAGRAM LEGEND

LOT COVERAGE

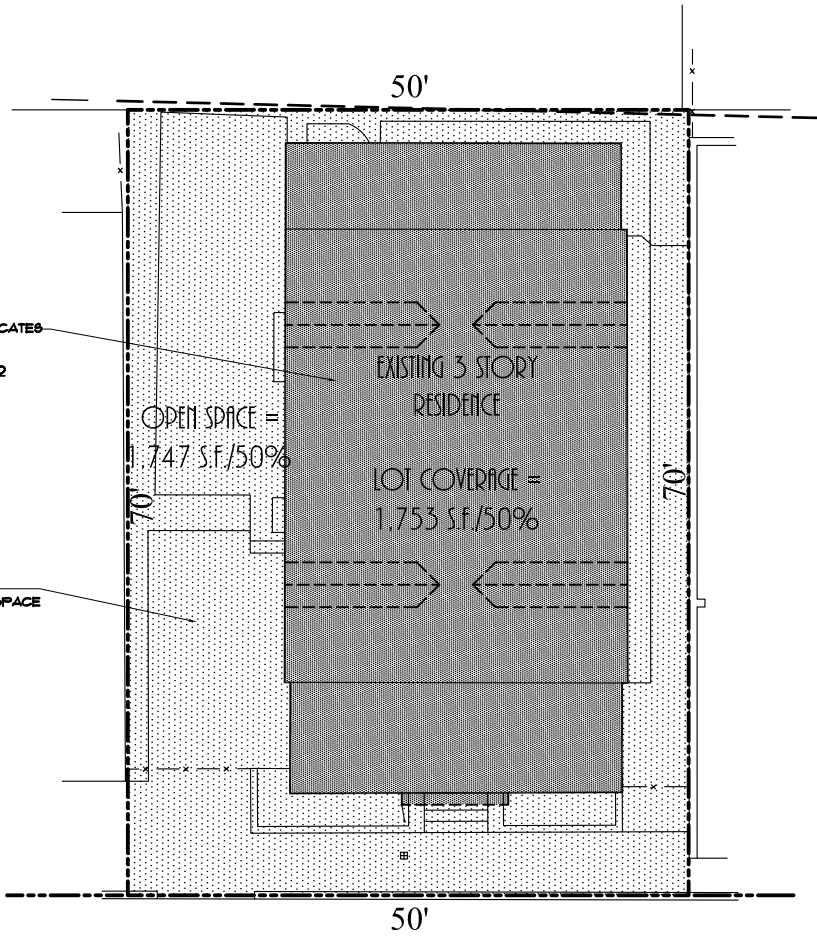


OPEN SPACE



DARK HATCH INDICATES
LOT COVERAGE
NOTE: THERE IS NO
CHANGE IN LOT
COVERAGE

MEDIUM HATCH
INDICATES OPEN SPACE



PARK AVENUE



ZONING DIAGRAM

SCALE: 1/8" = 1'-0"



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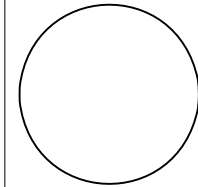
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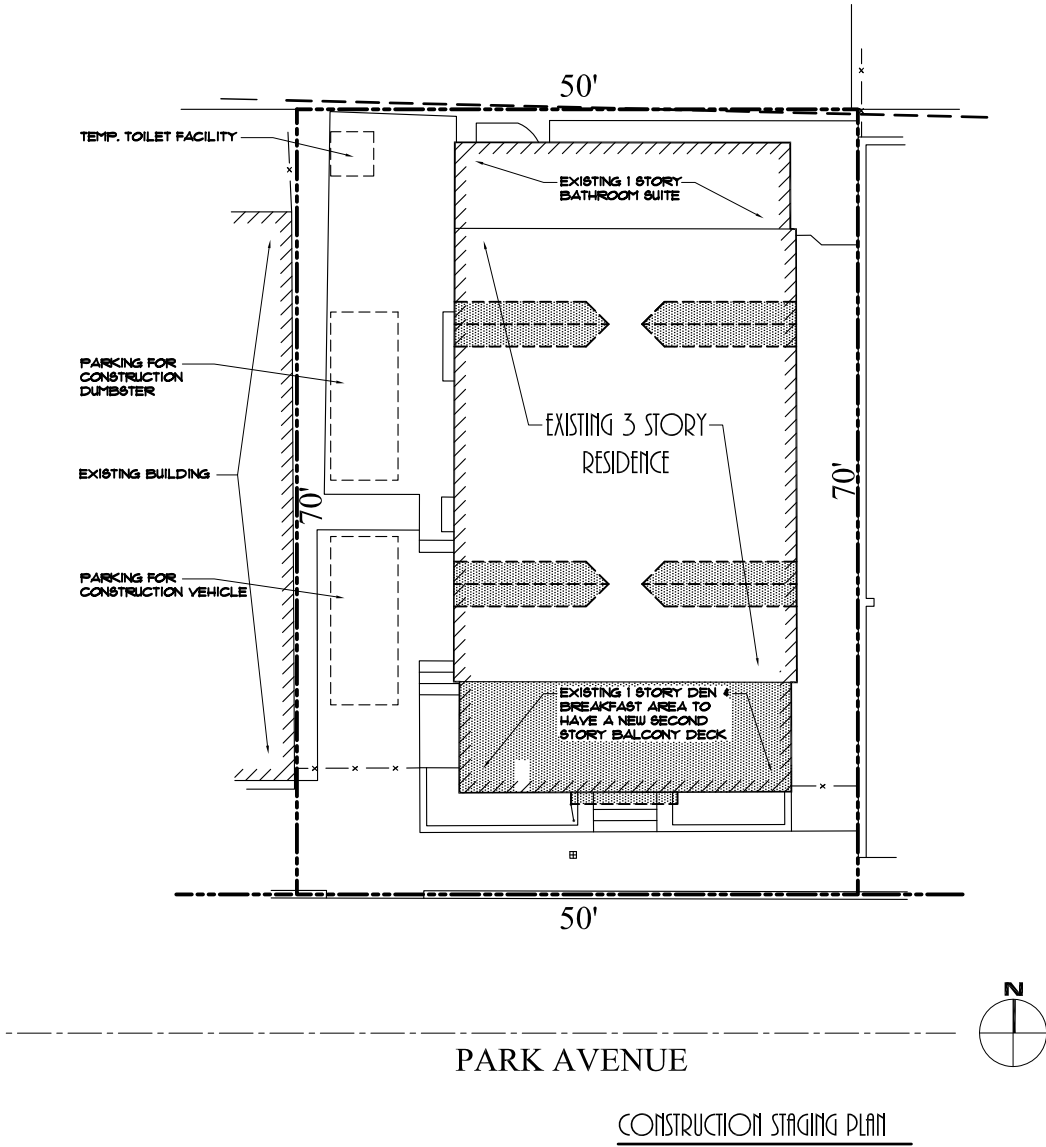
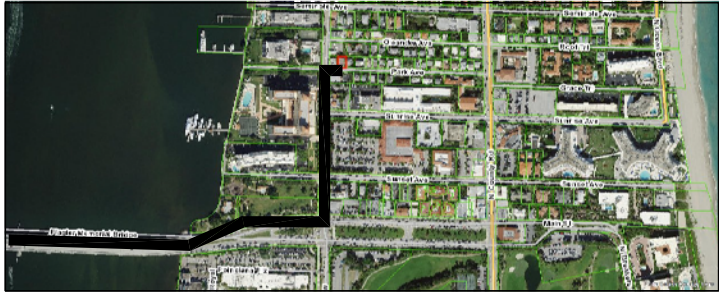
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SHEET: 7

OF: -

TRUCK LOGISTICS PLAN

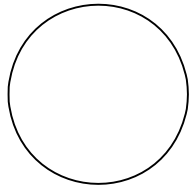


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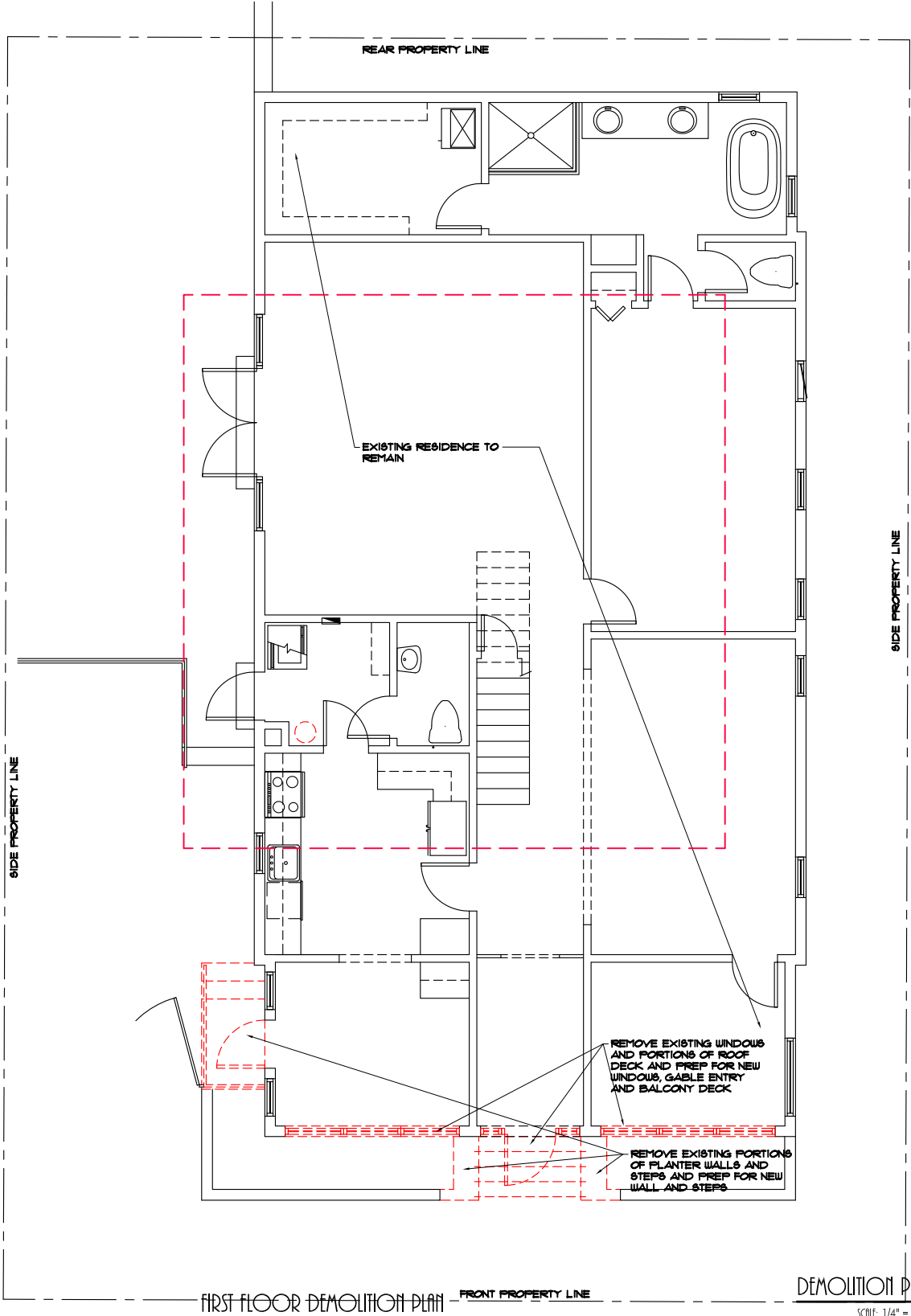
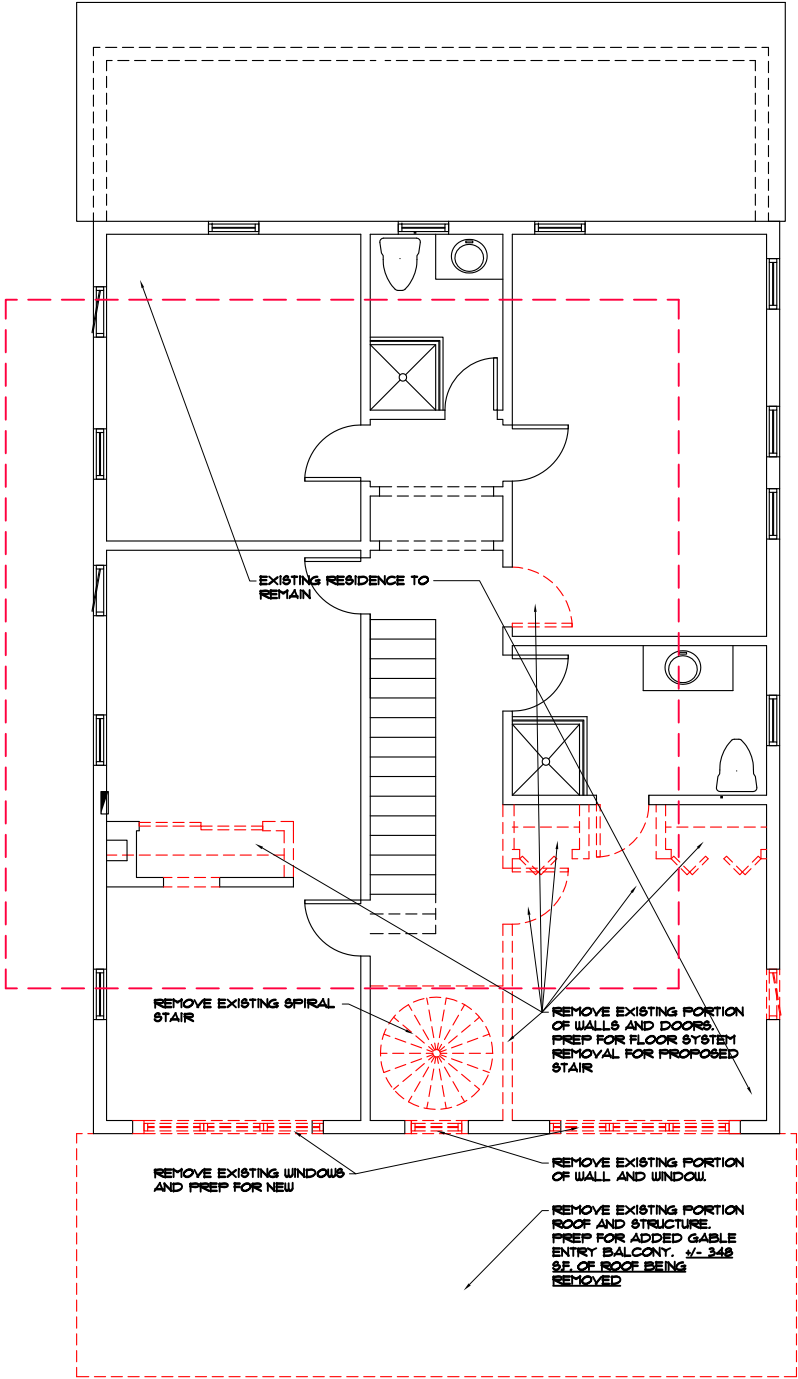
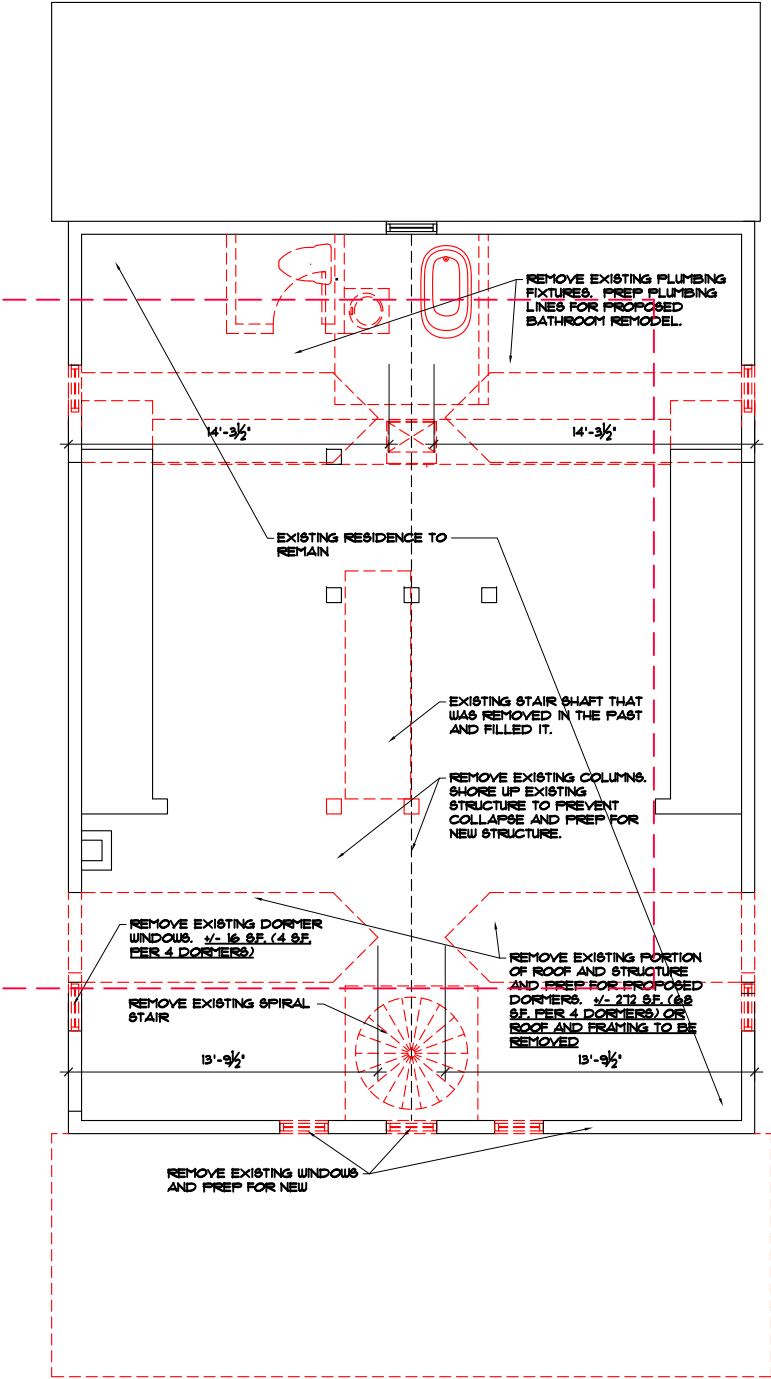
SHEET: 8 OF: -

DEMOLITION NOTES

- 1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.
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DEMOLITION WALL SCHEDULE

SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
=====	EXISTING WALLS TO BE REMOVED	VARIABLE	
=====	EXISTING 4" FRAME PARTITION - TO REMAIN	4", 6" OR 8" NOMINAL	

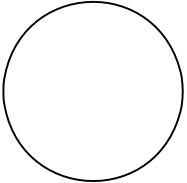


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DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
PALM BEACH, FLORIDA

DESIGNED BY:
JEFFREY D. BRASSEUR - BR 0017698
DRAFTER:
JASON P. DROBOT - BR 94845



JOB #:
DATE:
DESIGNED BY:
DRAFTER:
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DEMOLITION NOTES

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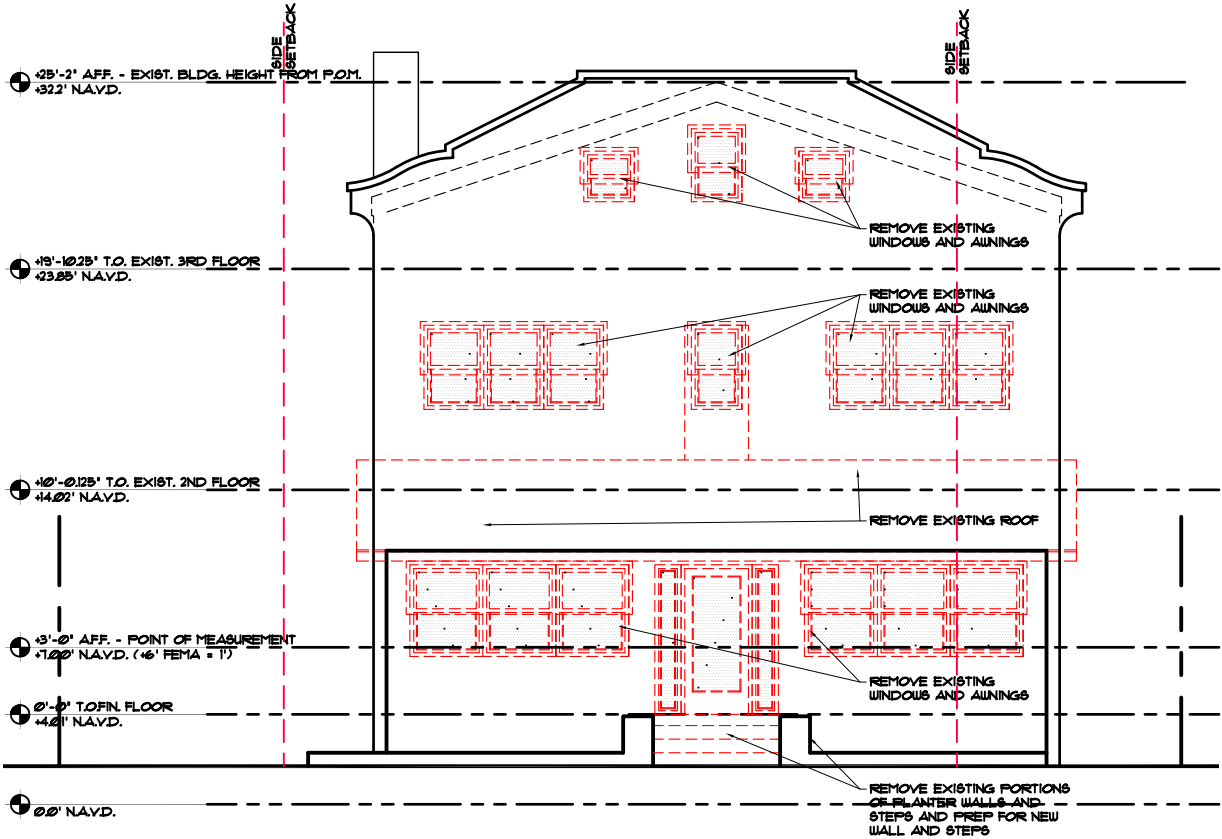
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DEMOLITION WALL SCHEDULE			
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=====	EXISTING 4" FRAME PARTITION - TO REMAIN	4", 6" OR 8" NOMINAL	



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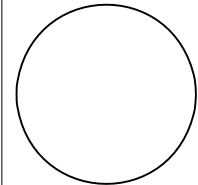
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A REMODEL AND ADDITION TO:
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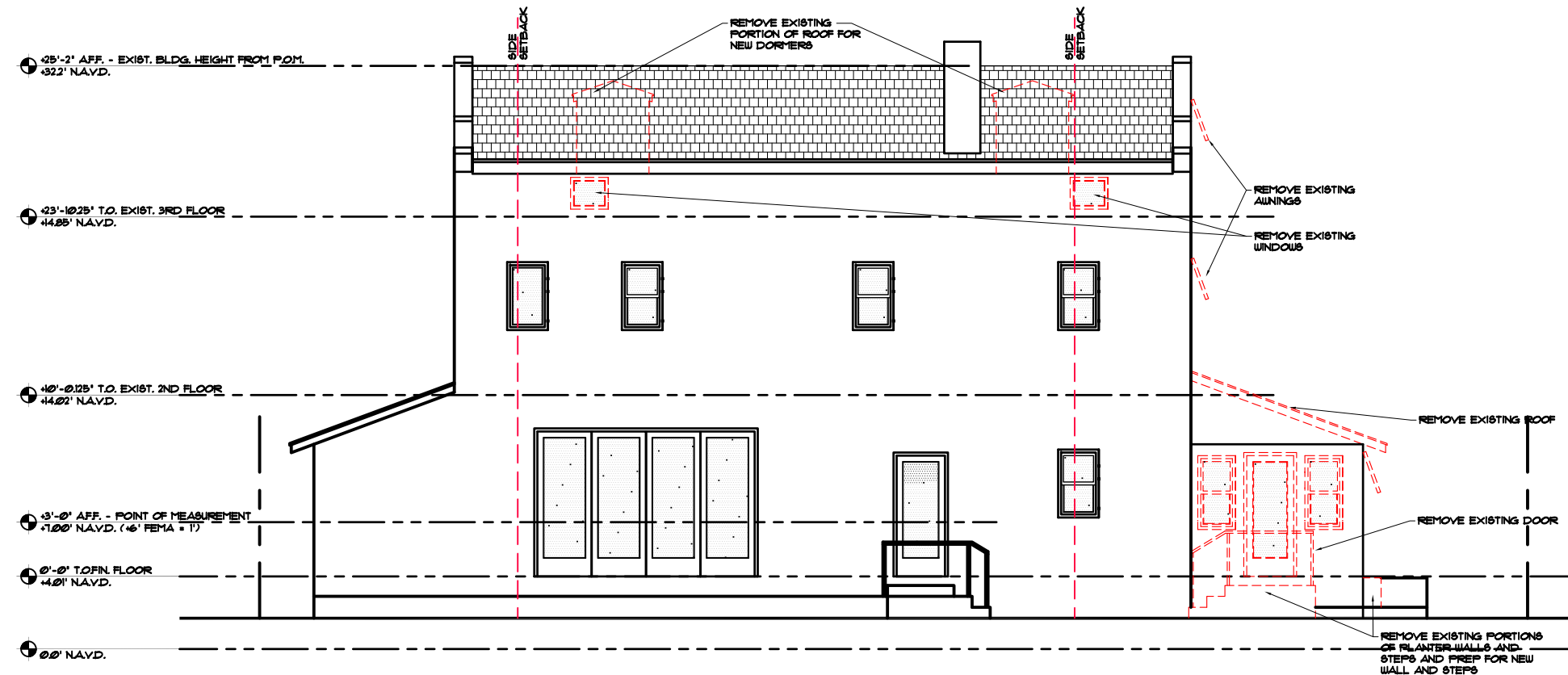


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DEMOLITION ELEVATIONS
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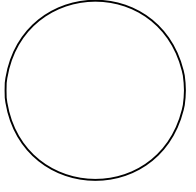


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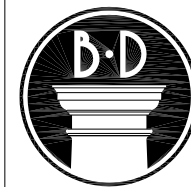
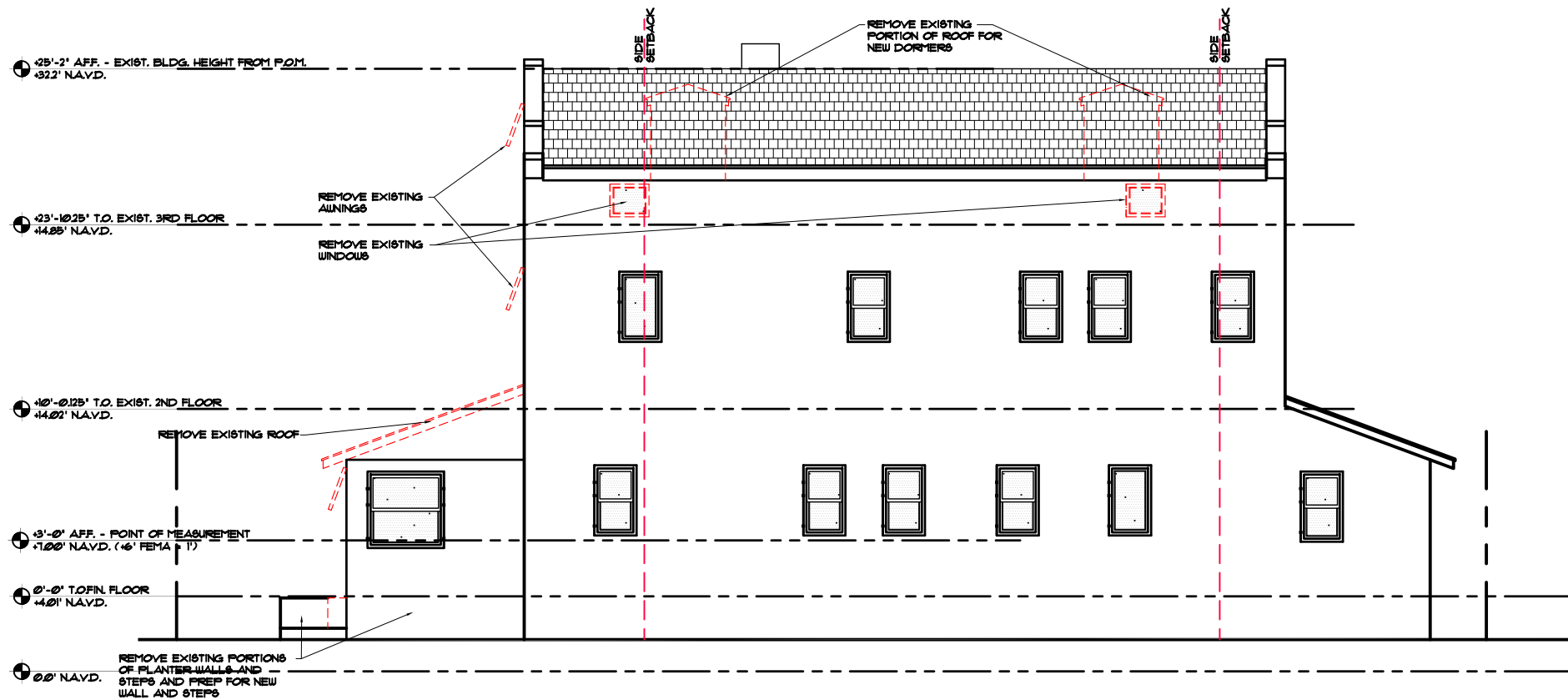
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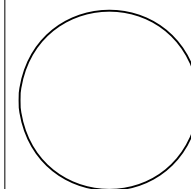
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DEMOLITION NOTES

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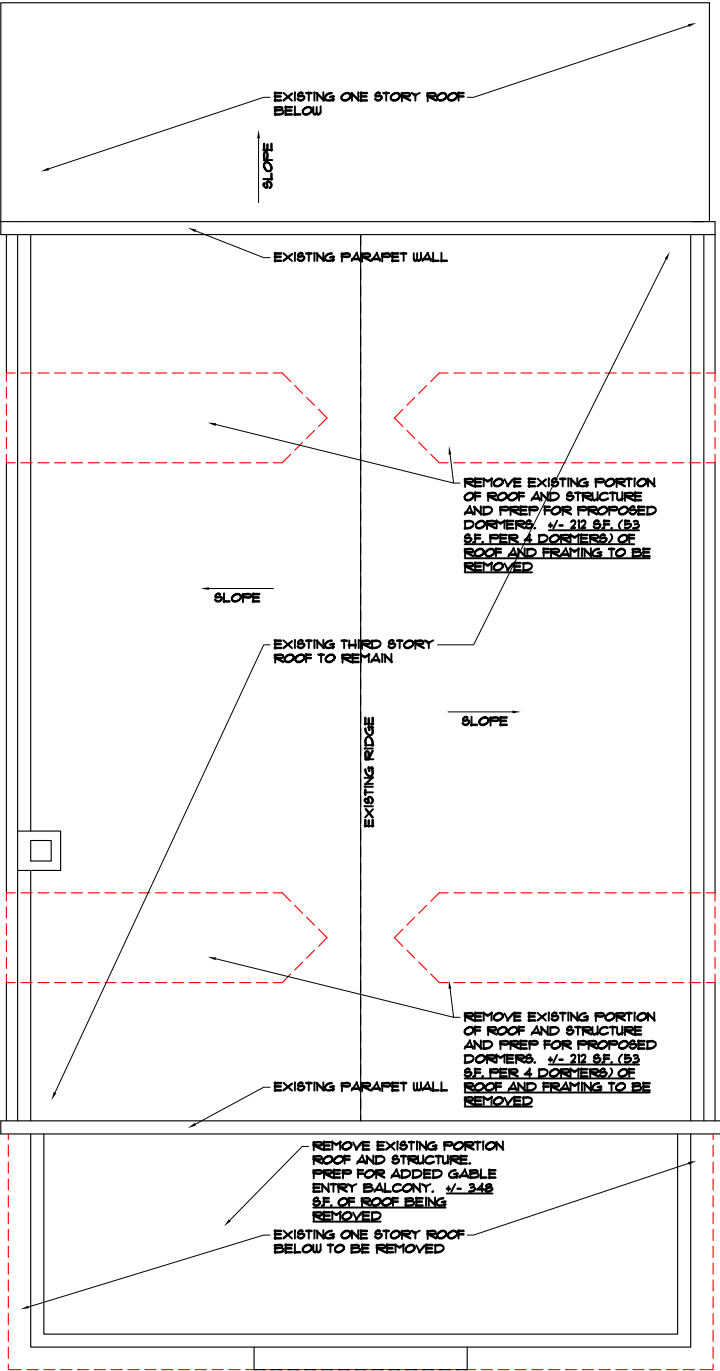
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=====	EXISTING 4" FRAME PARTITION - TO REMAIN	4", 6" OR 8" NOMINAL	



DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"

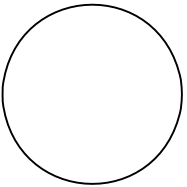


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PALM BEACH, FLORIDA

SERIALIZED BY:
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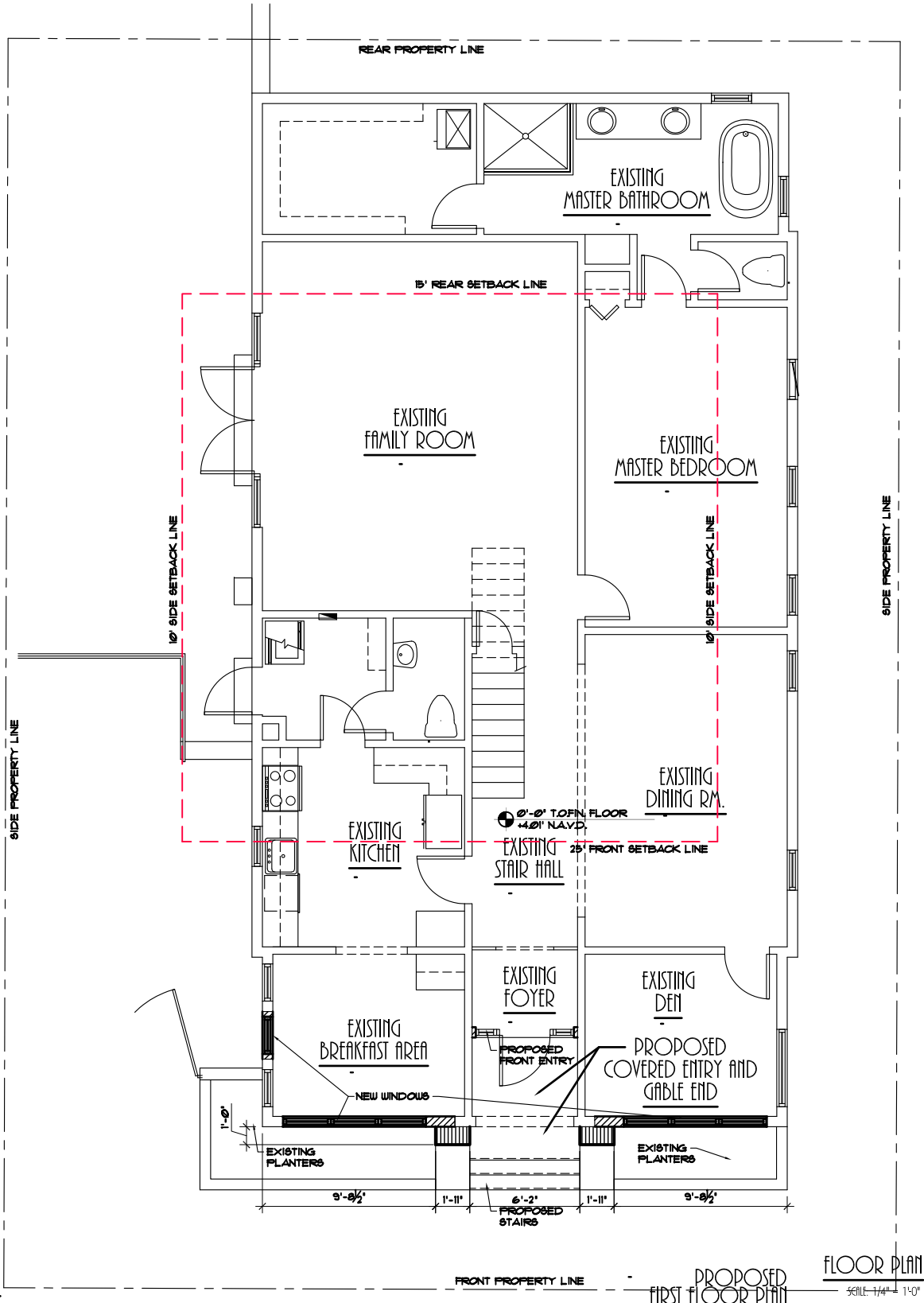
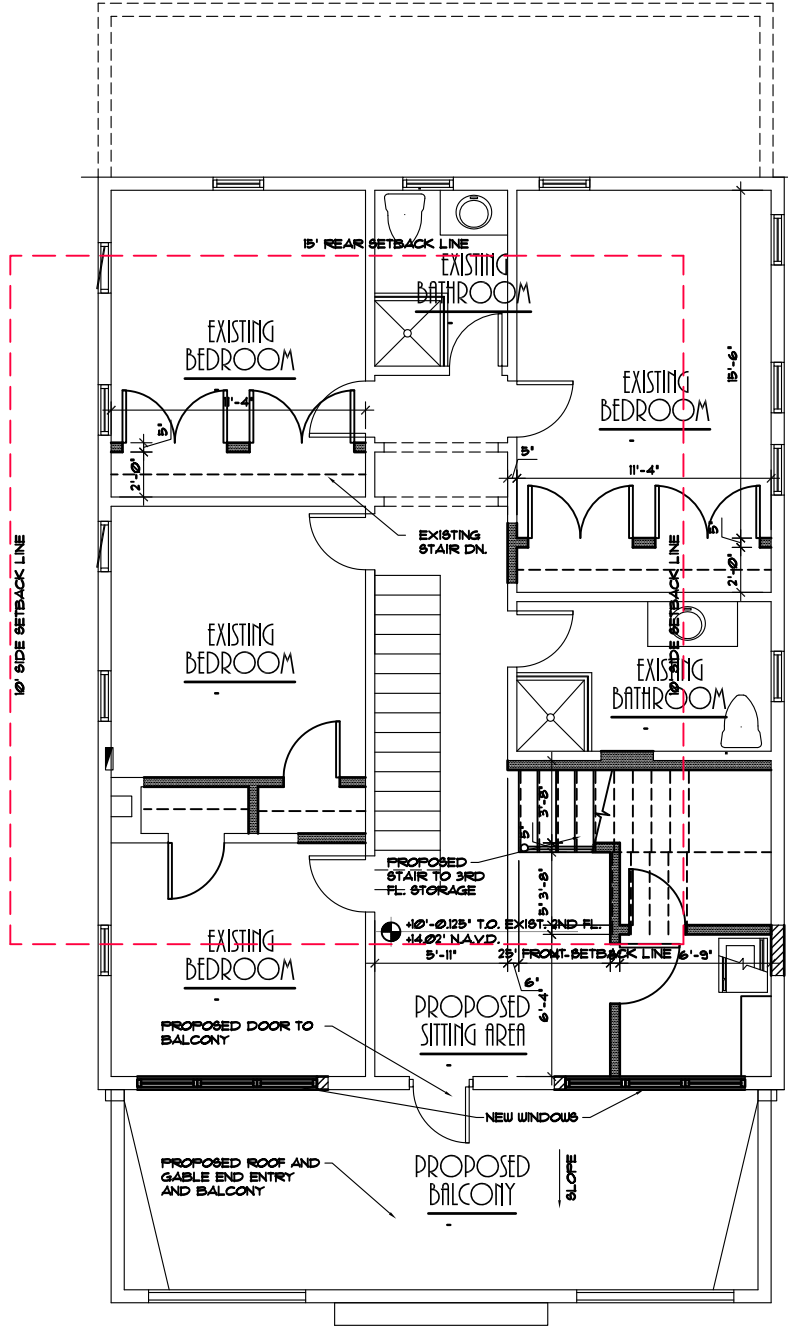
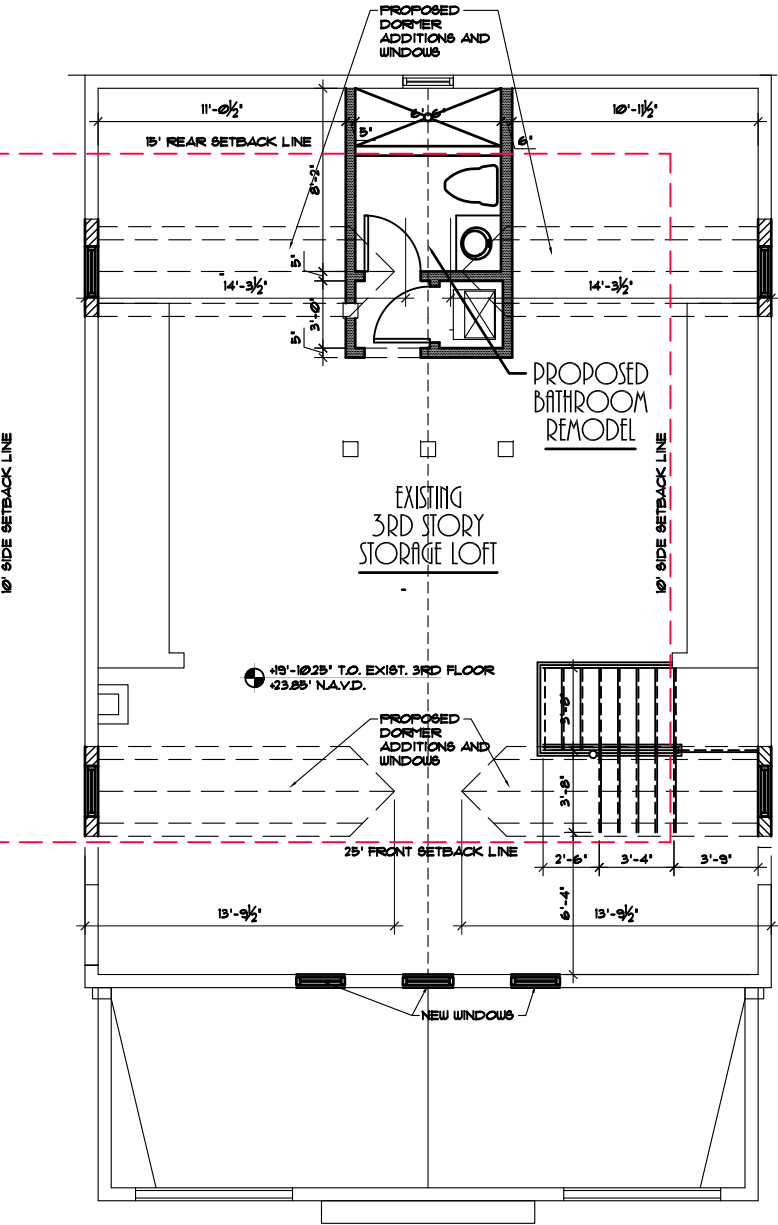


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SHEET: 13 OF: -

WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	5/8" G.W.B. ON R 42 FOIL INSUL. & P.T. D2 WD. FURRING @ 16" O.C. ON 8" C.M.U.	8" NOMINAL	
	5/8" G.W.B. (INTERIOR SIDE) ON P.T. WD. 2X STUDS AT 16" O.C. W/351 INSULATION W/ 5/8" EXT GRADE PLYWOOD (EXTERIOR SIDE) ON P.B. MTL. LATH WITH STUCCO FINISH	8" NOMINAL	
	EXISTING 4" FRAME PARTITION - TO REMAIN	4", 6" OR 8" NOMINAL	
	5/8" G.W.B. BOTH SIDES, ON 2X4 OR 2X6 STL. STUD FRAMING @ 24" O.C. W/ SOUND ATTEN. BATTS	4" OR 6" NOMINAL	SOUND ATTEN BATTS WHERE SHOWN

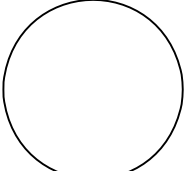


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JASON P. DROBOT - AR 94845

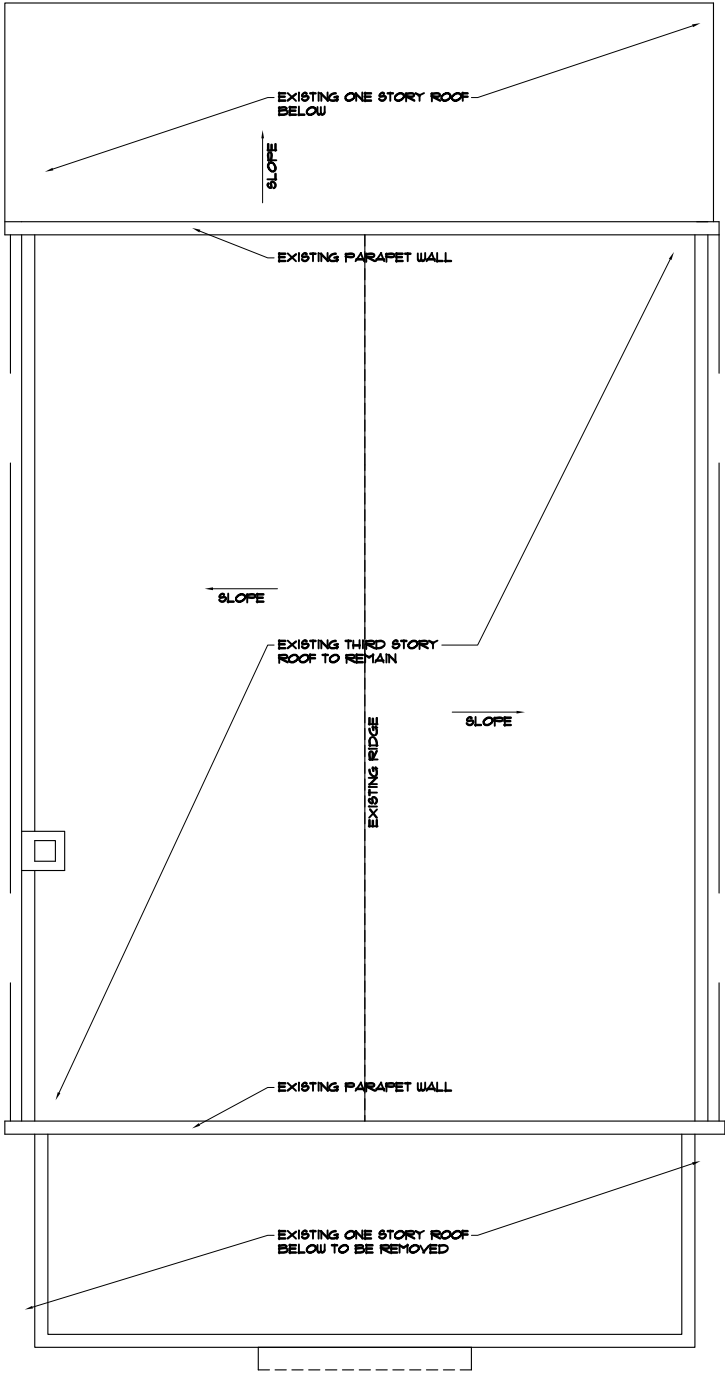


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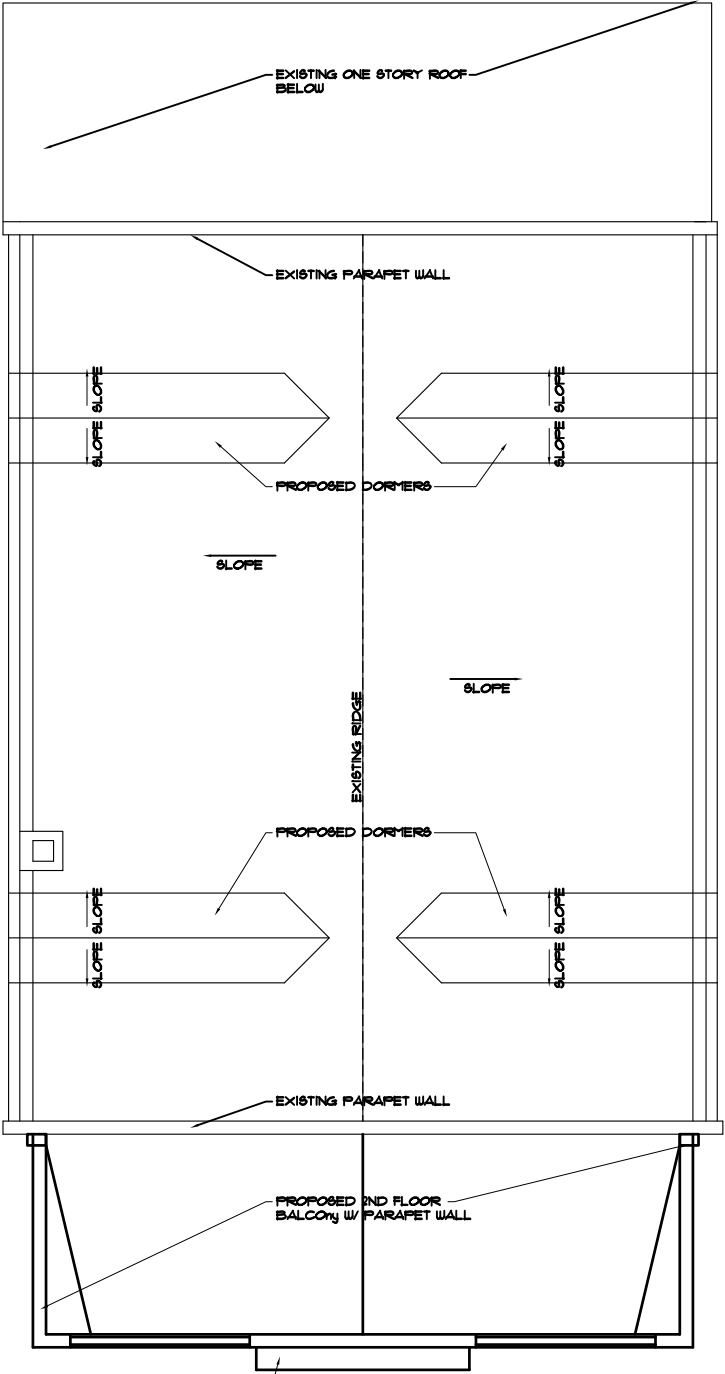
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SHEET: 14 OF: -



EXISTING
ROOF PLAN



PROPOSED
ROOF PLAN

ROOF PLAN
SCALE: 1/4" = 1'-0"



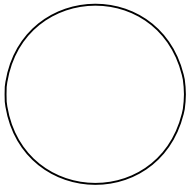
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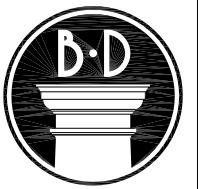
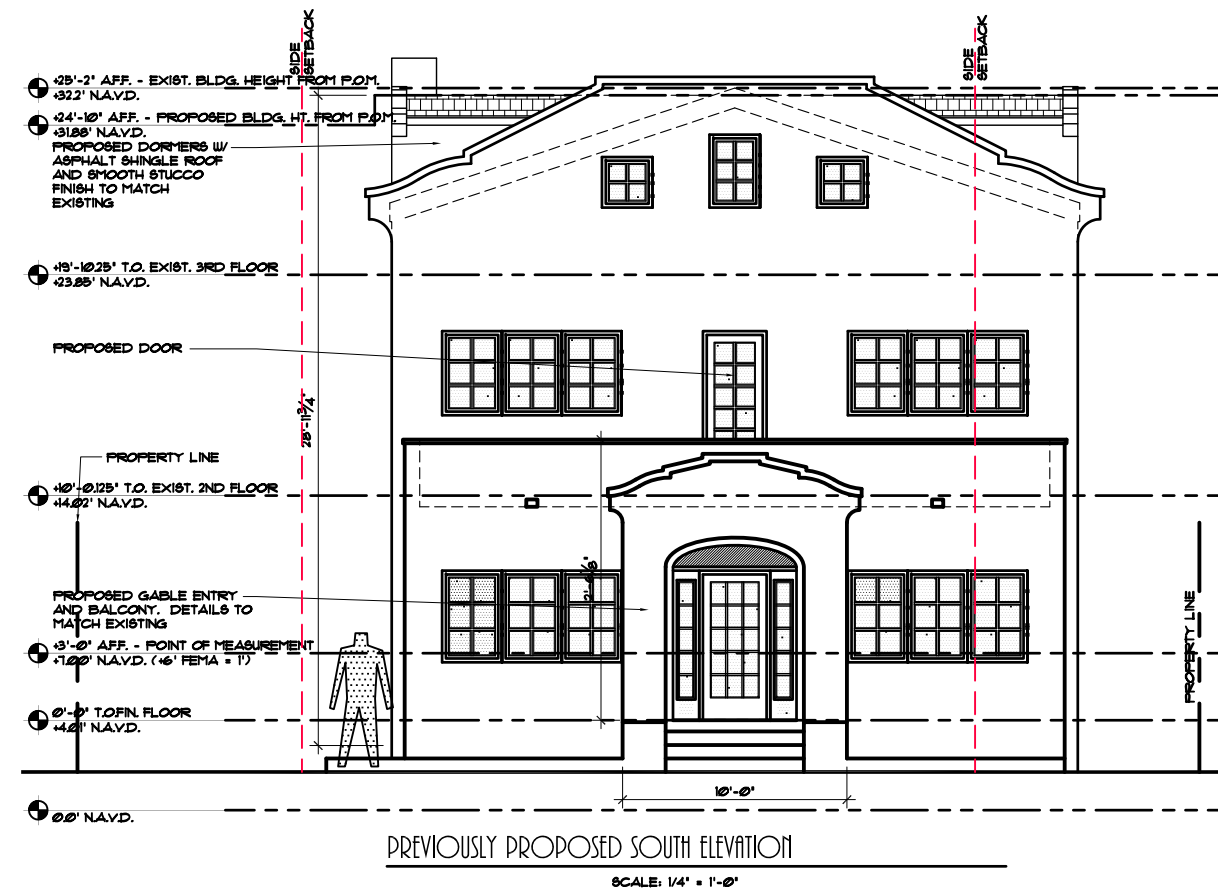
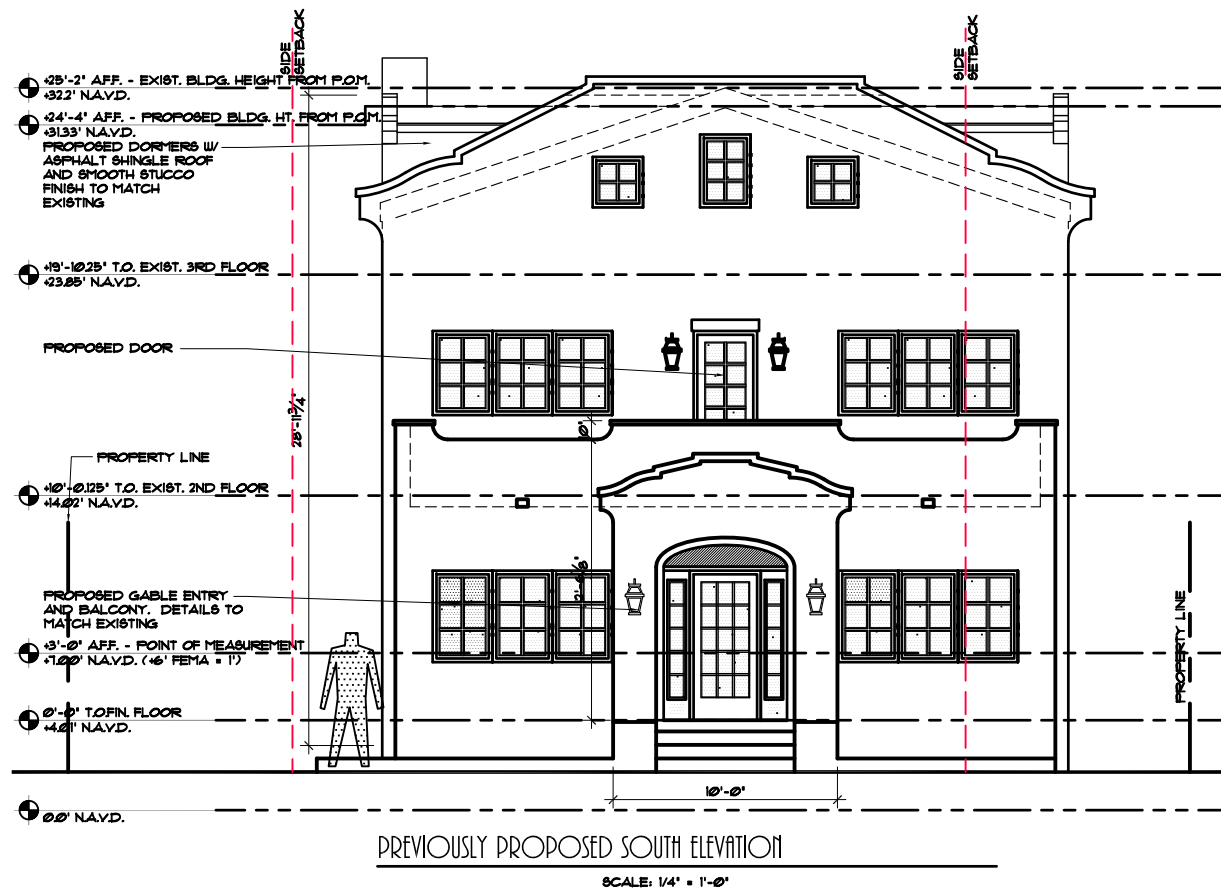
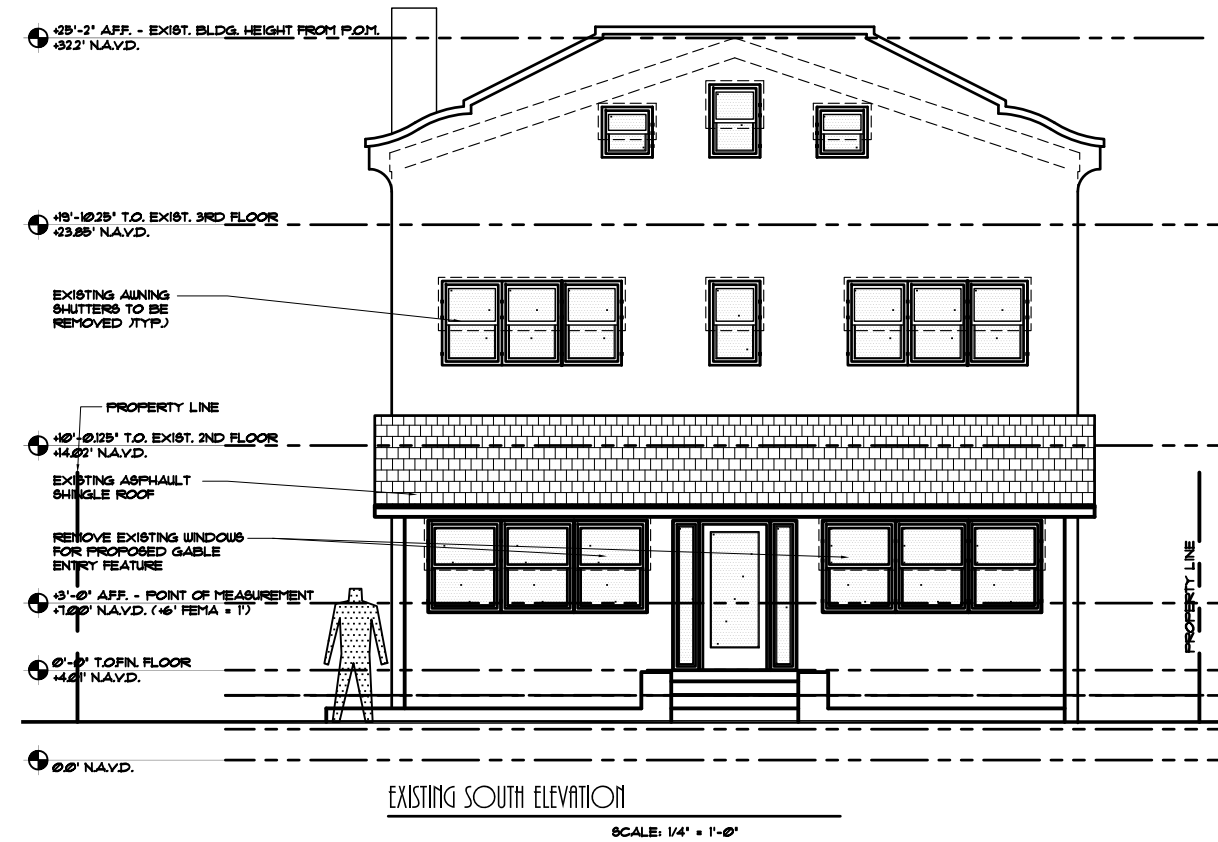
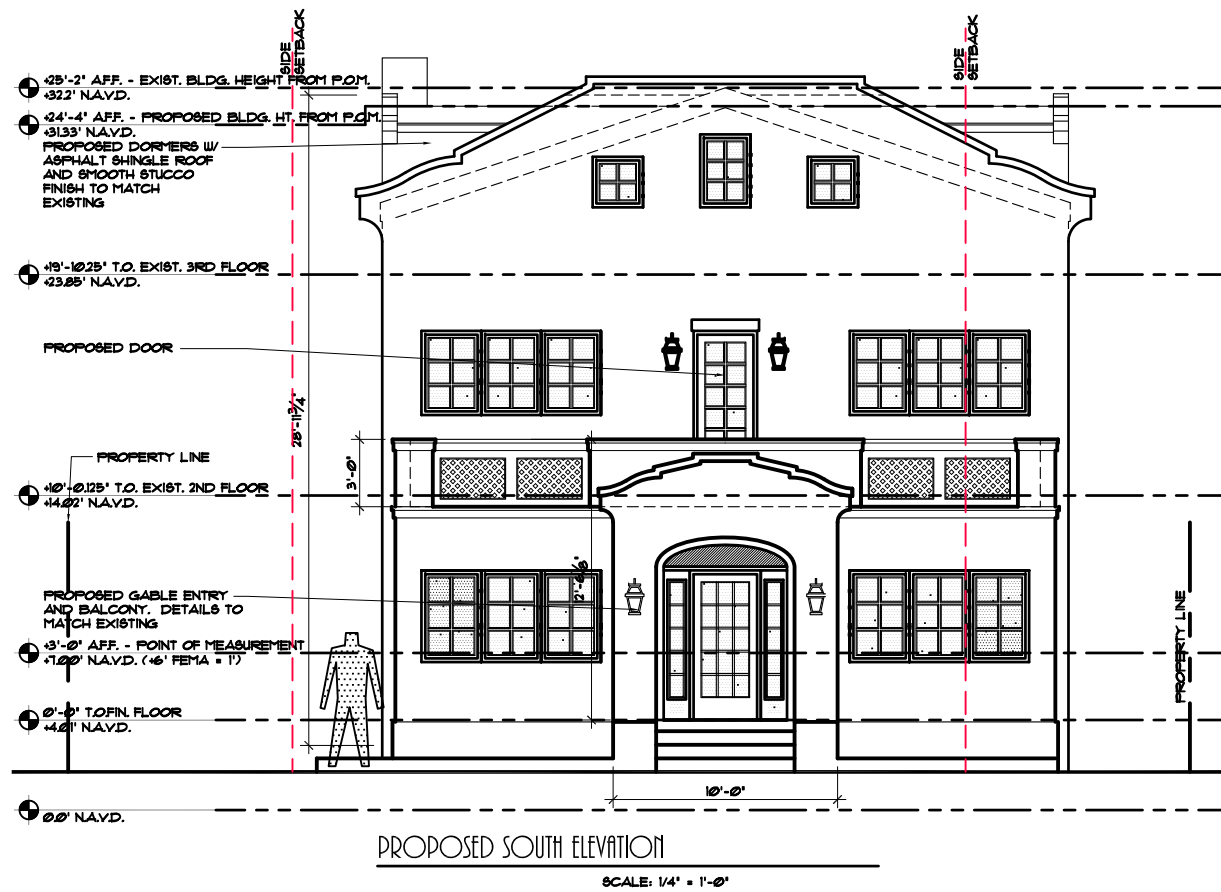
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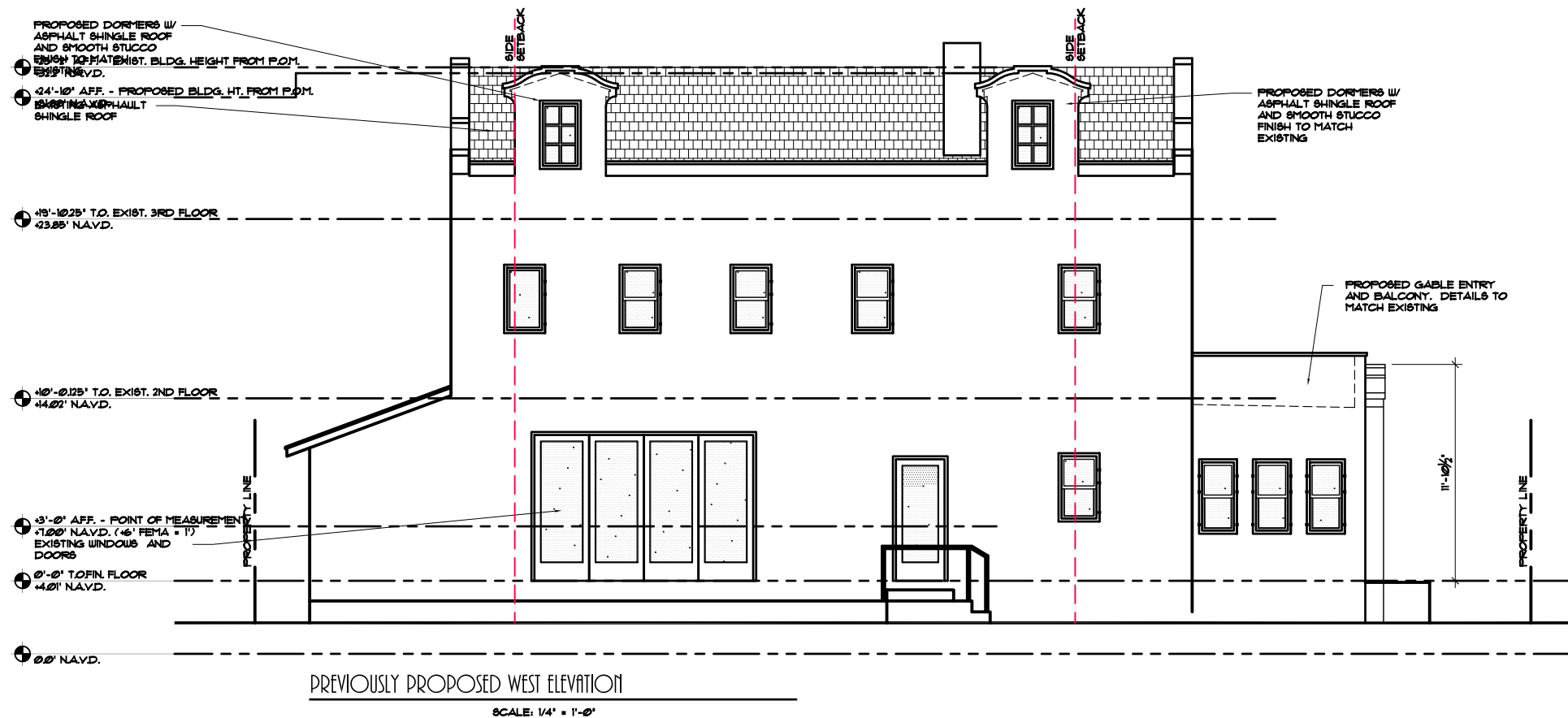
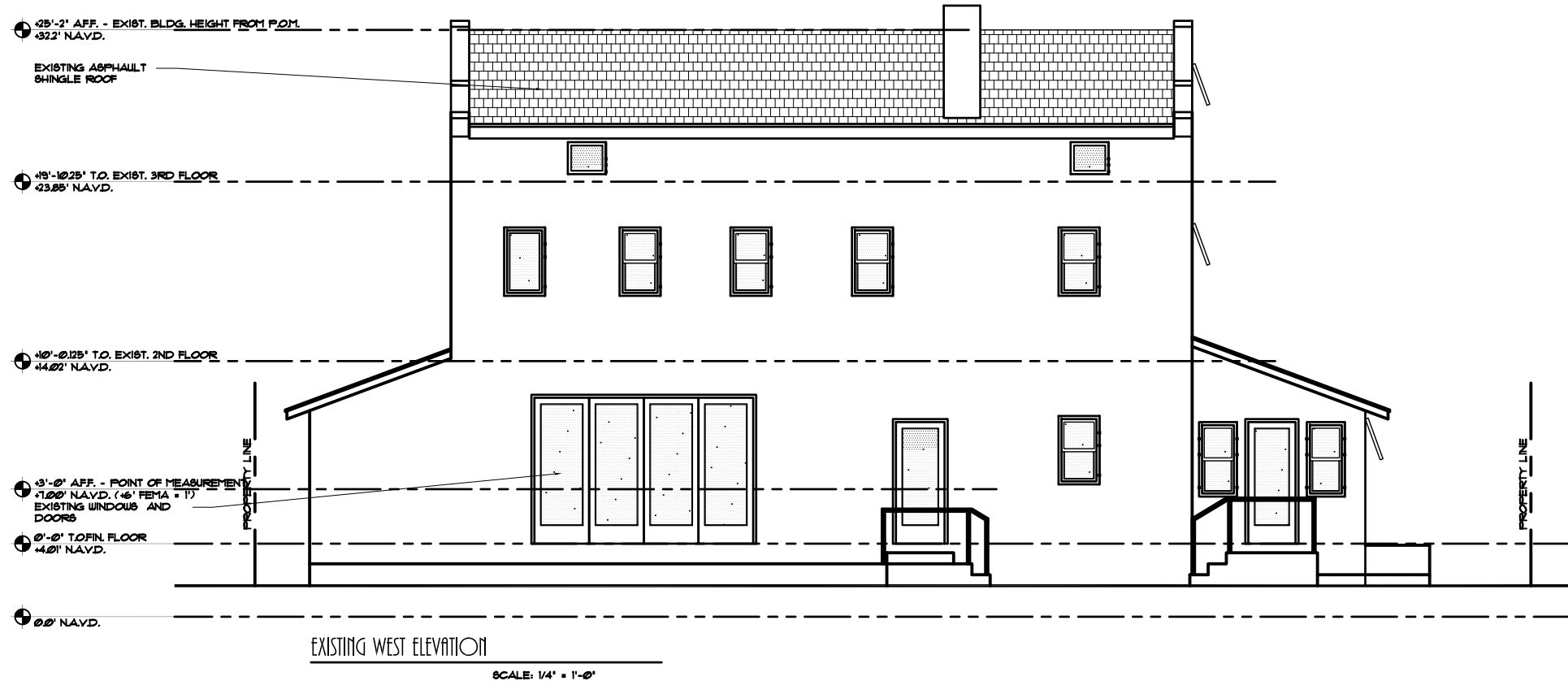
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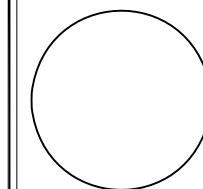
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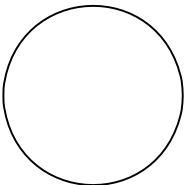


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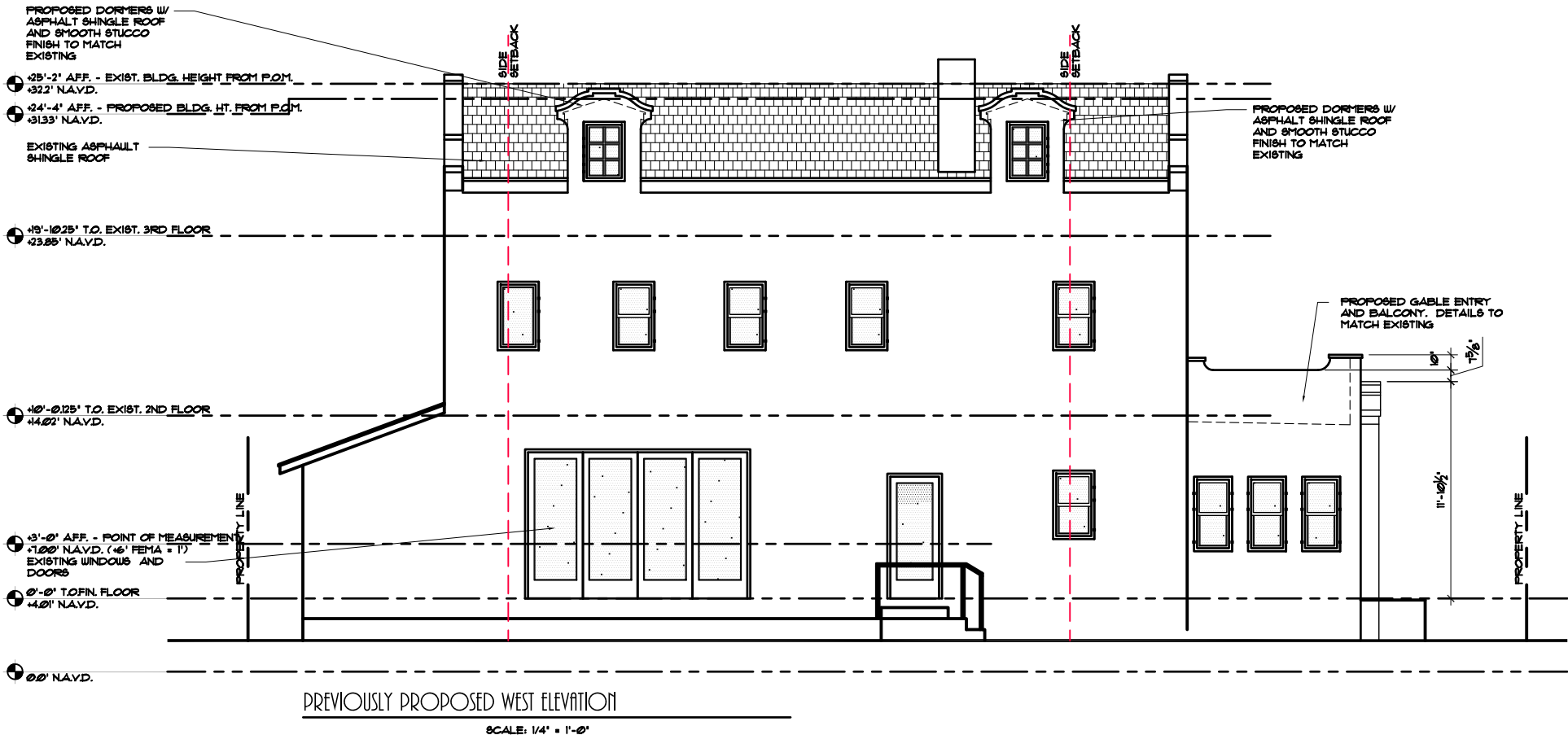
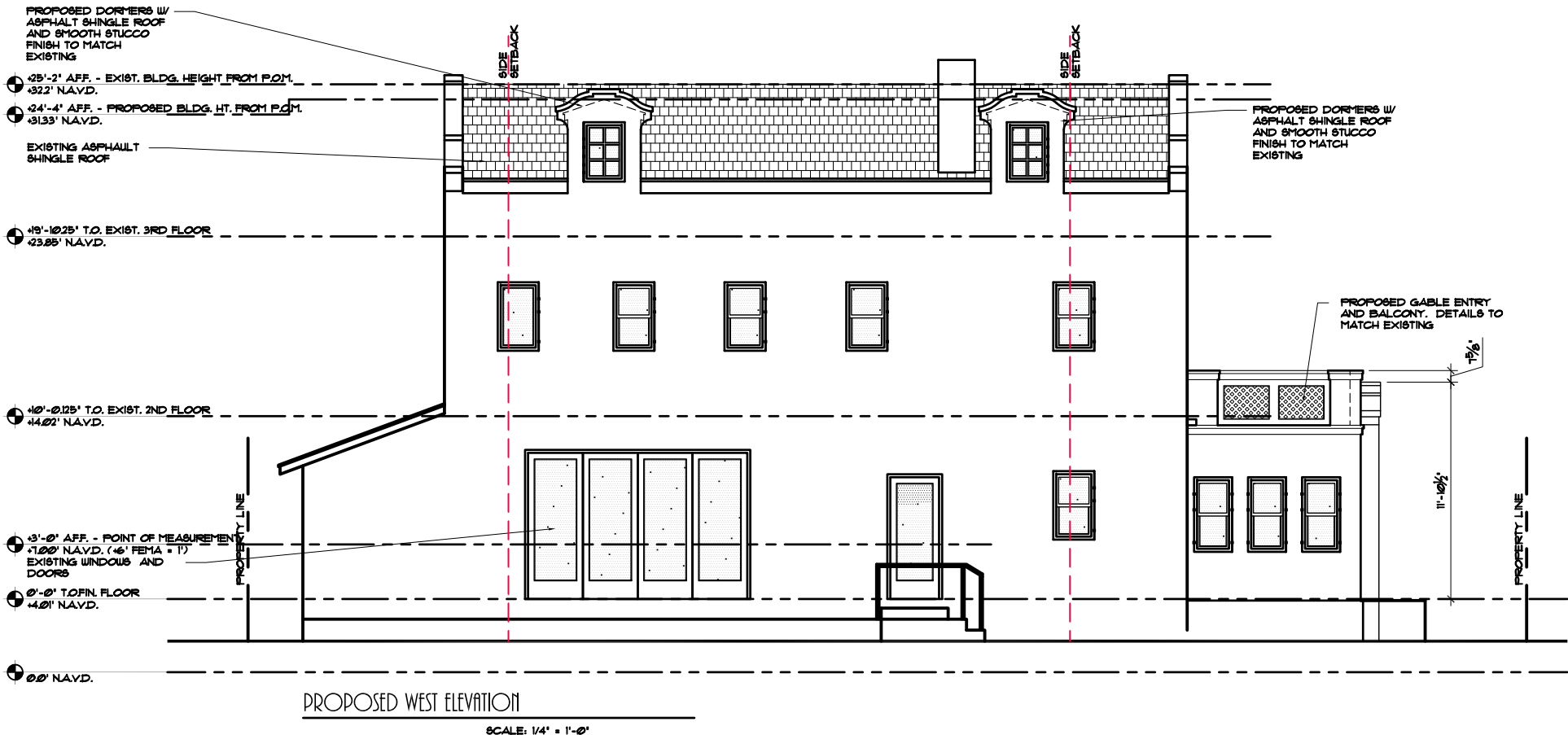


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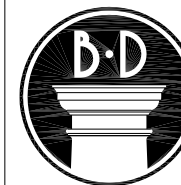
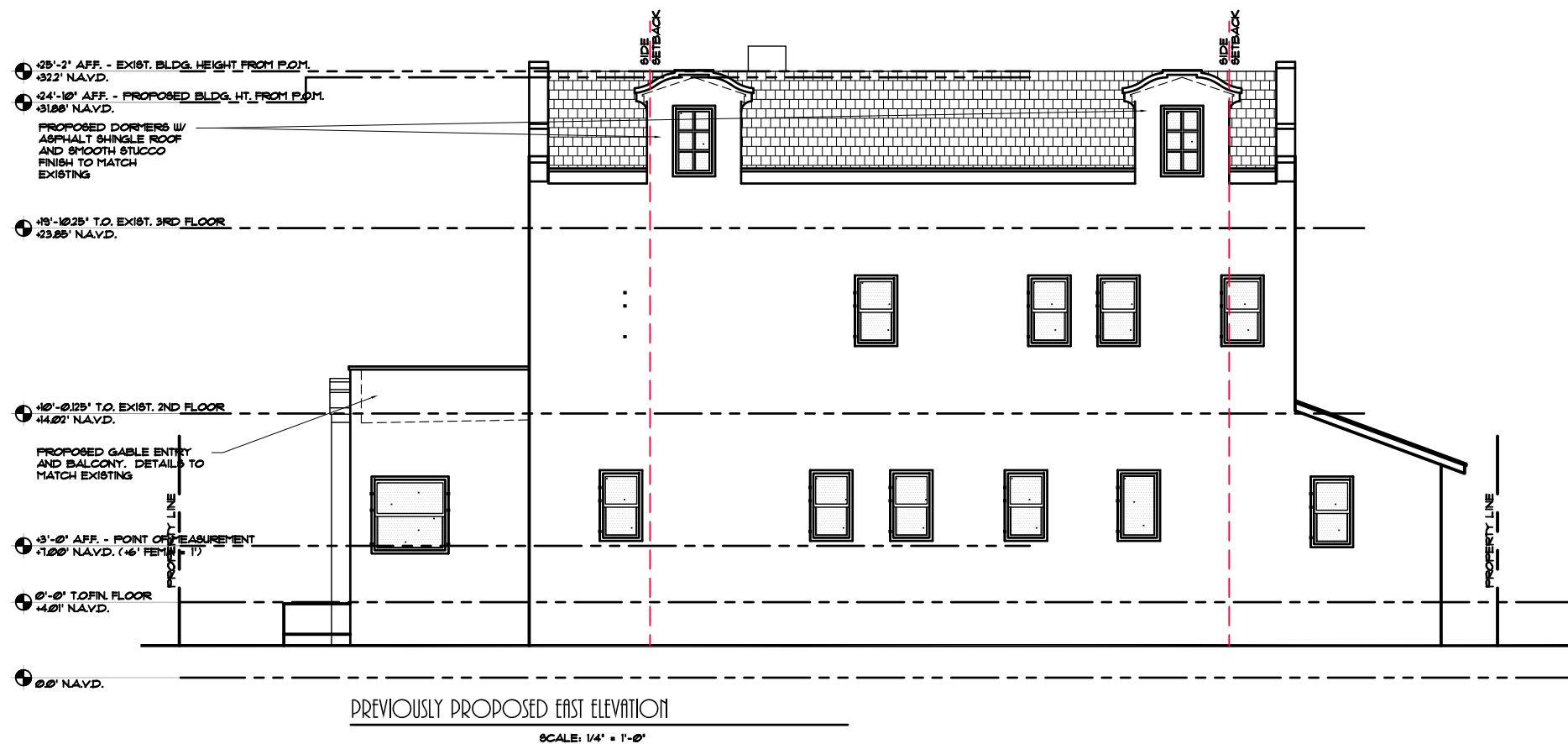
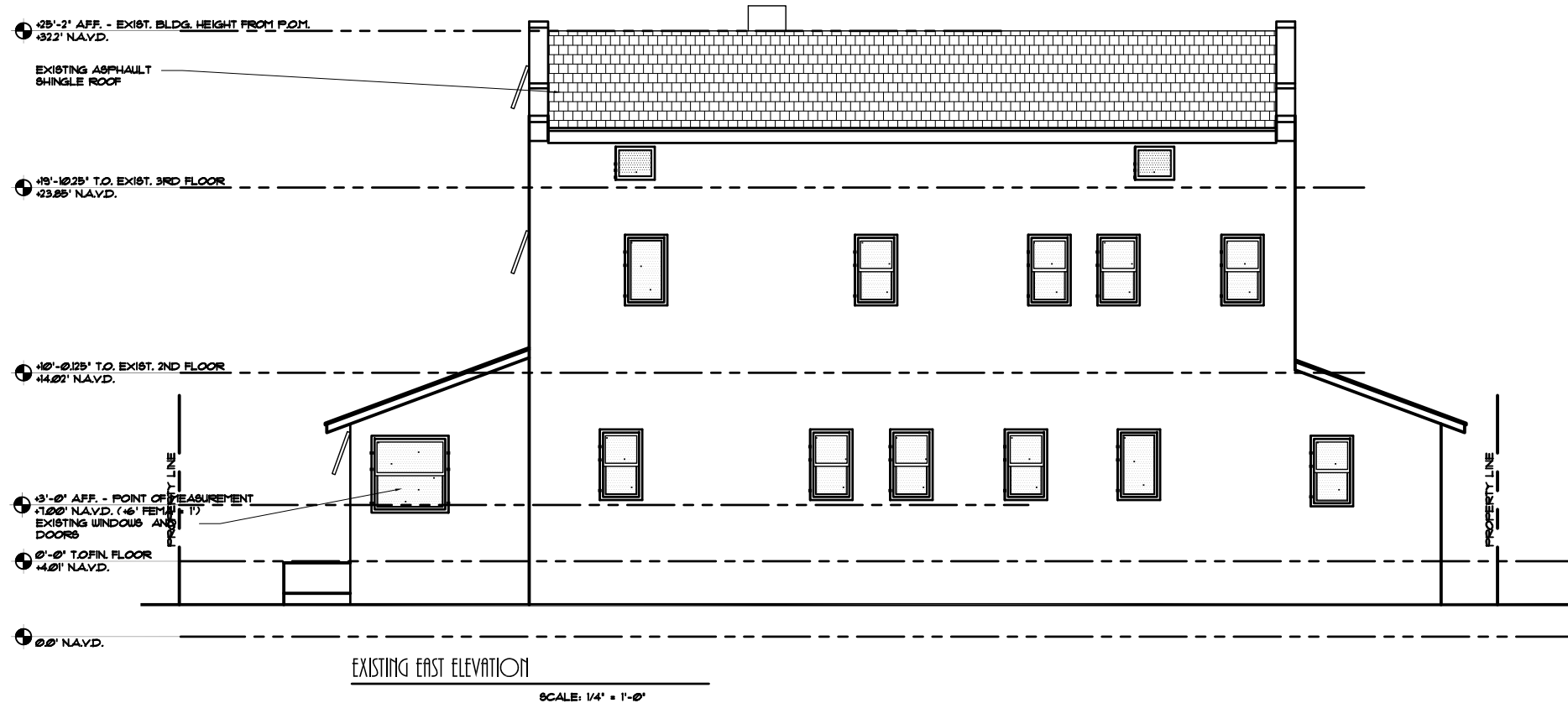
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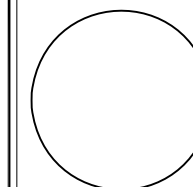
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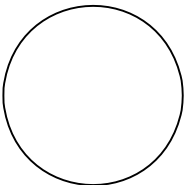


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PALM BEACH, FLORIDA

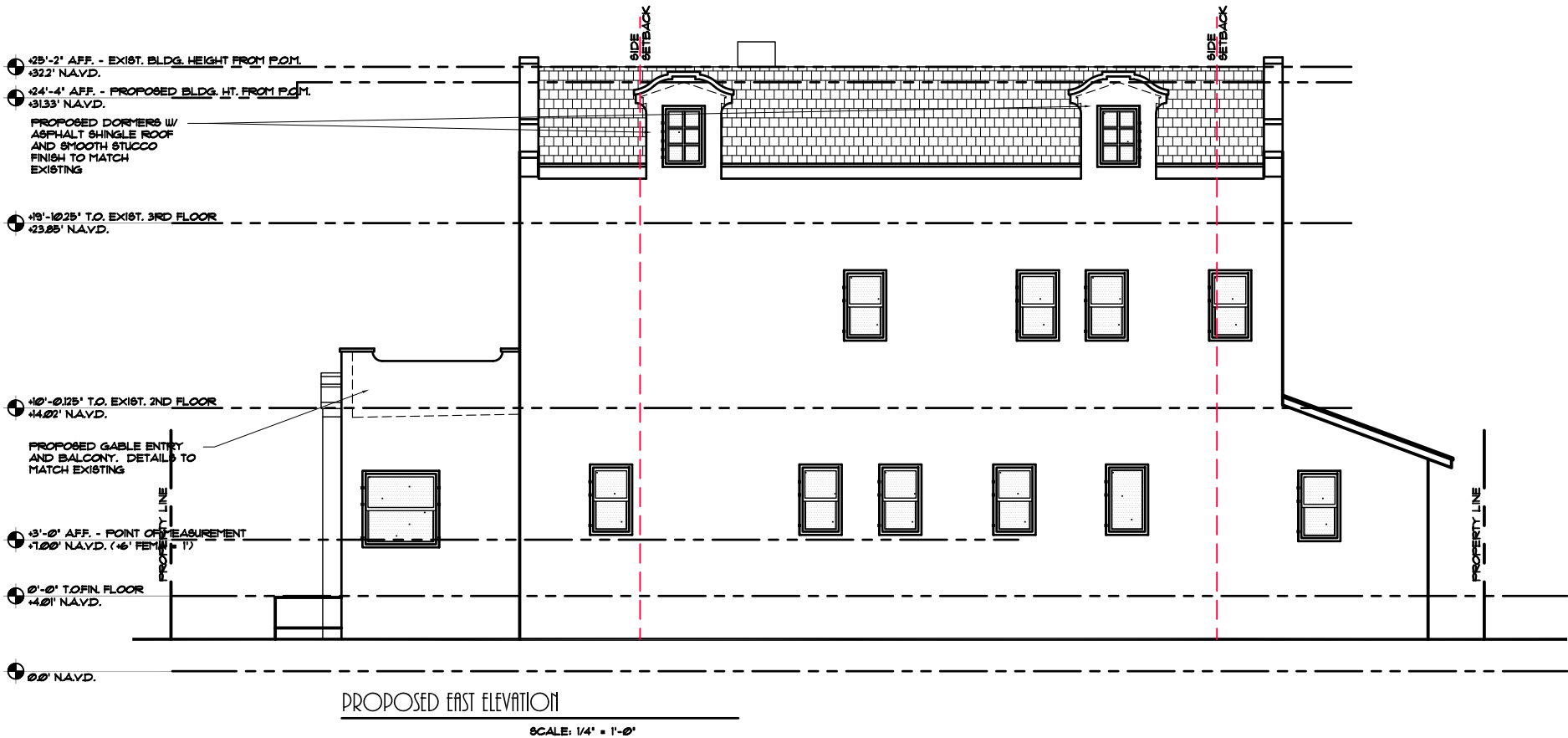
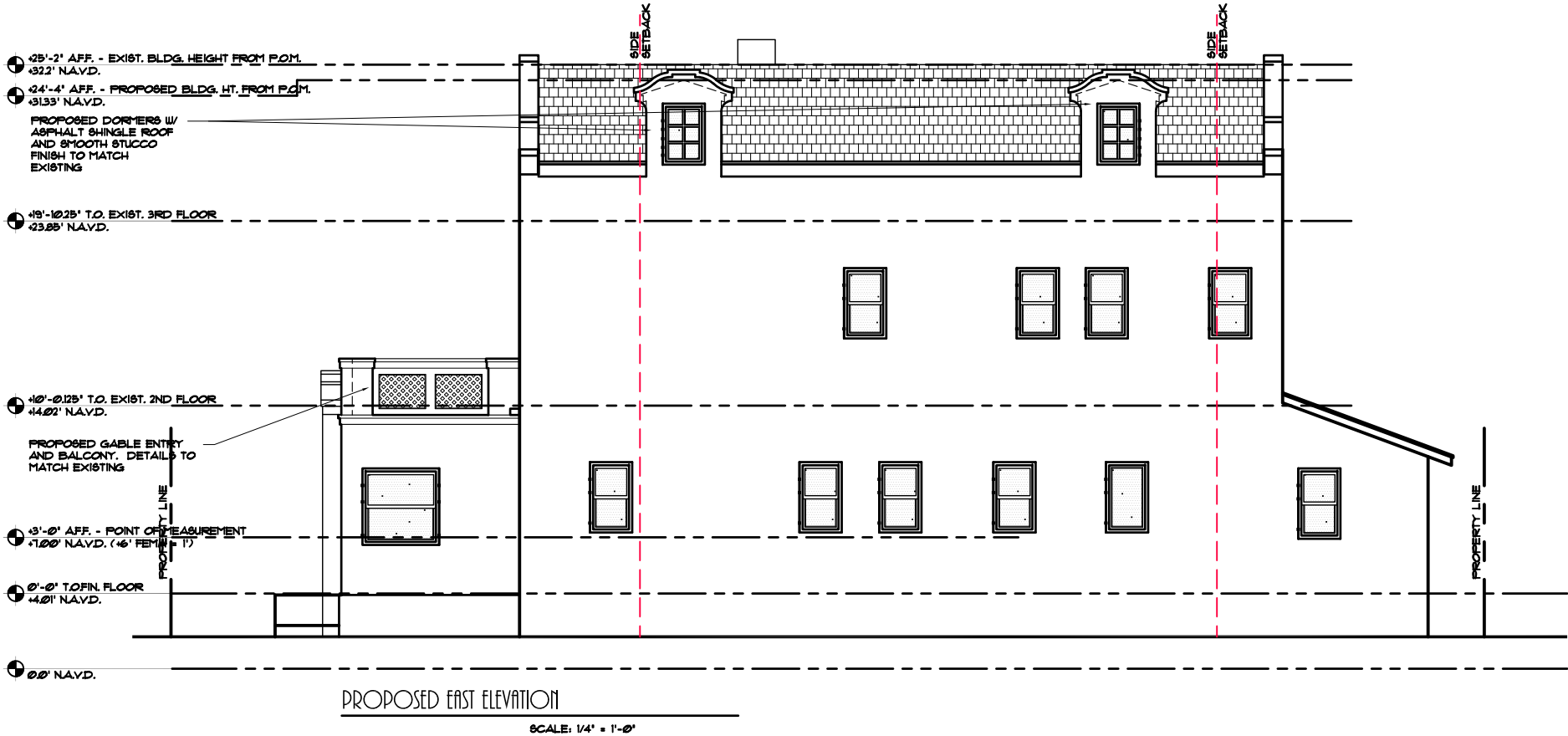
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☐ JASON P. DROBOT - BR 94845



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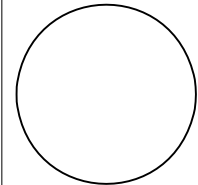
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A REMODEL AND ADDITION TO:
269 PARK AVENUE

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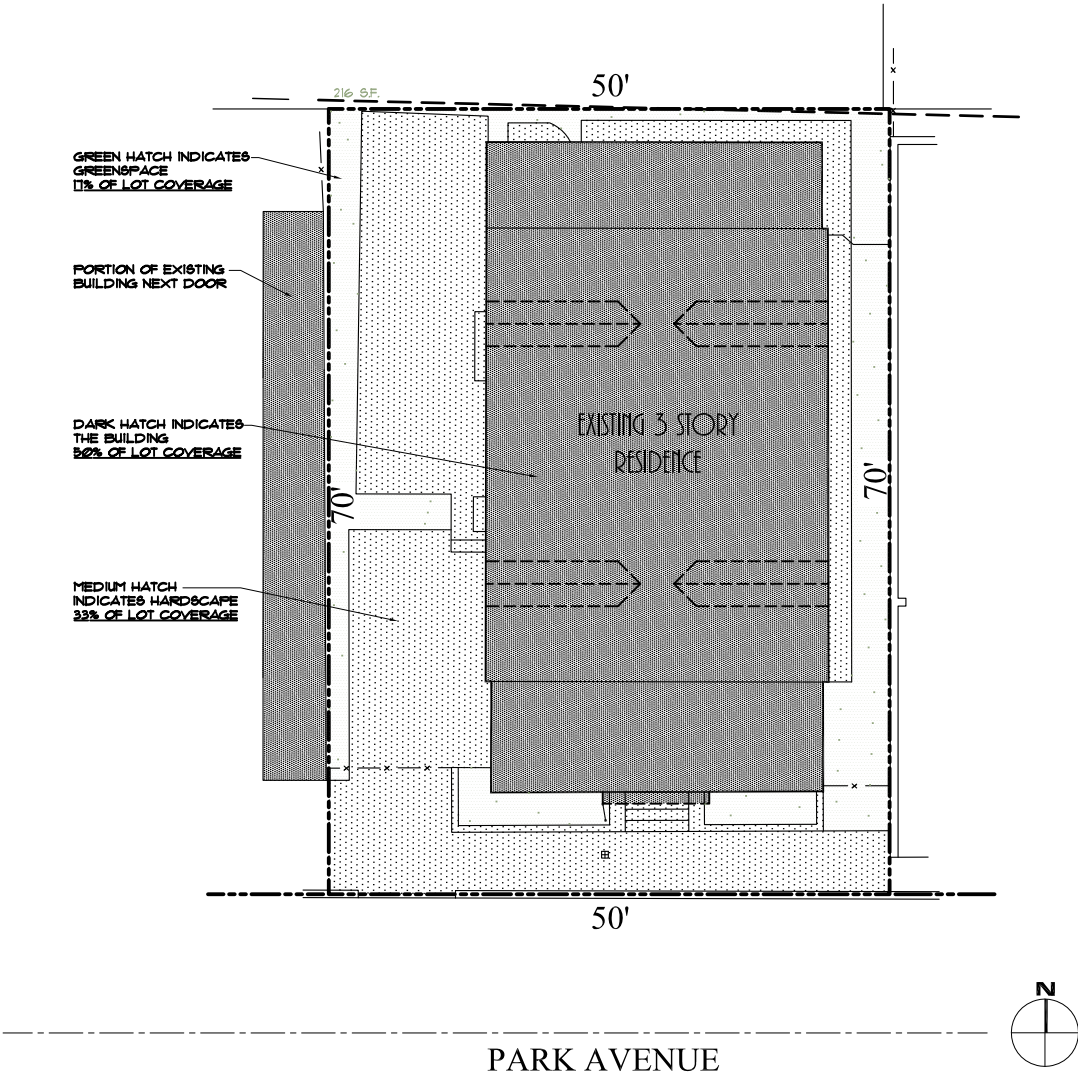
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SHEET: 21 OF: -



OPEN SPACE DIAGRAM
SCALE: 1/8" = 1'-0"

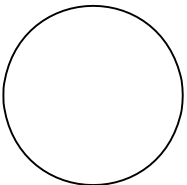


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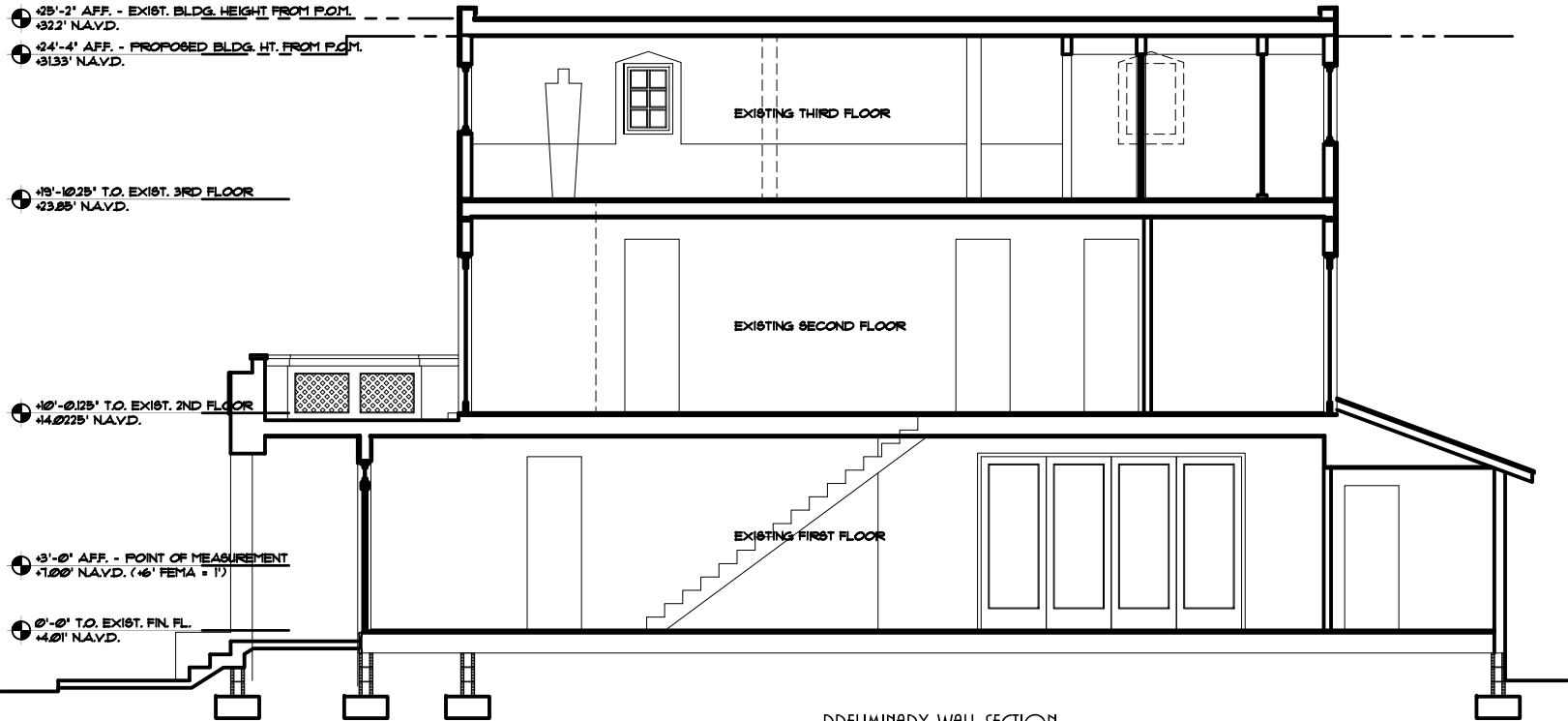
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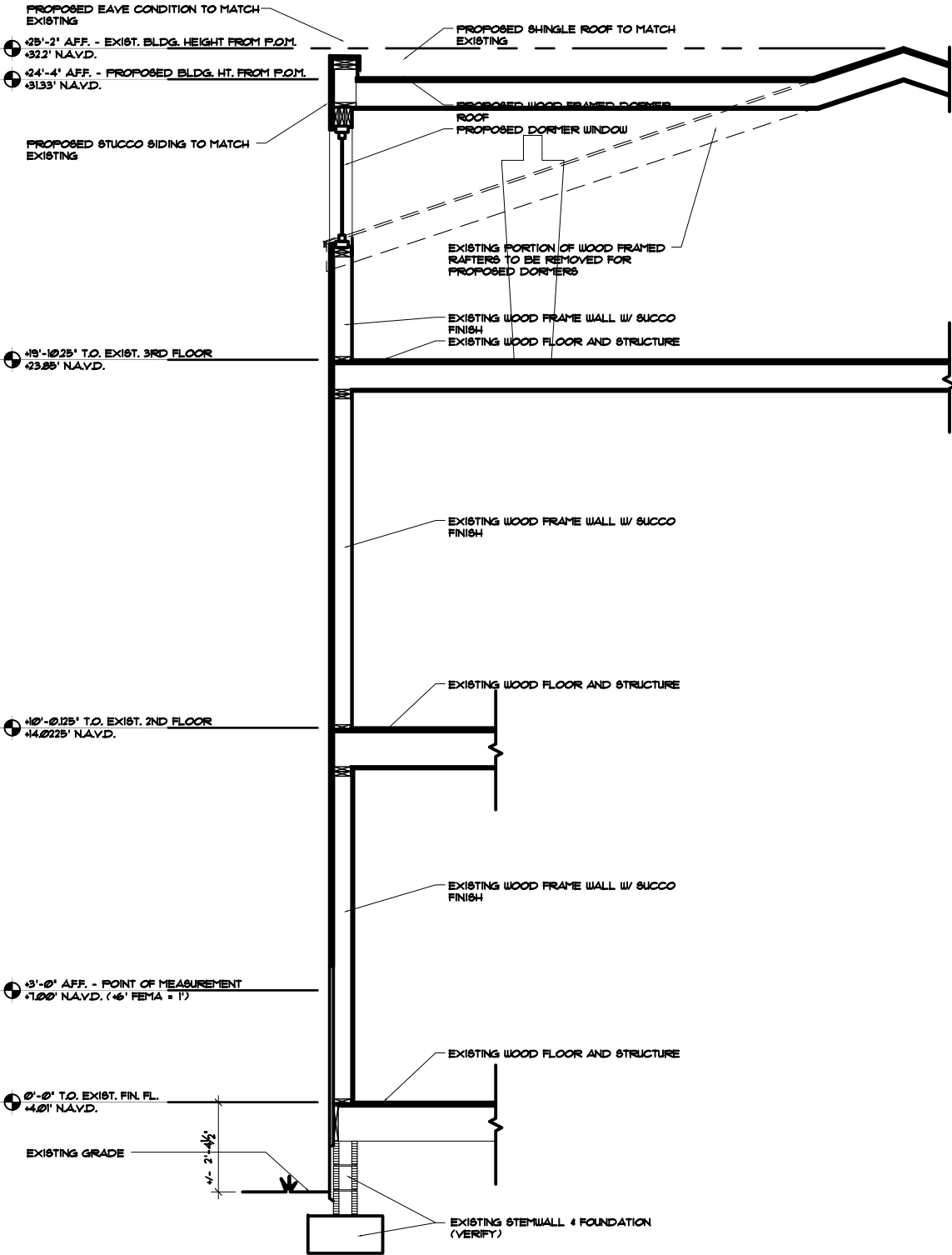
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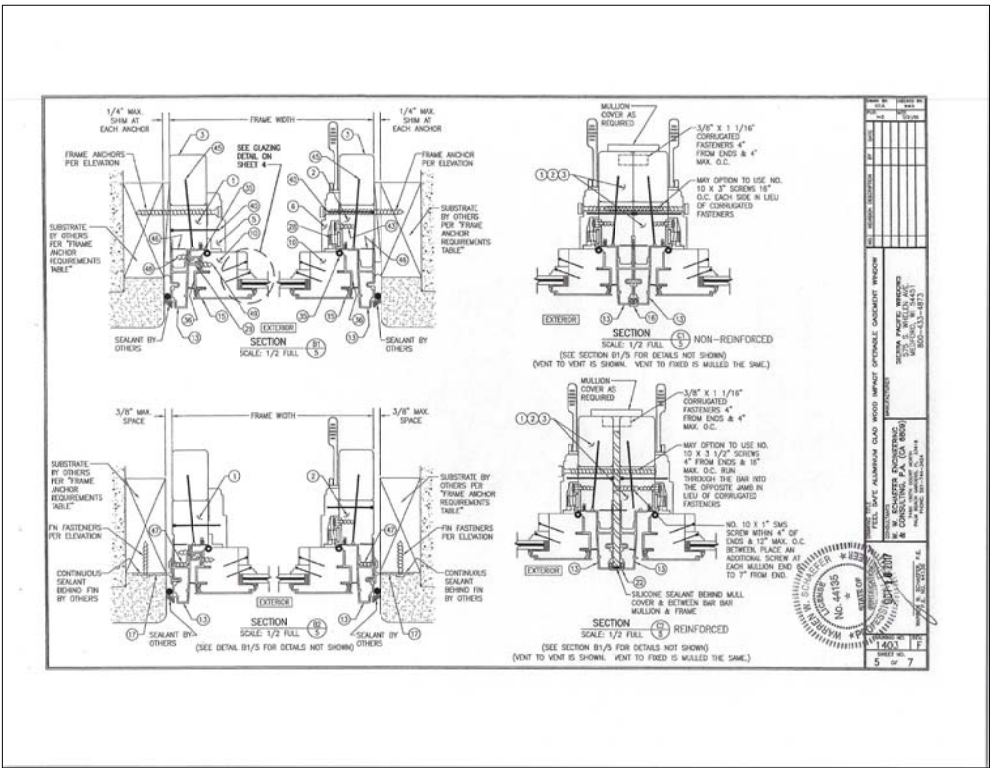


2 PRELIMINARY WALL SECTION
SCALE: 1/4" = 1'-0"

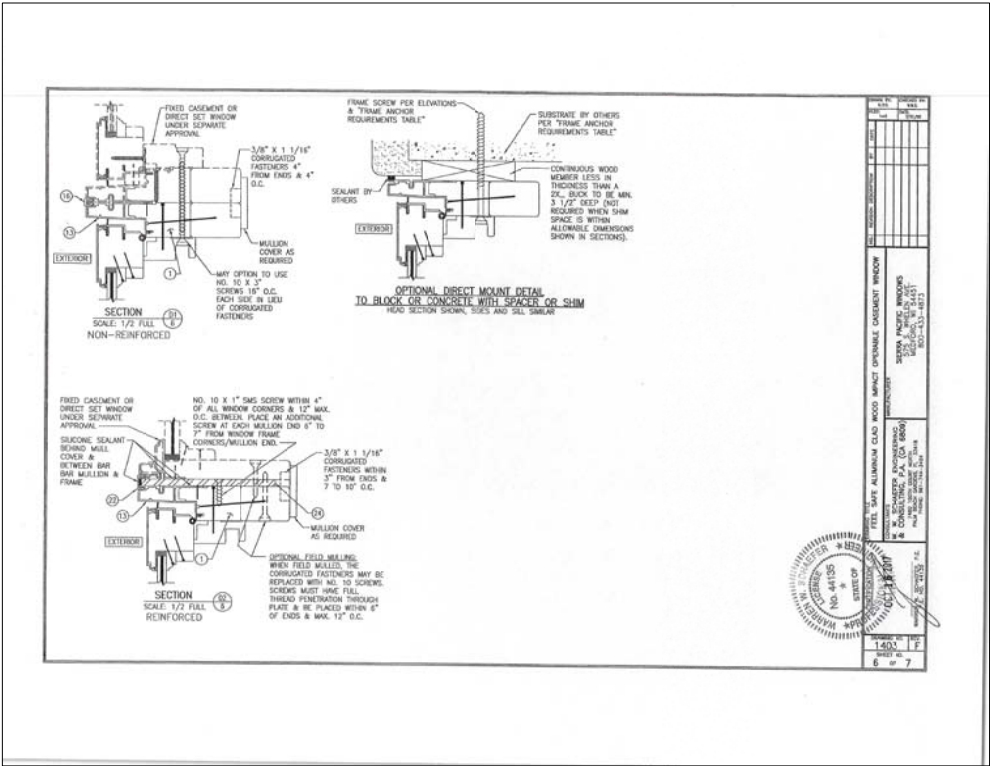


1 PRELIMINARY WALL SECTION
SCALE: 1/2" = 1'-0"

SECTIONS



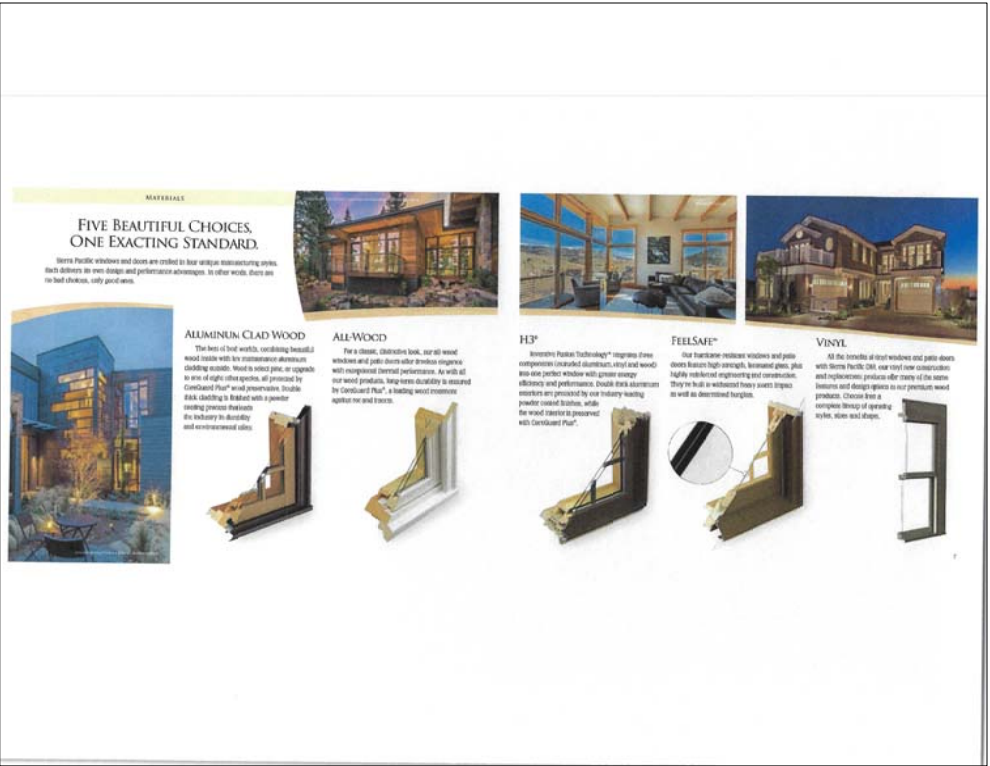
SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT DETAIL



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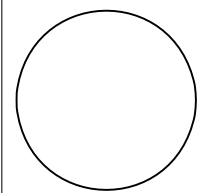
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VARIANCE NARRATIVE

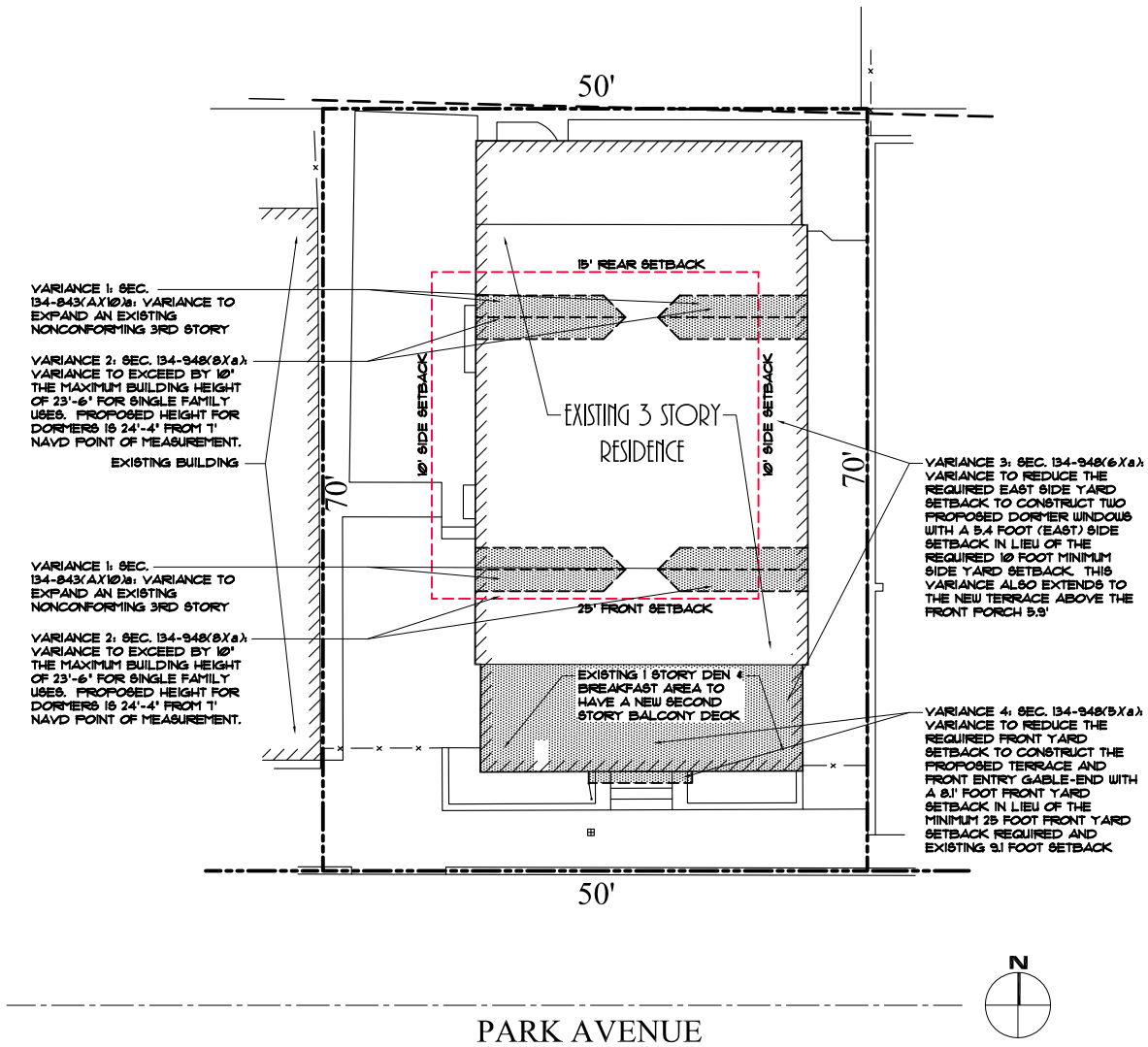
FLOOD PLAIN VARIANCE: SEC. 50-114: A FLOOD PLAIN VARIANCE FOR IMPROVEMENTS/REHABILITATION OF DESIGNATED HISTORICALLY SIGNIFICANT BUILDING DETERMINED ELIGIBLE FOR THE EXCEPTION OF FLOOD RESISTANT CONSTRUCTION REQUIREMENTS OF THE FLORIDA BUILDING CODE, EXISTING BUILDINGS, CHAPTER 12 HISTORIC BUILDINGS, AS THE PROPOSED IMPROVEMENTS WILL NOT PRECLUDE THE BUILDINGS CONTINUED DESIGNATION AS A HISTORICALLY SIGNIFICANT BUILDING TO MAINTAIN A GROUND FLOOR WITH A FINISHED FLOOR OF 4.0' NAVD IN LIEU OF THE 1' NAVD REQUIRED.

VARIANCE 1: SEC. 134-843(A)(10)a: VARIANCE TO EXPAND AN EXISTING NONCONFORMING 3RD STORY

VARIANCE 2: SEC. 134-948(8)(a): VARIANCE TO EXCEED BY 10' THE MAXIMUM BUILDING HEIGHT OF 23'-6" FOR SINGLE FAMILY USES. PROPOSED HEIGHT FOR DORMERS IS 24'-4" FROM 1' NAVD POINT OF MEASUREMENT.

VARIANCE 3: SEC. 134-948(6)(a): VARIANCE TO REDUCE THE REQUIRED EAST SIDE YARD SETBACK TO CONSTRUCT TWO PROPOSED DORMER WINDOWS WITH A 5.4 FOOT (EAST) SIDE SETBACK IN LIEU OF THE REQUIRED 10 FOOT MINIMUM SIDE YARD SETBACK. THIS VARIANCE ALSO EXTENDS TO THE NEW TERRACE ABOVE THE FRONT PORCH 5.9'

VARIANCE 4: SEC. 134-948(5)(a): VARIANCE TO REDUCE THE REQUIRED FRONT YARD SETBACK TO CONSTRUCT THE PROPOSED TERRACE AND FRONT ENTRY GABLE-END WITH A 8.1' FOOT FRONT YARD SETBACK IN LIEU OF THE MINIMUM 25 FOOT FRONT YARD SETBACK REQUIRED AND EXISTING 9.1 FOOT SETBACK



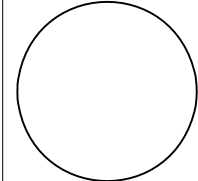
PARK AVENUE



VARIANCE DIAGRAM

SCALE: 1/8" = 1'-0"

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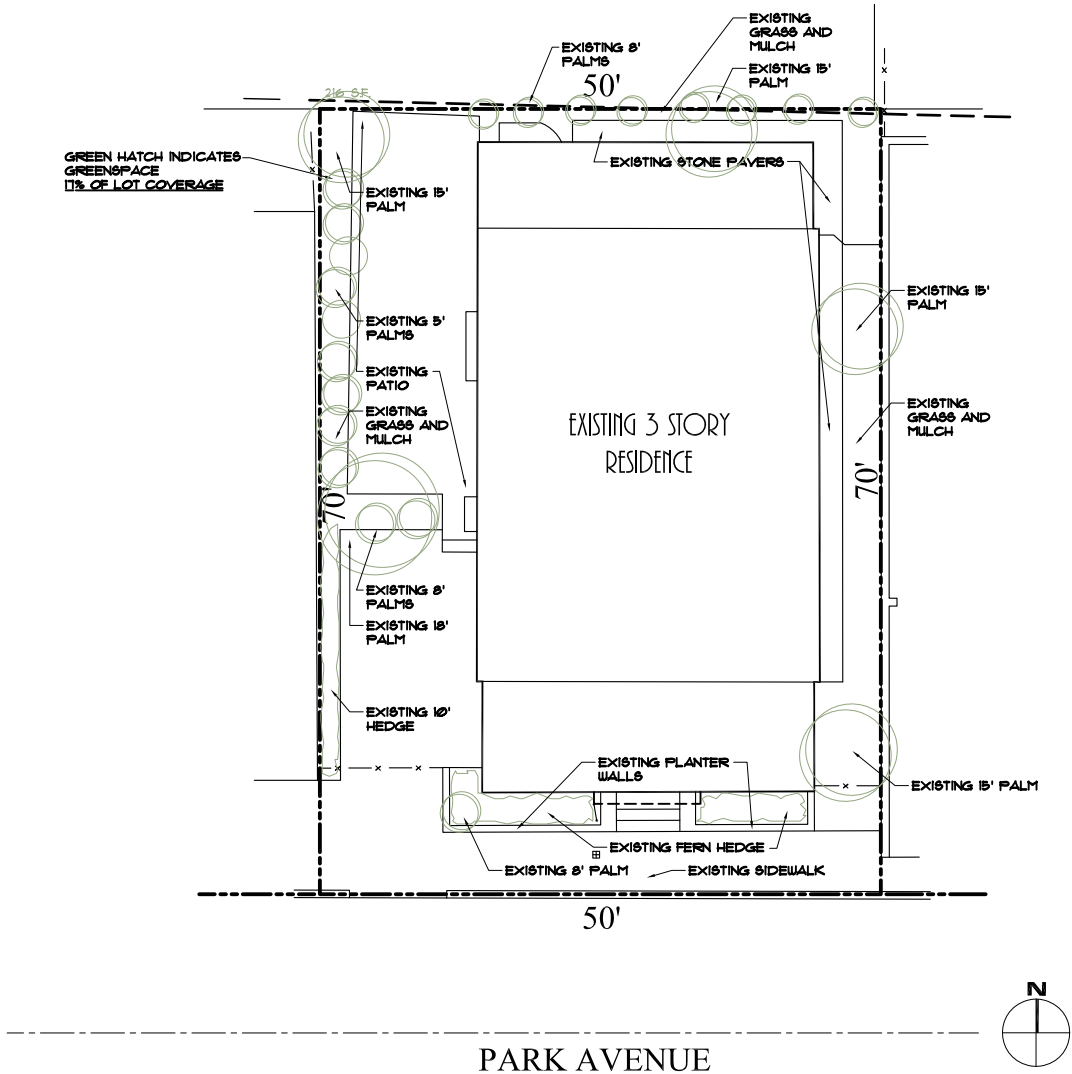


SHEET: 24 OF: -

LANDSCAPE NOTE:

1. THE EXISTING LANDSCAPE IS NOT BEING CHANGED.

2. THE EXISTING LANDSCAPE DOES NOT IN COMPLIANCE WITH SEC. 134-948(1)(a) AND 134-948(1)(a).



PARK AVENUE

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



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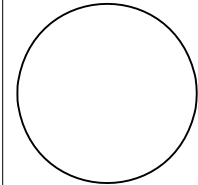
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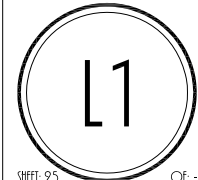
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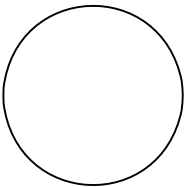
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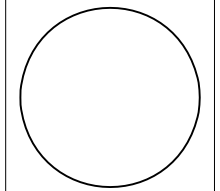


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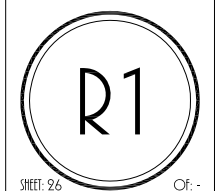
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