









PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

**SKA**  
 SOUTHERN KANSAS ARCHITECTS  
 OFFICE 561-855-1115, FAX 561-832-7828  
 240 PERMANE BLVD., PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**  
 123 CHILEAN AVENUE  
 PALM BEACH, FLORIDA 33400

A.A. #001345  
 A.R. #10.181  
 STATE OF FLORIDA  
 ARCHITECTS & ENGINEERS  
 EXHIBIT A  
 REGISTERED ARCHITECT

REVISIONS:  
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 ▲  
 ▲  
 ▲

SHEET NUMBER:  
**19**  
 ISSUE DATE: 8-25-23  
 JOB # ARC-23-145  
 ZON-23-113



CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**

123 CHILEAN AVENUE  
 PALM BEACH, FLORIDA 33480

A.A. #001345  
 A.R. #10,181



REVISIONS:



SHEET NUMBER:

**20**

ISSUE DATE: 8-25-23  
 ARC-23-145  
 J06 # ZON-23-113



PROPOSED SOUTH ELEVATION (GUEST HOUSE)

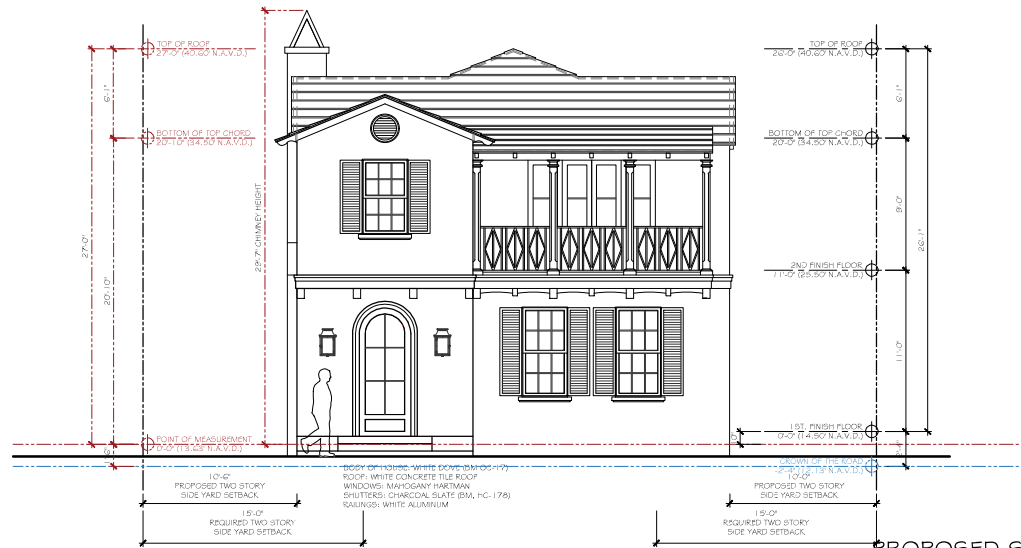
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PROPOSED NORTH ELEVATION (GUEST HOUSE)

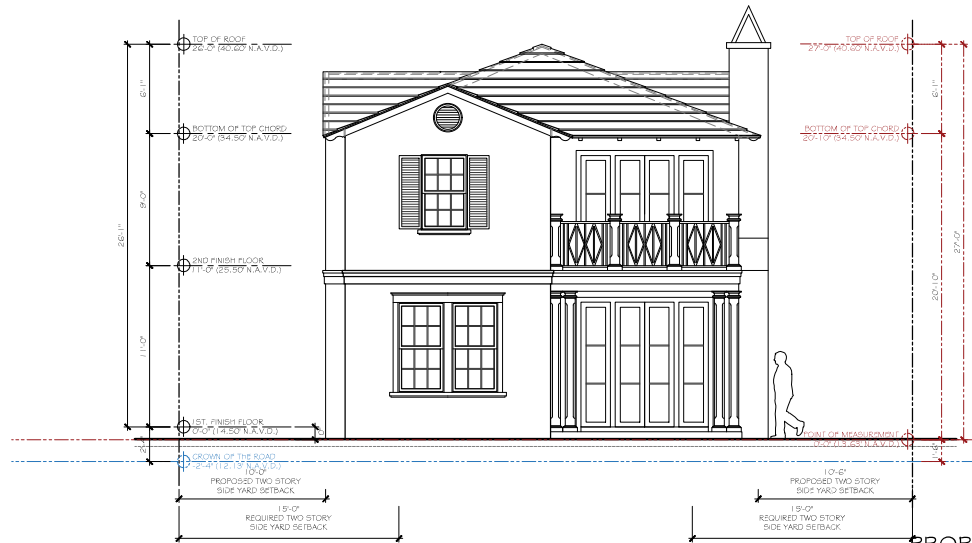
SCALE: 1/4" = 1'-0"





PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"





PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**  
123 CHILEAN AVENUE  
PALM BEACH, FLORIDA 33480

A.A. #201345  
A.R. #10,181

REVISIONS:  
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SHEET NUMBER:  
**19**  
ISSUE DATE: 8-25-23  
JOB # ARC-23-145  
JOB # ZON-23-113



CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**

123 CHILEAN AVENUE  
 PALM BEACH, FLORIDA 33480

A.A. #001345

A.R. #10,101



REVISIONS:



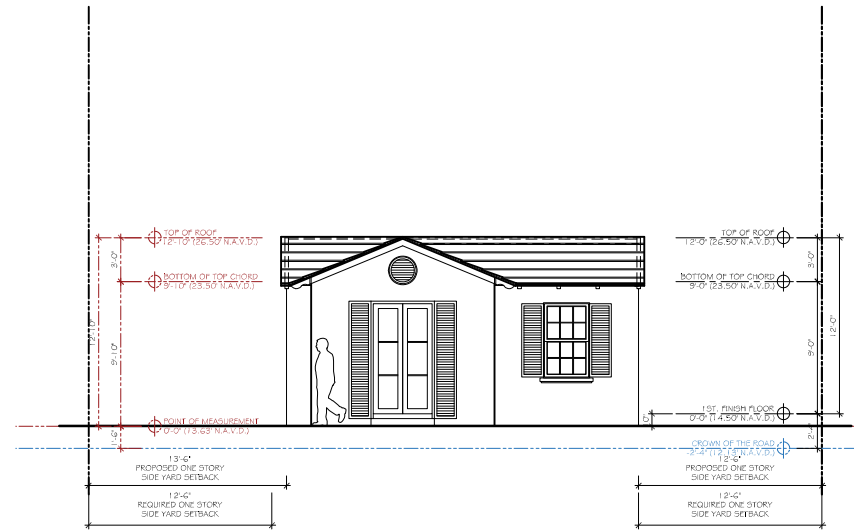
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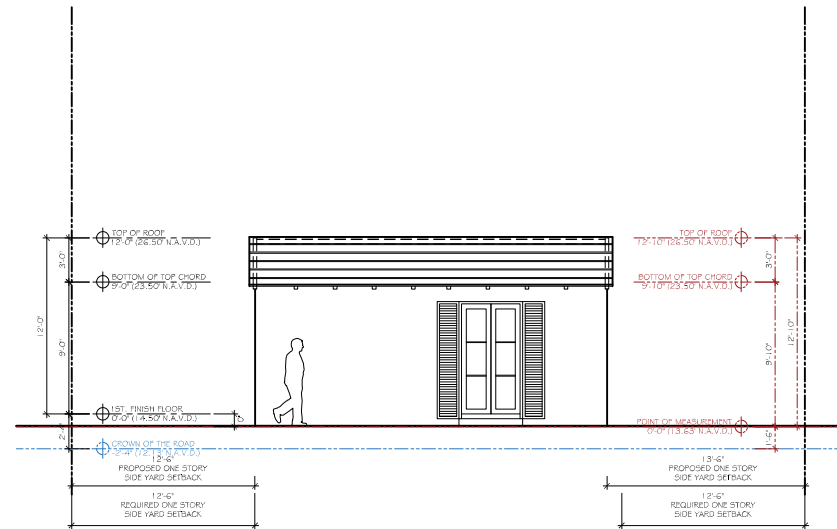
JOB # ARC-23-145

ZON # ZON-23-113



**PROPOSED SOUTH ELEVATION (GUEST HOUSE)**

SCALE: 1/4" = 1'-0"



**PROPOSED NORTH ELEVATION (GUEST HOUSE)**

SCALE: 1/4" = 1'-0"



CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**  
 123 CHILEAN AVENUE  
 PALM BEACH, FLORIDA 33480

A.A. #001345  
 A.R. #10181  


REVISIONS:  
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SHEET NUMBER:  
**21**  
 ISSUE DATE: 8-25-23  
 JOB # ARC-23-145  
 ZON # ZON-23-113

FLAT ROOF TILE ATTACHED PER MFR.  
 SPECIFICATIONS OVER 90# HOT MINERAL FELT  
 OVER 30# TIN-TAGGED FELT  
 OVER 3/4" CDX PLYWOOD SHEATHING  
 OVER PRE-ENGINEERED AND PREFABRICATED  
 WOOD TRUSSES, PER STRUCTURAL DWGS.

HURRICANE STRAP AT  
 EACH TRUSS PER ROOF  
 FRAMING PLAN

BOTTOM OF TOP CHORD

CONT. COPPER FLASHING DRIP  
 EDGE ON CONT. MILLED FASCIA ON  
 CONT. RIPPED 2x6 SUB-FASCIA

1x6 WOOD SOFFIT ON 3/4"  
 CDX PLYWOOD

22"x6"x1.44" W. CYPRESS  
 OUTRIGGER W/ MIN. 24" BACK INTO  
 TRUSSES SELECTION BY OWNER /  
 BUILDER

2x6 WOOD FREEZE BOARD

SPRAY APPLIED ICYNENE  
 INSULATION TO TOP CHORD

5/8" GYP. DRYWALL CEILING

CONC. TIE BEAM - REFER TO  
 STRUCTURAL DRAWINGS

5/8" GYP. BD. PTD. ON 1-5/8" x  
 20 GA. METAL STUD FURRING  
 @ 16" O.C. WITH R-6 RIGID  
 INSULATION

SPRAY APPLIED ICYNENE  
 INSULATION TO TOP CHORD

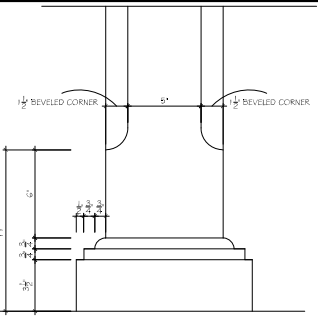
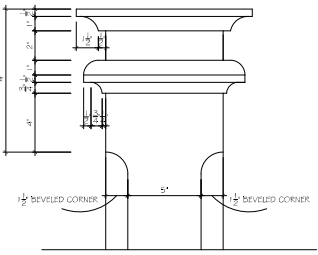
PRE-ENGINEERED AND PREFABRICATED  
 WOOD TRUSSES AT 24" O.C. MAX.

5/8" GYP. DRYWALL CEILING

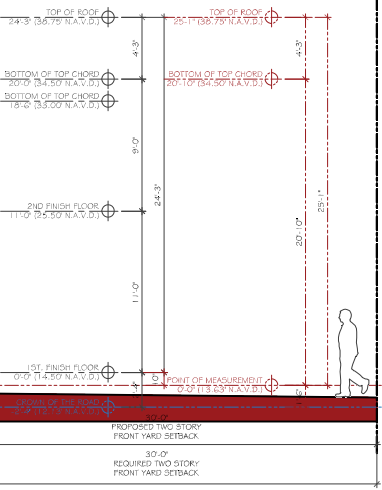
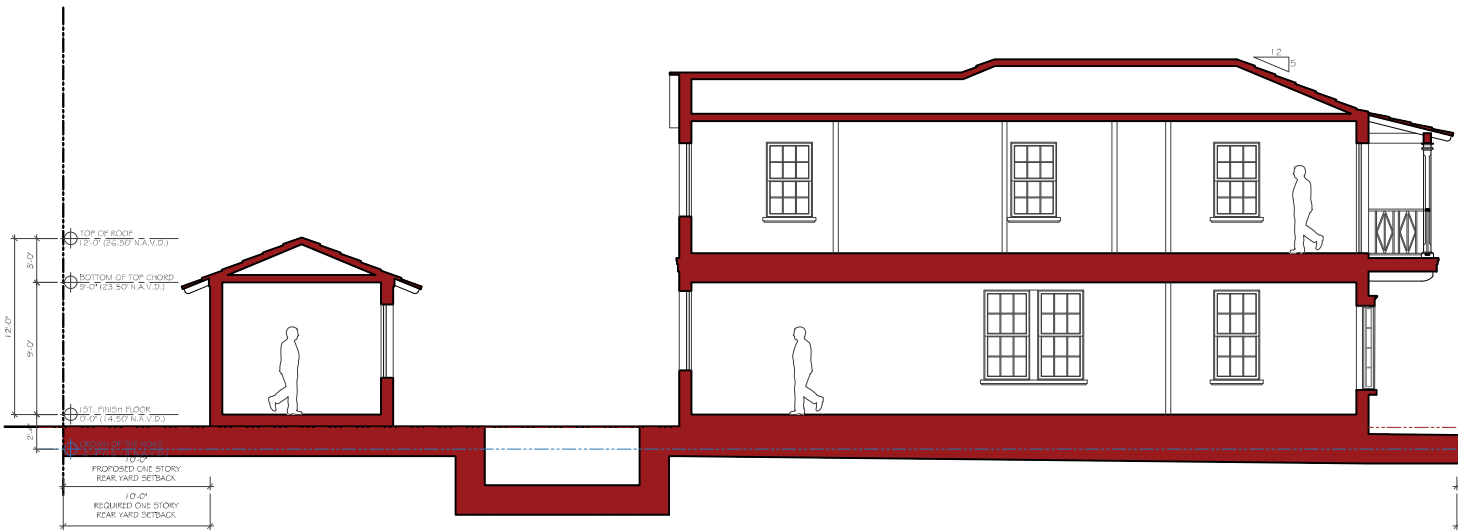
CONC. TIE BEAM - REFER TO  
 STRUCTURAL DRAWINGS

CONC. GABLE END RAKED  
 BEAM - REFER TO  
 STRUCTURAL DRAWINGS

1 x6 WOOD FREEZE BOARD



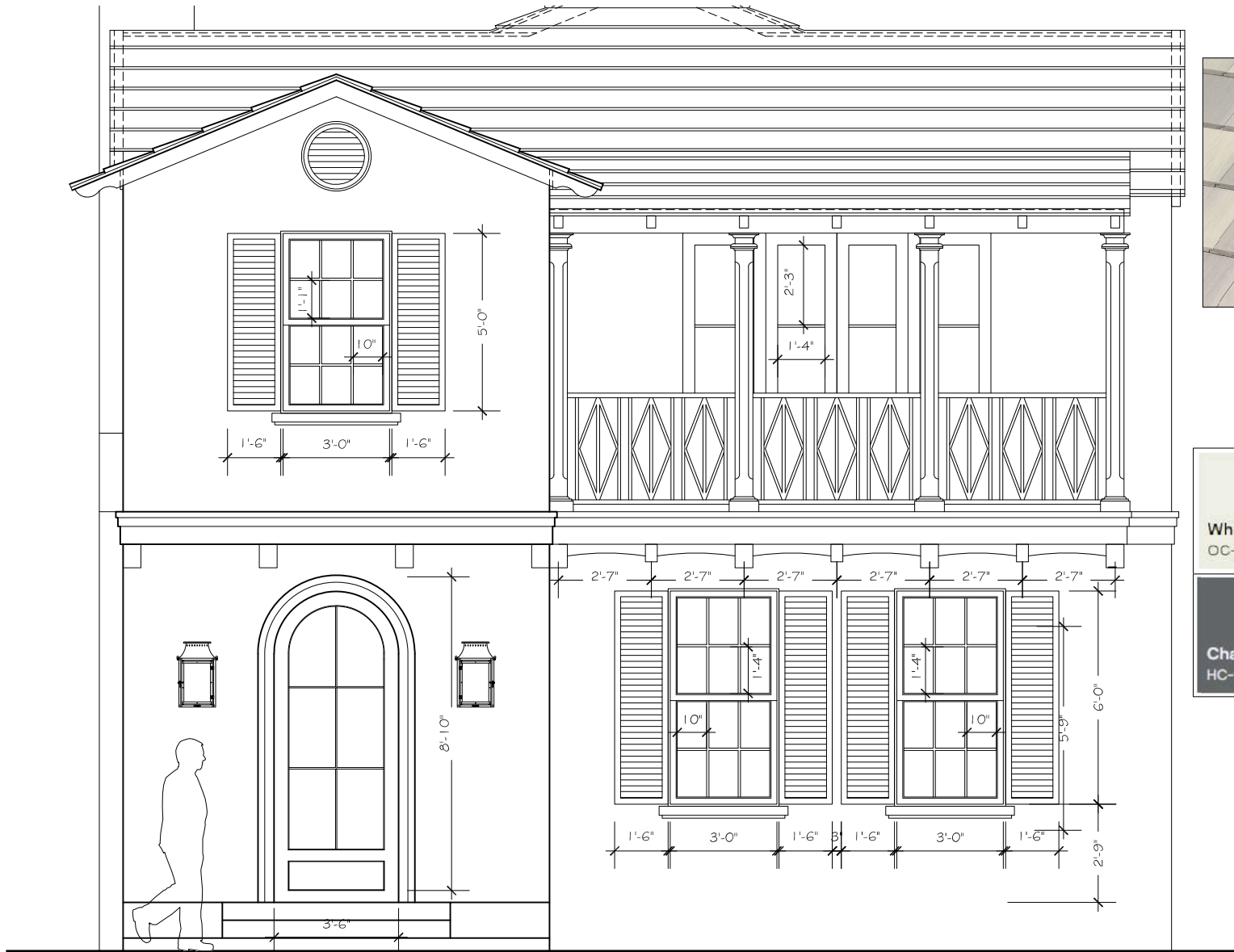
**8" SQ.-COLUMN DETAIL**



**PROPOSED SECTION**

SCALE: 1/4" = 1'-0"





BODY OF HOUSE: WHITE DOVE (BM OC-17)  
 ROOF: WHITE CONCRETE TILE ROOF  
 WINDOWS: MAHOGANY HARTMAN  
 SHUTTERS: CHARCOAL SLATE (BM, HC-178)  
 RAILINGS: WHITE ALUMINUM



**SKA**  
 SKA ARCHITECT & PLANNER  
 OFFICE 501-855-1118 FAX 501-855-7888  
 540 PERMANUE AVE. #202 PALM BEACH, FL 33480

CONSULTANT:  
 [Blank Box]

PROPOSED RESIDENCE FOR:  
**BISHOP**  
 123 CHILEAN AVENUE  
 PALM BEACH, FLORIDA 33480

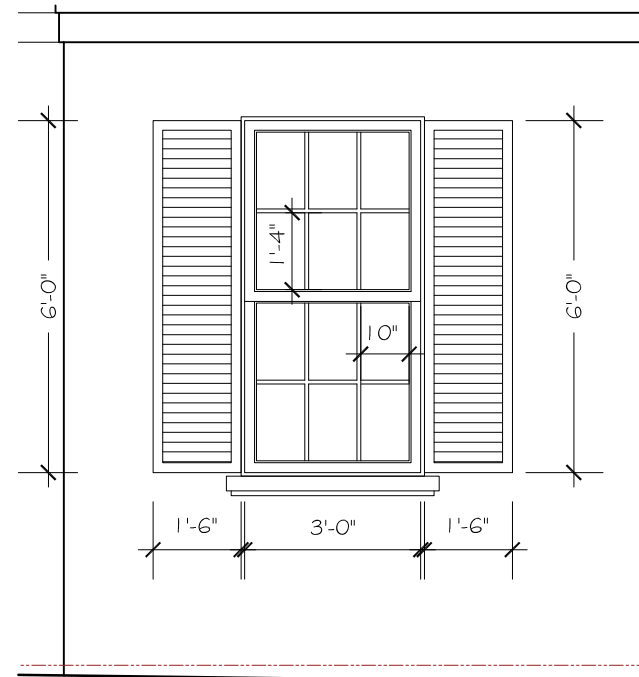
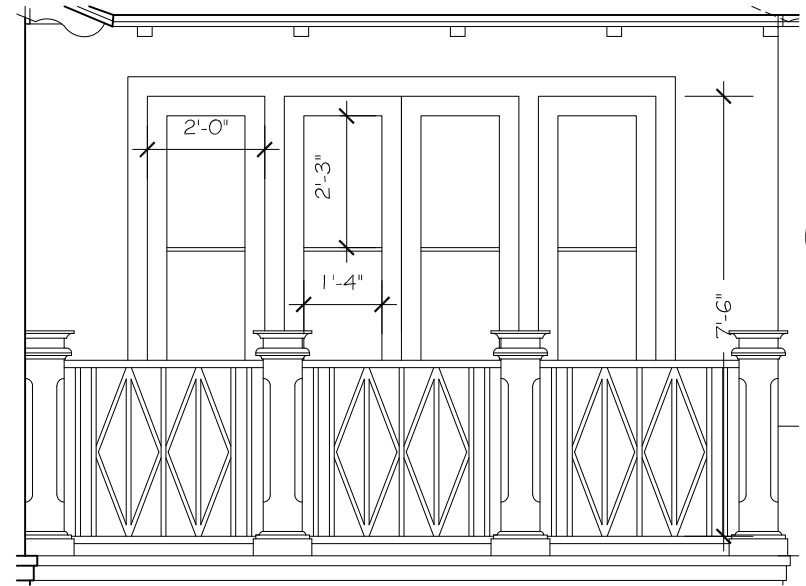
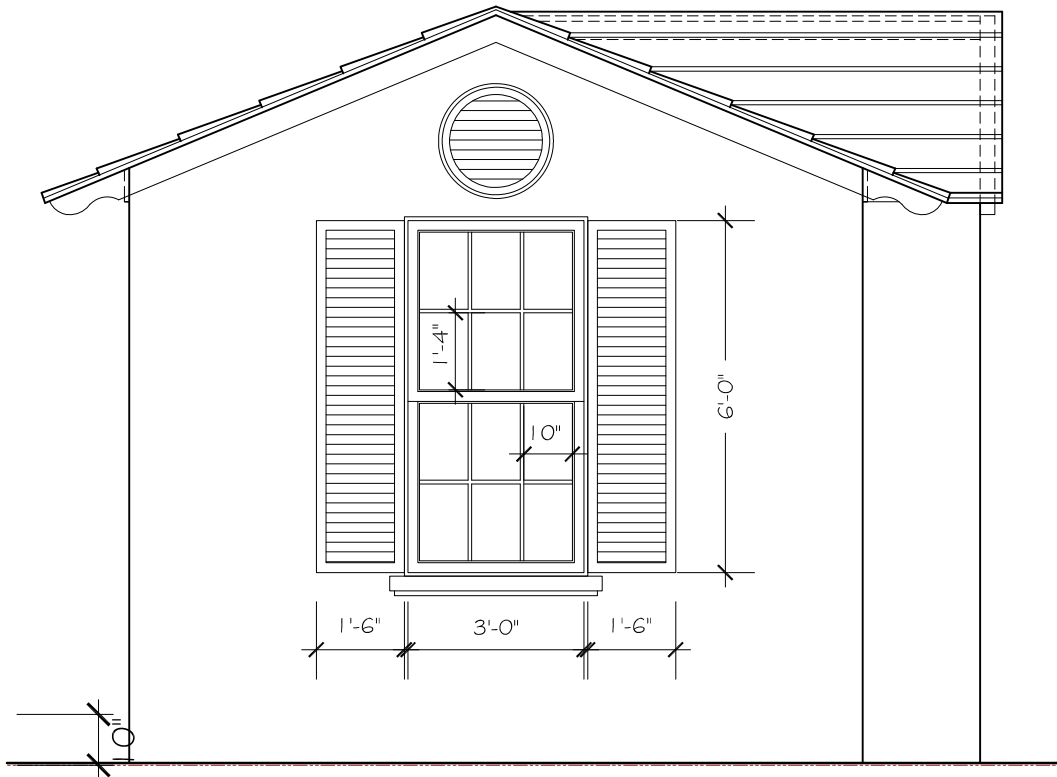
A.A. #001345  
 A.R. #10,101

REVISIONS:  
 [Blank Box]

SHEET NUMBER:  
**22**  
 ISSUE DATE: 8-25-23  
 JOB # ARC-23-145  
 ZON # ZON-23-113

**DETAILS**  
 SCALE: 1" = 1'-0"





**SKA**  
SKA ARCHITECT & PLANNER  
OFFICE 801-855-1116 FAX 801-852-7888  
340 PERMANENT AVE. SUITE 4 PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**  
123 CHILEAN AVENUE  
PALM BEACH, FLORIDA 33480

A.A. #001345  
A.R. #10,181

REVISIONS:

SHEET NUMBER:  
**23**  
ISSUE DATE: 8-25-23  
JOB # ARC-23-145  
JOB # ZON-23-113

**DETAILS**  
SCALE: 1" = 1'-0"



CONSULTANT:

PROPOSED RESIDENCE FOR:  
**BISHOP**  
 123 CHILEAN AVENUE  
 PALM BEACH, FLORIDA 33480

A.A. #001345  
 A.R. #10,181



REVISIONS:

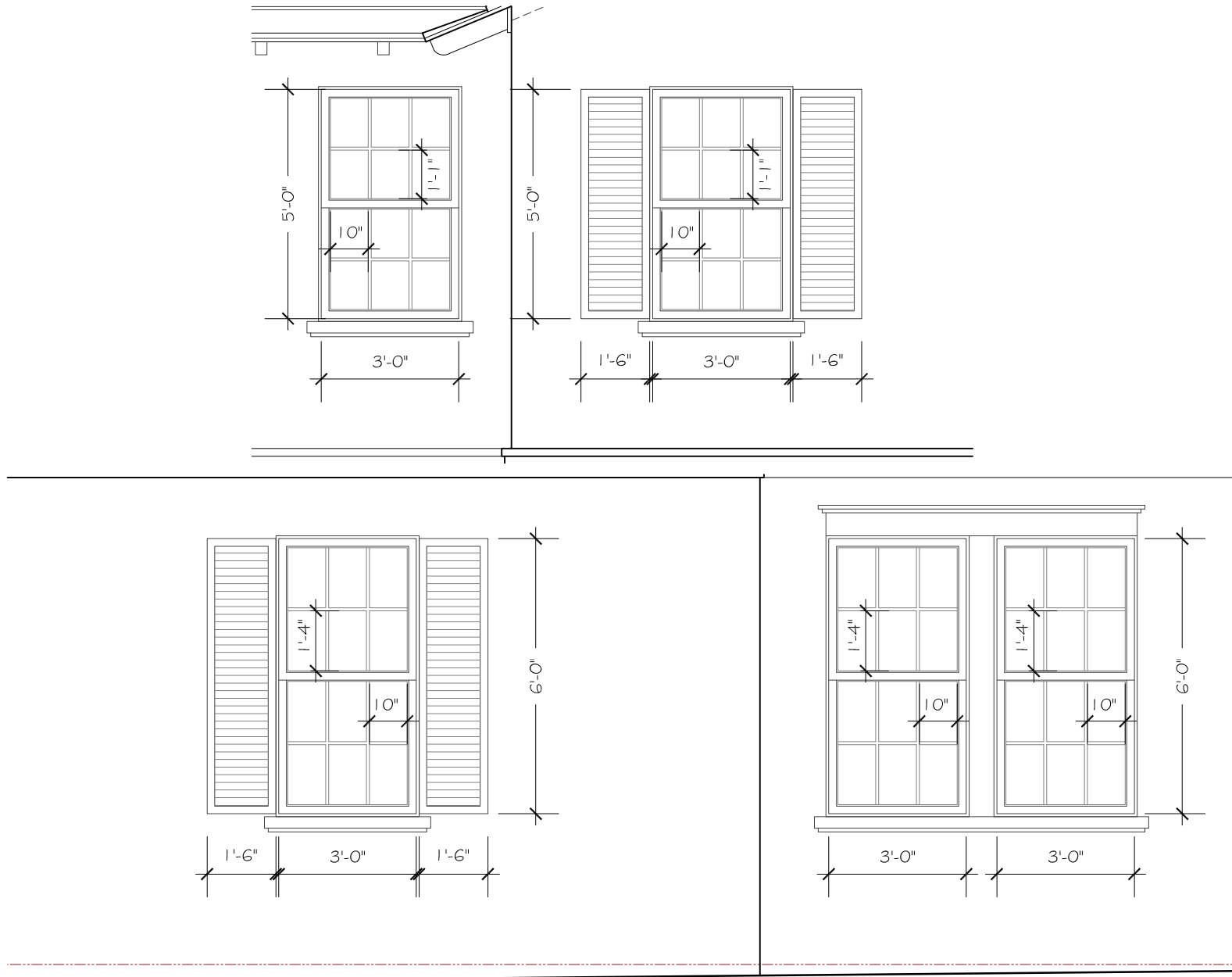


SHEET NUMBER:

24

ISSUE DATE: 8-25-23  
 ARC-23-145  
 JOB #: ZON-23-113

**DETAILS**  
 SCALE: 1" = 1'-0"





# 123 CHILEAN AVE., PALM BEACH, FLORIDA

## SECOND SUBMITTAL

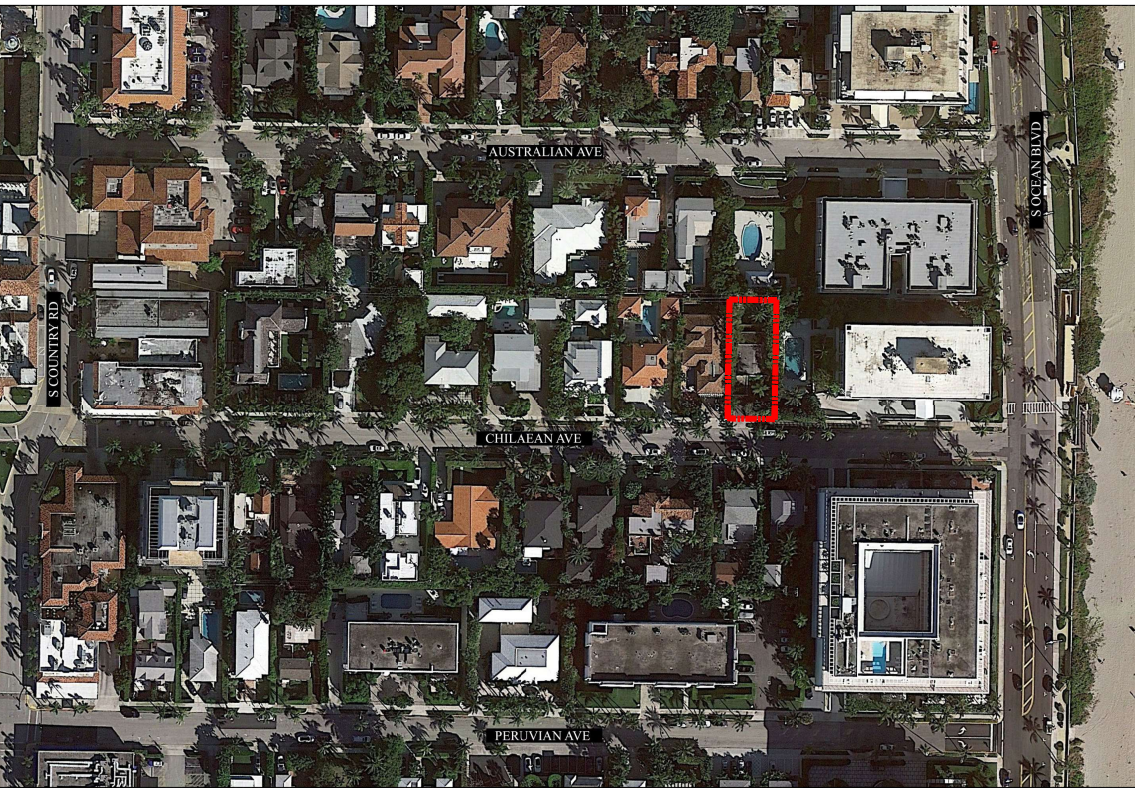
### ARC-23-145

### ZON-23-113

### DECEMBER 15, 2023

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## SITE LOCATION MAP



123 CHILEAN AVE.  
PALM BEACH, FL 33480



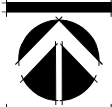
LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4125 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-6069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
LANDSCAPE/HARDSCAPE COVER PAGE

DATE: 08/15/2013  
DRAWN BY: BUI/L  
JOB NO: 23-082  
SCALE: N/A  
FILENAME: Bishop 04

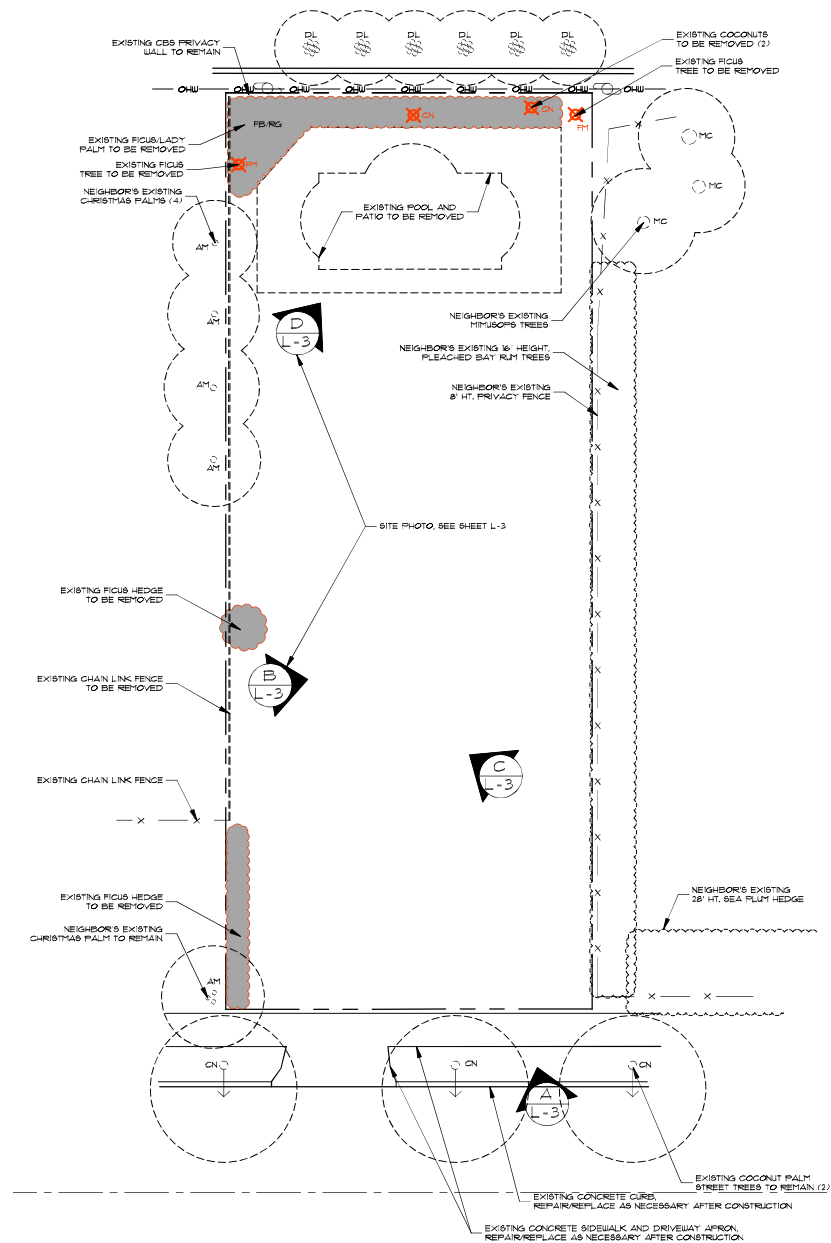
REVISIONS:  
8/23 First Submittal  
9/28/23 Second Submittal  
11/4/23 Final submittal



NOVEMBER 14, 2023  
SHEET:  
L-1

ZON: 23-113  
ARC: 23-145





## Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing vegetation to remain
- Existing vegetation to be removed

## Existing Plant Key

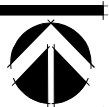
- AM = Adonidia merrillii / Christmas Palm
- CD = Coccothraustes virens / Sea Plum
- DL = Diplazium lutescens / Lizard Palm
- CN = Coccothraustes / Coconut Palm
- FB = Ficus benjamina / Weeping Fig
- RI = Ficus microcarpa / Cuban Laurel
- MC = Mimusops coriacea / Monkey's Apple
- FR = Plumeria racemosa / Bay Rum
- RE = Rapisia excelsa / Lady Palm

## Existing Plant Removal List

SYM	QTY	NAME
CN	2	Coccothraustes / Coconut Palm
RI	2	Ficus microcarpa / Cuban Laurel

## Construction Screening Note:

CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.







**A** EXISTING VIEW FROM CHILEAN AVENUE  
L-3



**B** EXISTING VIEW TO THE EAST  
L-3



**C** EXISTING VIEW TO THE WEST  
L-3



**D** EXISTING VIEW TO THE NORTHEAST  
L-3



Construction Screening Note:

CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.

### Existing Plant Symbol Key



Existing tree/palm serving as construction buffering.



Existing hedges serving as construction buffering.



A EXISTING EAST LANDSCAPE BUFFER  
L-4

**BISHOP RESIDENCE**  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
CONSTRUCTION SCREENING PLAN

DATE: 08/15/2023  
DRAWN BY: SJKJL  
JOB NO.: 23-082  
SCALE: 1/8"=1'-0"  
FILENAME: Bishop 04

REVISIONS:  
 2.7.23 First Submittal  
 2.25.23 Second Submittal  
 U4.23 Final submittal

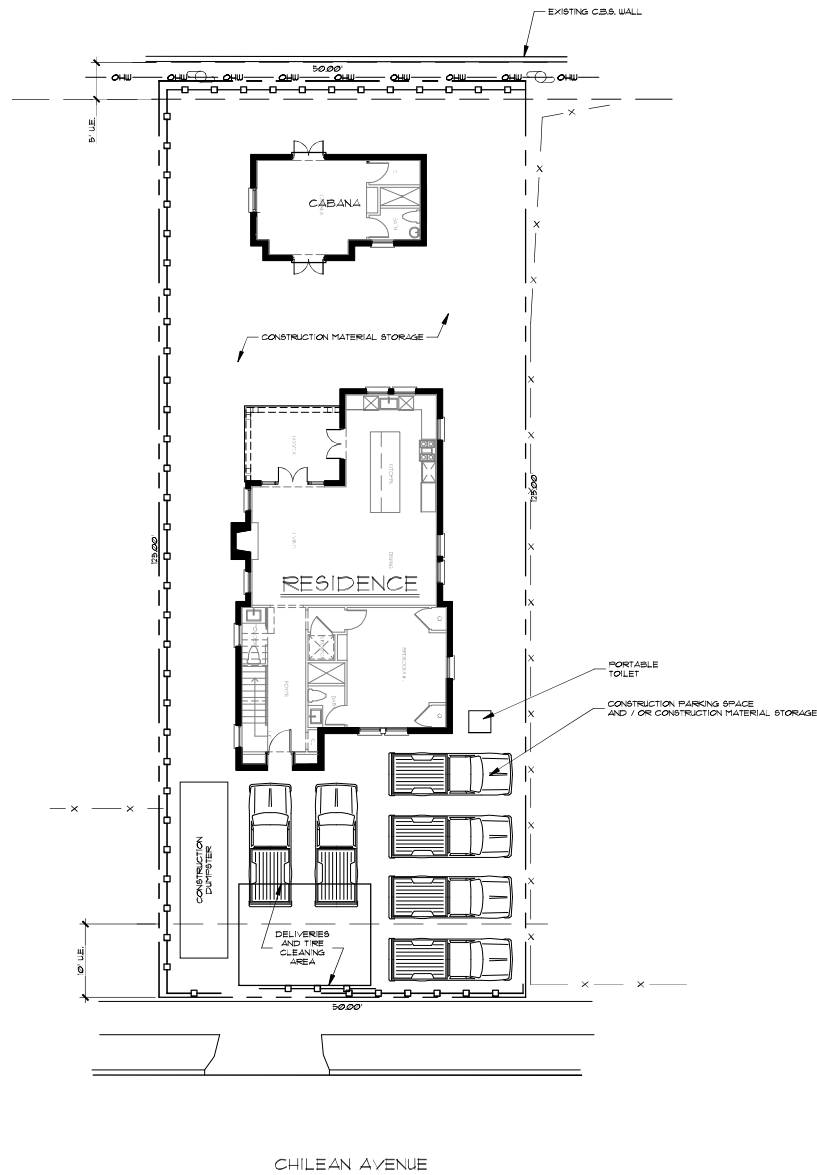


NOVEMBER 14, 2023

L-4

ZON: 23-113  
ARC: 23-145

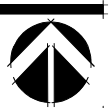




**BISHOP RESIDENCE**  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
CONSTRUCTION STAGING PLAN

DATE: 08/15/2013  
DRAWN BY: BWJL  
JOB NO: 23-082  
SCALE: 1/8"=1'-0"  
FILENAME: Bishop 04

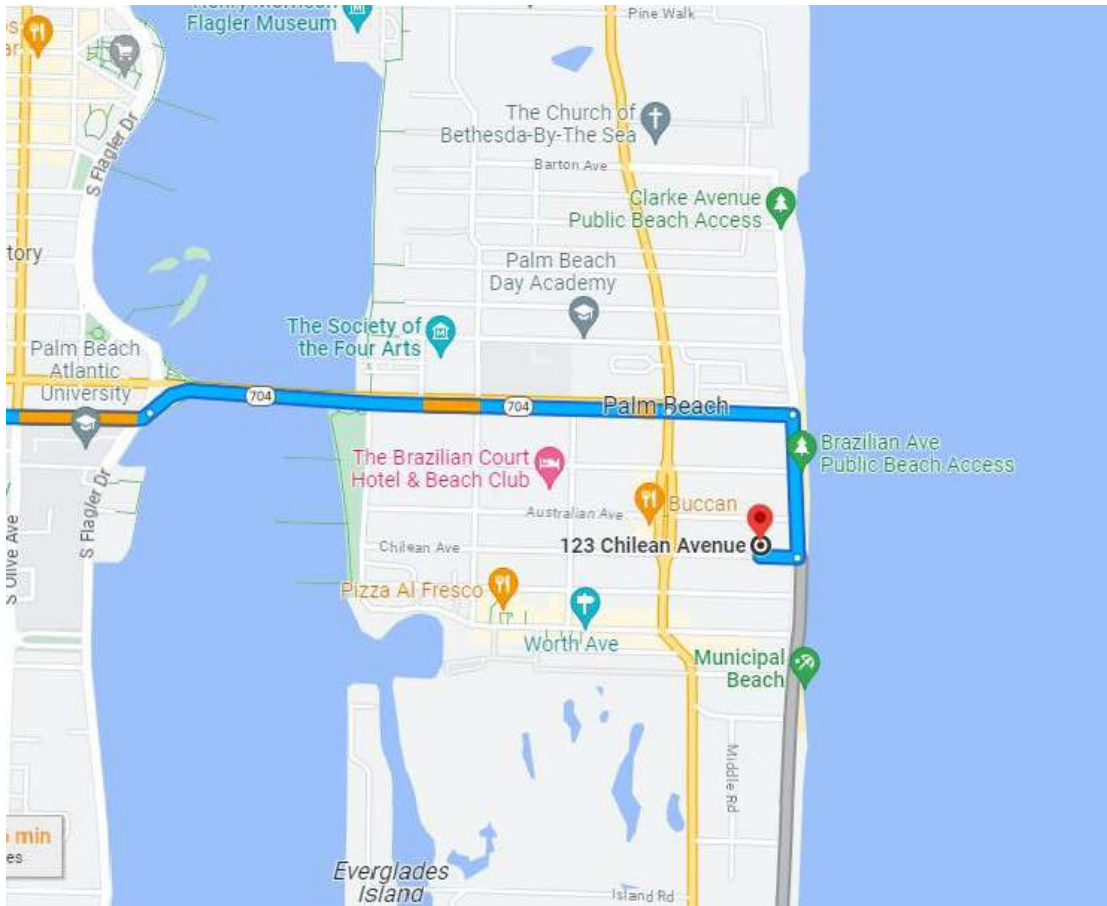
REVISIONS:  
8.7.23 First Submittal  
8.28.23 Second Submittal  
11.4.23 Final submittal



SHEET:  
**L-5**

ZON: 23-113  
ARC: 23-145





### PRELIMINARY CONSTRUCTION SCHEDULE

ARCHITECTURAL COMMISSION MEETING	DECEMBER 15, 2023
PERMIT DRAWING PREPARATION AND PERMIT REVIEW	JANUARY 2024 - APRIL 2024
DEMOLITION OF EXISTING STRUCTURES AND LANDSCAPING	1 MONTH - COMMENCE JUNE 2024
MOBILIZATION AND SITE PREPARATION	1 MONTH
FOUNDATION AND MECHANICAL ROUGH-IN	1 MONTH
MASONRY INSTALLATION	1 MONTH
SET ROOF TRUSSES	1 MONTH
DOOR AND WINDOW INSTALLATION	1 MONTH
INTERIOR FRAMING	1½ MONTHS
MECHANICAL, ELECTRICAL AND PLUMBING ROUGH-IN	2 MONTHS
DRY WALL, TRIM, PAINT	2½ MONTHS
INSTALL FINISHES AND FIXTURES	5 MONTHS
LANDSCAPE AND HARDSCAPE INSTALLATION	1 MONTH
PUNCH LIST AND FINAL INSPECTIONS	1 MONTH
CLOSE-OUT	DECEMBER 2026

### Truck Logistics

- A. Roadways: Deliveries and workers will access Palm Beach by heading east on Royal Palm Way over the Royal Park Bridge, south on South Ocean Boulevard and then west on Chilean Avenue. The property is located on the north side of Chilean Avenue.
- B. Maximum truck length = 30'
- C. Estimated number of deliveries generated by this project = 200



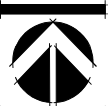
LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4125 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-6069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
TRUCK LOGISTICS PLAN

DATE: 06/15/2023  
DRAWN BY: GUL  
JOB NO: 23-082  
SCALE: 1/8" = 1'-0"  
FILENAME: Bishop 04

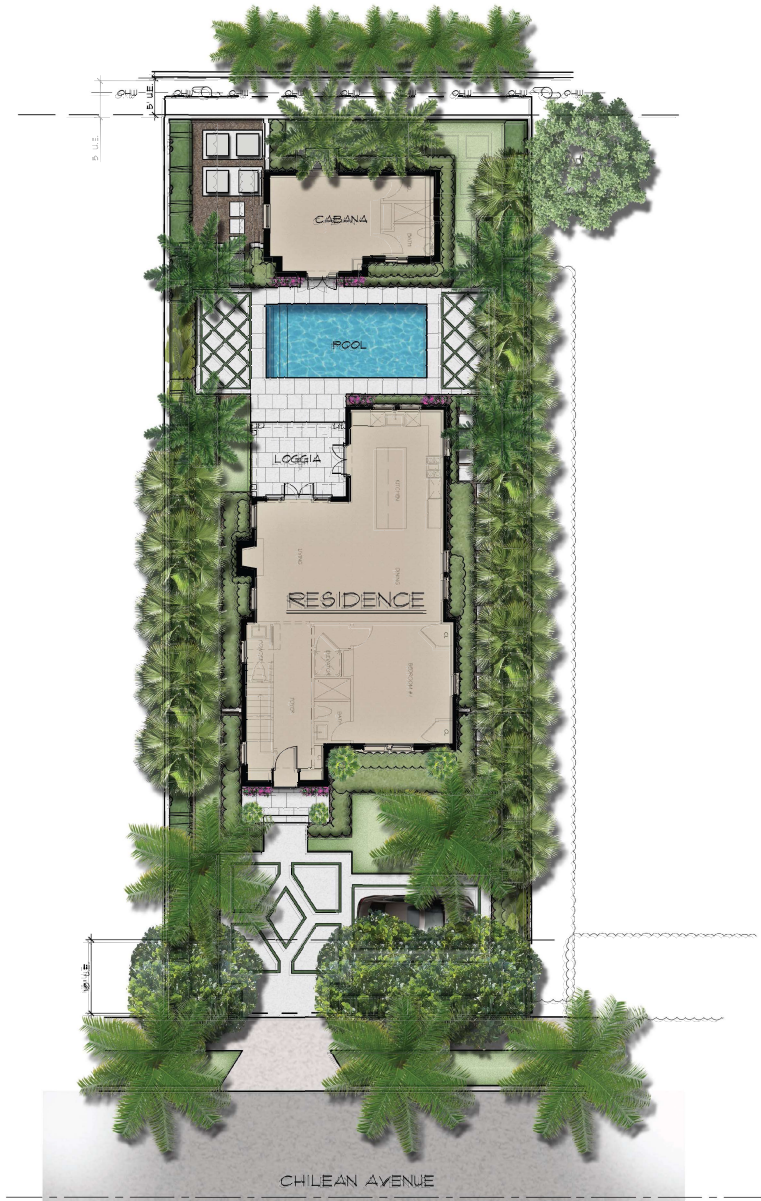
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0723 First Submittal  
0723 Second Submittal  
11423 Final submittal



SHEET:  
L-6

ZON: 23-113  
ARC: 23-145

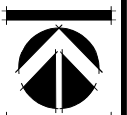




**BISHOP RESIDENCE**  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
LANDSCAPE PLAN RENDER

DATE: 08/15/2013  
DRAWN BY: GUL  
JOB NO: 23-082  
SCALE: 1/8" = 1'-0"  
FILENAME: Bishop 04

REVISIONS:  
8.7.23 First Submittal  
8.28.23 Second Submittal  
11.4.23 Final submittal











Front Elevation - View From Chilean Avenue





Front Elevation - Interior View



PARKER-YANNETTE  
design group, inc.

LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4425 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-6069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2013  
DRAWN BY: GUL  
JOB NO: 23-082  
SCALE: N/A  
FILENAME: Bishop 04

REVISIONS:  
8.7.23 First Submittal  
9.28.23 Second Submittal  
11.4.23 Final submittal



NOVEMBER 14, 2023

SHEET:

L-10

ZON: 23-113  
ARC: 23-145





East Elevation



PARKER + YVETTE  
design group, inc.

LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4423 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-4069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2013  
DRAWN BY: GUIL  
JOB NO: 23-082  
SCALE: N/A  
FILENAME: Bishop 02

REVISIONS:  
8/23 First Submittal  
8/28/13 Second Submittal



SEPTEMBER 20, 2013

SHEET:

L-11

ZON: 23-113  
ARC: 23-145





North Elevation



PARKER-YANNETTE  
design group, inc.

LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4425 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-6069  
Fax: (561) 747-2041  
Email: mail@pydgd.com  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
PROPOSED LANDSCAPE ELEVATIONS

DATE: 08/15/2013  
DRAWN BY: GUIL  
JOB NO: 23-082  
SCALE: N/A  
FILENAME: Bishop 04

REVISIONS:  
8.7.23 First Submittal  
9.28.23 Second Submittal  
11.4.23 Final Submittal



NOVEMBER 14, 2023

SHEET:

L-12

ZON: 23-113  
ARC: 23-145





West Elevation



**PARKER-YANNETTE**  
design group, inc.

LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4425 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-6069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
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PALM BEACH, FLORIDA  
PROPOSED LANDSCAPE ELEVATIONS

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8/28/13 Second Submittal  
11/4/23 Final submittal



NOVEMBER 14, 2023

SHEET:  
**L-13**

ZON: 23-113  
ARC: 23-145



# Plant List

SYM	QTY	NAME	SPECIFICATIONS
<b>PALMS</b>			
AM	4	Adonidia merrillii / Christmas Palm	12' ht., double stem, full frond, matching
CN	2	Cocos nucifera 'Green Malayan' / Coconut Palm	1 at 8' g.w., 1 at 12' g.w., heavy cal., straight trunk, full frond
PE	2	Ptychosperma elegans / Alexander Palm	14' ht., double stem, full frond
* SP	19	Sabal palmetto / Regenerated Cabbage Palm	Regenerated head, 2@12' ht., 3@15' ht., 6@20' ht., 3@22' ht., 5@28' ht. slick/straight trunk
<b>TREES</b>			
* CU	3	Coccoloba uvifera / Sea Grape	16' x 14', 5'-6' c.t., single/straight trunk, full canopy
<b>SHRUBS and VINES</b>			
AZY	10	Alpinia zerumbet 'Variegata' / Variegated Shell Ginger	1 gal., 30" x 30", full
BV10	2	Bougainvillea Vine	25 gal., 10' ht., full to base, fuschia flower, espalier to wall
BV8	6	Bougainvillea Vine	25 gal., 8' ht., full to base, fuschia flower, espalier to wall
CFA	4	Cordyline fruticosa 'Auntie Lou'	1 gal., 32" x 30", full
CG6	33	Clusia guttifera / Small Leaf Clusia	6" x 4', full to base
CG7	37	Clusia guttifera / Small Leaf Clusia	7" x 4', full to base
CH	2	Chamaerops humilis / European Fan Palm	1 gal., 30" x 30", single stem, full frond, plant in pots with potting soil, filter fabric and drain rock
* CIH	285	Chrysobalanus icaco 'Horizontal' / Horizontal Cocoplum	3 gal., 16" x 18", full
DS	4	Dombeya 'Seminoles' / Dombeya	15 gal., 36" x 36", full
FG1	59	Ficus 'Green Island' / Green Island Ficus	3 gal., 12" x 12", full
FG17	6	Ficus 'Green Island' / Green Island Ficus	1 gal., 22" x 20", full
HHRN	12	Heliconia 'Hot Rio Nights'	15 gal., 7'-8' ht., full, dense
HIB	12	Hibiscus 'White Wings' / Hibiscus shrub	3 gal., 24" x 22", full to base, white flower with red throat
LM	149	Liriope muscari 'Super Blue'	3 gal. 15" x 15", full
PM	16	Podocarpus macrophyllus / Yew	1 gal., 42" x 18", full to base
TJ	7	Trachelospermum jasminoides / Confederate Jasmine	3 gal., 28" o.a., full to base, espalier to wall in solid pattern/attach to palm trunk
<b>MISCELLANEOUS</b>			
MULCH		Chocolate Brown	3" depth, 100% coverage in all plant beds
SOD		Zeon Zoysia or alternate approved by Landscape Architect	Solid sod, laid tight, rolled for compaction Fine grade and install 80/20 mix of 80% coarse sand and 20% Canadian peat, 2"-3" thick over existing soil prior to laying sod

\* Denotes Florida native plant material.



LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4025 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-5069  
Fax: (561) 747-2041  
Email: mail@pydg.com  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
PLANT LIST

DATE: 08/15/2013  
DRAWN BY: BSHUL  
JOB NO.: 23-113  
SCALE: N/A  
FILENAME: Bishop 08

REVISIONS:  
07/23 First Submittal  
07/23 Second Submittal  
11/4/23 Final Submittal  
12/24 Final Submittal



SHEET:  
L-14

ZON: 23-113  
ARC: 23-145



## Plant Specifications

**SPECIES AND SIZE** shall conform to those indicated on the drawings. Nomenclature shall conform to **STANDARDIZED PLANT NAMES**, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified shall be using Florida Fancy or Specimen shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally healthy, symmetrical, lightly branched, well trained or trained in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

### GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting shall be uniform in size and shape. All material shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

### CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, established in the container in which they are sold. The plants shall have tops that are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant roots bound in containers are unacceptable.

### MEASUREMENTS

**Tree:** Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "Y" crotches that could be points of weak limb structure or disease infestation.

**Shrub:** Height shall be measured from the ground to the average point where nature plant growth stops. Spread shall be measured to the end of branching equally around the shrub base. Measurements are not to include any terminal growth.

**Palms:** Clear trunk (CT) shall be measured from the ground at the line of installation to the point where the nature aged trunk joins the immature or green portion of the trunk or the head.

Overall height (OAH) shall be measured from the ground at the line of installation to a point three quarters the length of the unopened bud. Palms with terminal or burned trunks will not be accepted.

### SOIL

Planting soil for use in preparing backfills for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Babel palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loam character, 3% and contain fungi (40 to 60%) (50 percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

### COMMERCIAL FERTILIZER

Two fertilizers shall be used in all types of plantings except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. The fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: Nitrogen (N) percent nitrogen, seven (7) percent phosphorus, twelve (12) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 2" grain size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	18"-1'2"	"AGRICULTURE" TABLET (2" Grain)
1 gal.	1/4 lb.	1
3 gal.	1/2 lb.	2
1"-5 gal.	1 lb.	4
1'-6" caliper	2 lbs./1" caliper	2 1/2 caliper
6" and larger	3 lbs./1" caliper	2 1/2 caliper

Florida East Coast Palm Species will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

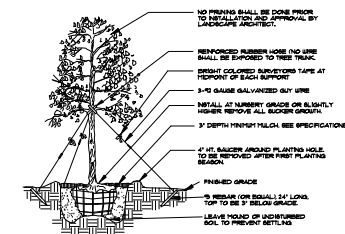
### MULCH

Mulch material shall be three (3) inches of shredded natural mulch (sterilized and free of seeds) or approved equal, released at the line of application to prevent wind displacement.

### SUBSTITUTIONS

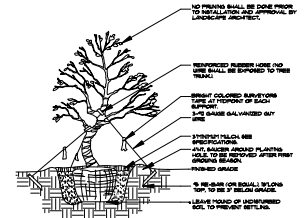
No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

## Planting Details



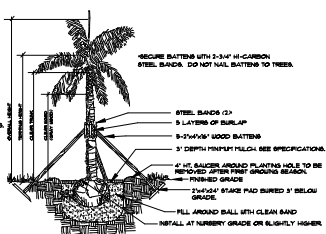
### Tree Planting

SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.  
PROVIDE SPECIAL SITE CONDITIONS THAT REQUIRE MODIFICATION TO BRACING TECHNIQUE.  
LANDSCAPE CONTRACTOR SHALL ADJUSTLY BRACE FOR WIND TO PREVENT EXCESSIVE MOVEMENT TO MAINTAIN A VERTICAL POSITION.



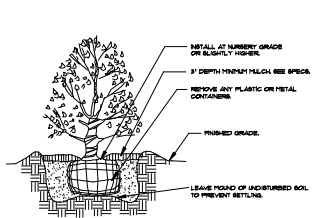
### Irregular & Multi-Stem Tree Planting

SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.  
PROVIDE SPECIAL SITE CONDITIONS THAT REQUIRE MODIFICATION TO BRACING TECHNIQUE.  
LANDSCAPE CONTRACTOR SHALL ADJUSTLY BRACE FOR WIND TO PREVENT EXCESSIVE MOVEMENT TO MAINTAIN A VERTICAL POSITION.



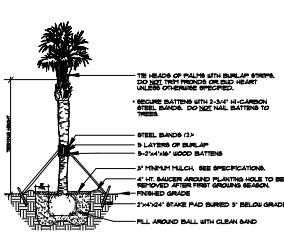
### Palm Planting

APPLIES TO: ROYAL PALMS, GREEN PALMS, ALEXANDER PALMS, TAVELA PALMS.  
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.  
PROVIDE SPECIAL SITE CONDITIONS THAT REQUIRE MODIFICATION TO BRACING TECHNIQUE.  
BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



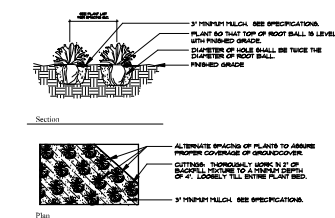
### Shrub Planting

SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



### Palm Planting

APPLIES TO: BABEL PALMS, WASHINGTON PALMS, CAJON PALMS, DATE PALMS.  
SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



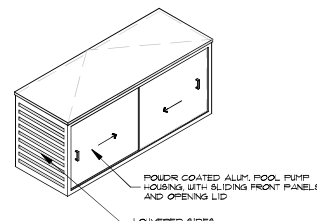
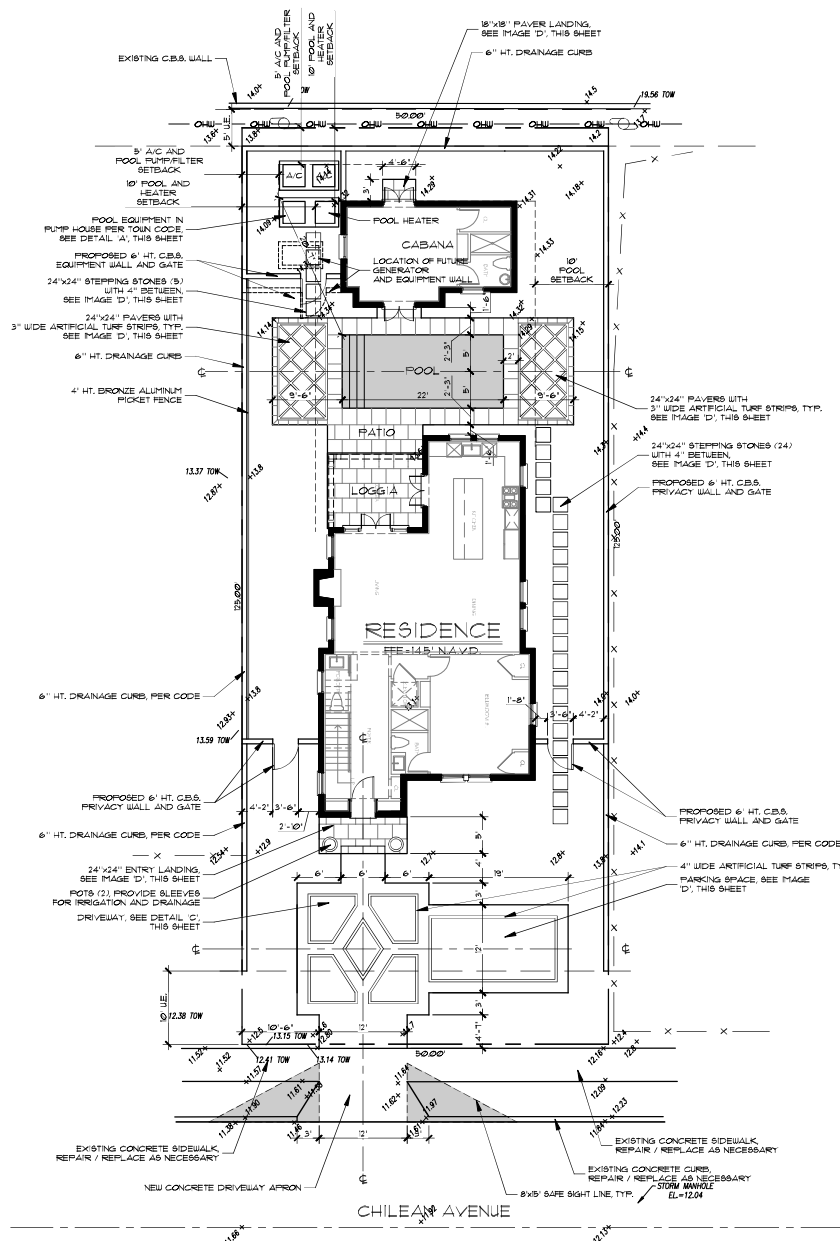
### Groundcover Planting

SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

## Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and soil shall have an automatic irrigation system providing 100% coverage. Said system shall consist of an automatic or electronic sensing device or switch that will override the irrigation cycle of the sprinkler system when adequate rainfall has occurred.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.
- Invasive species, including Brazilian Pepper, Australian Pine, Melaleuca, Drake Palm, Scaevola and Earleaf Acacia shall be eradicated in the development area and removed from the site.





**A** POOL PUMP ENCLOSURE DETAIL



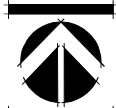
**C** DRIVEWAY: EPIPHANY BEIGE TABBY CONCRETE



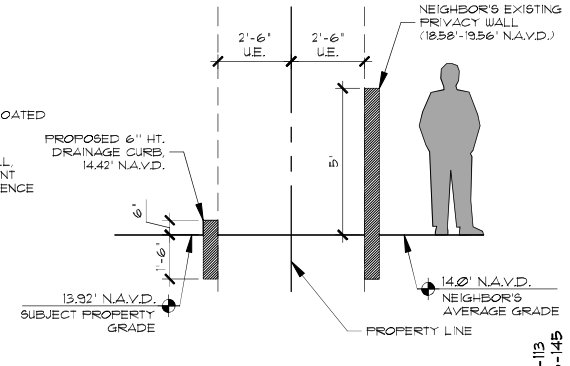
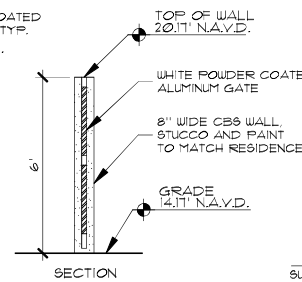
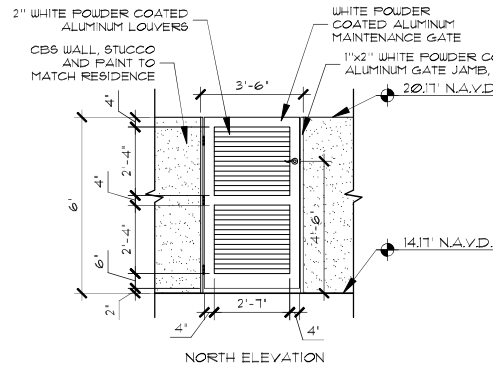
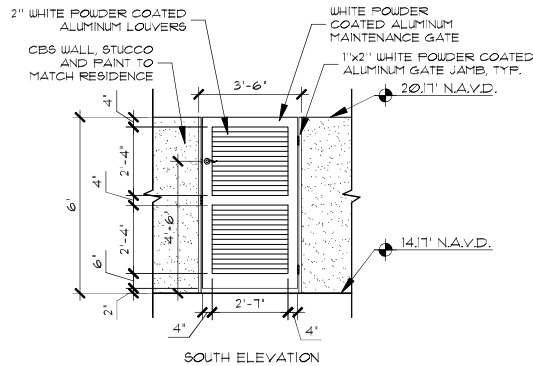
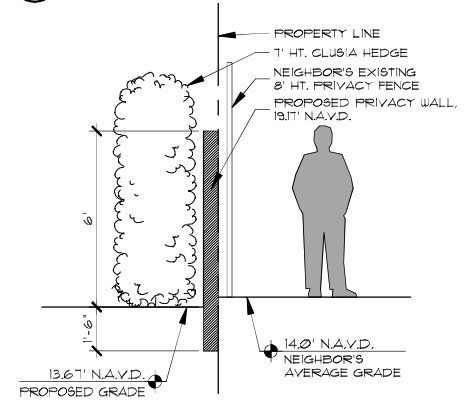
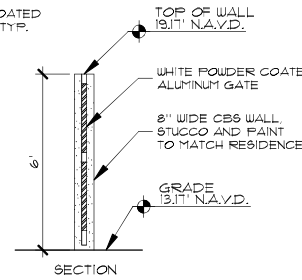
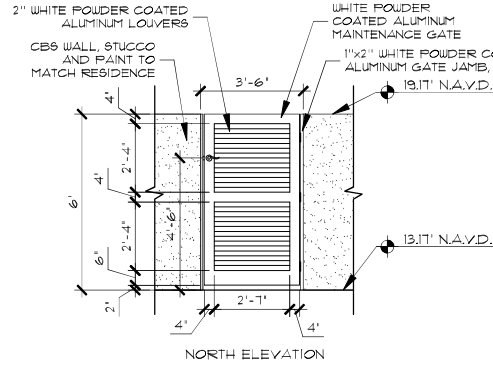
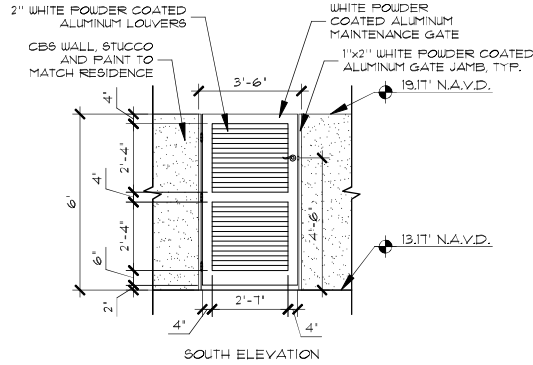
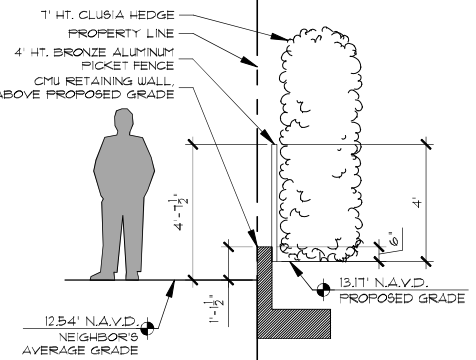
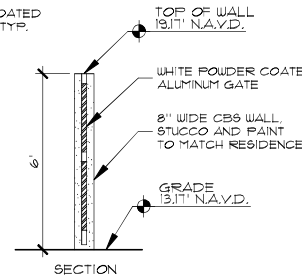
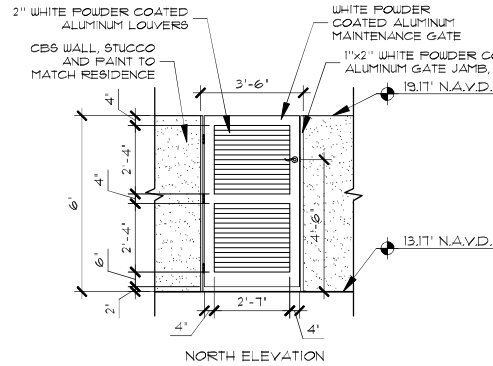
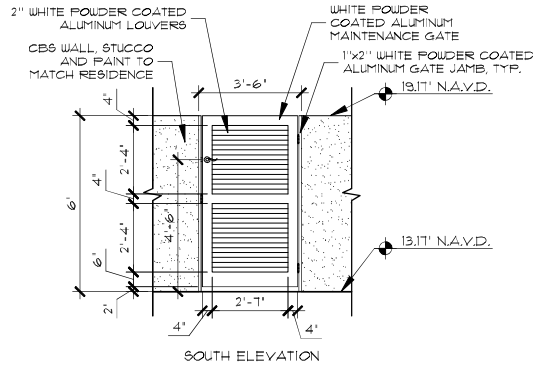
**D** PATIOS/LANDINGS: SUNSET BEIGE LIMESTONE BY HAIFA

### Layout Notes

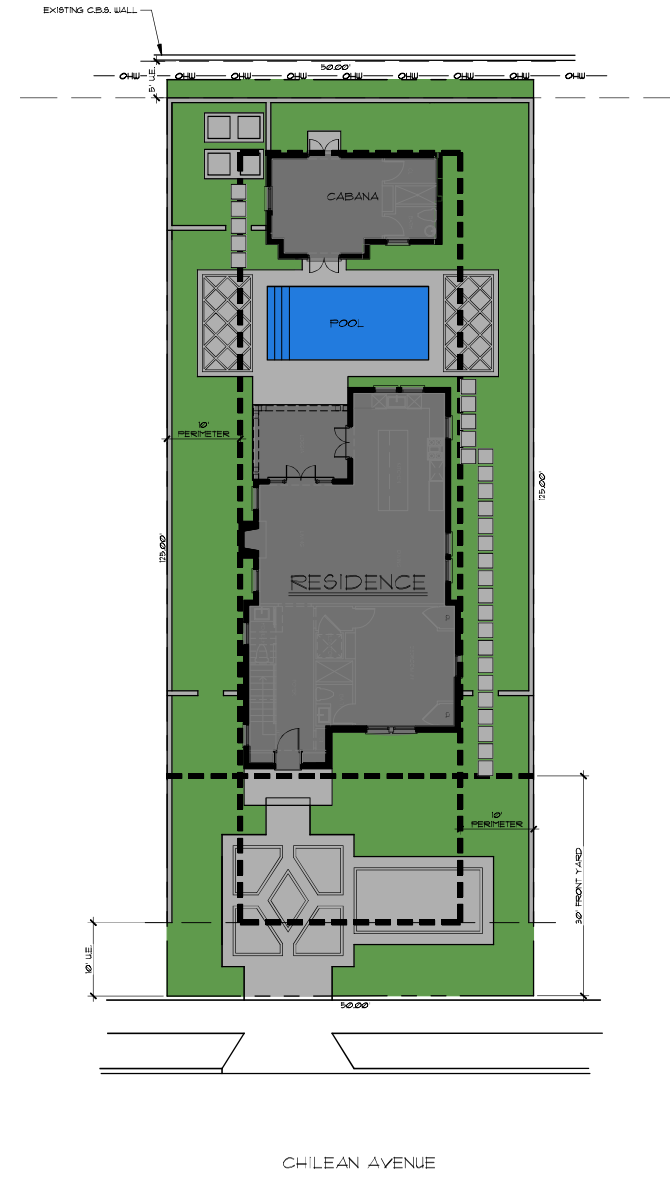
1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
2. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
4. ALL FILL FOR BERRING AND PLANTING BROUGHT TO THE SITE SHALL BE CLEAN, FRIABLE SANDY LOAM OF SLIGHTLY ACID TO NEUTRAL PH. ALL FILL SHALL BE FREE FROM STICKS, ROCKS, MARL, SOD AND OTHER DEBRIS.
5. REMOVE ALL ROAD BASE, SHELL, ROCK, MARL, CORAL ROCK, AND RUBBLE 30" MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT MIN. OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION AND ELECTRIC SLEEVES TO ALL PLANTERS.











## Town of Palm Beach

Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Landscape Legend		
1	Property Address:	123 Chilean Avenue	
2	Lot Area (sq. ft.):	6,248 sq. ft.	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	2,812 sq. ft. / 45%	2,838 sq. ft. / 45.4%
5	LOS to be altered (Sq Ft and %)	N/A	6,248 sq. ft. / 100%
6	Perimeter LOS (Sq Ft and %)	1,406 sq. ft. / 50%	2,274 sq. ft. / 80.8%
7	Front Yard LOS (Sq Ft and %)	600 sq. ft. / 40%	800 sq. ft. / 53.4%
8	Native Trees %	30% (number of trees)	100% (4)
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	38.2% (385)
10	Native Groundcover %	30% (groundcover area)	N/A

To determine qualifying native vegetation use either:  
[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)



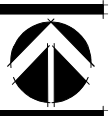
LANDSCAPE ARCHITECTURE  
PLANNING • GRAPHICS  
4125 Military Trail, Suite 202  
Jupiter, Florida 33458

Telephone: (561) 747-6069  
Fax: (561) 747-2041  
Email: [mail@pydg.com](mailto:mail@pydg.com)  
License #LA0001347

BISHOP RESIDENCE  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
LANDSCAPE OPEN SPACE DIAGRAM

DATE: 06/15/2013  
DRAWN BY: SW/L  
JOB NO: 23-092  
SCALE: 1/8"=1'-0"  
FILENAME: Bishop 09

REVISIONS:  
07/23 First Submittal  
07/23 Second Submittal  
11/4/23 Final Submittal  
12/14 Final Submittal



SHEET:  
L-18

ZON: 23-113  
ARC: 23-145



**BISHOP RESIDENCE**  
123 CHILEAN AVE.  
PALM BEACH, FLORIDA  
YARD SECTION DETAILS

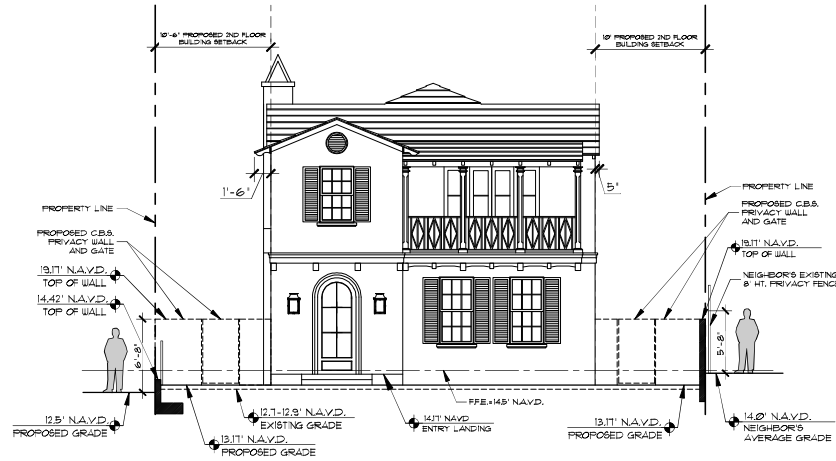
DATE: 08/15/2013  
DRAWN BY: BWJL  
JOB NO: 23-082  
SCALE: N/A  
FILENAME: Bishop 08

REVISIONS:  
8/23 First Submittal  
8/28/13 Second Submittal  
11/4/13 Final Submittal  
12/14 Final Submittal

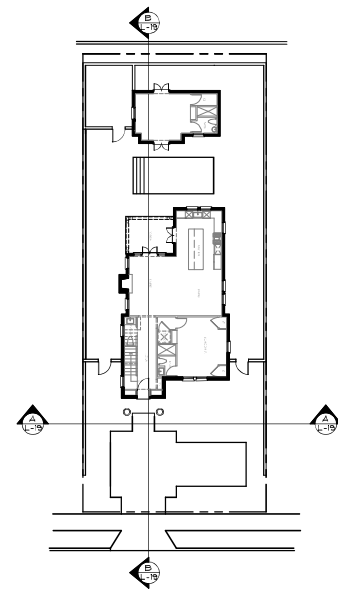


SHEET:  
**L-19**

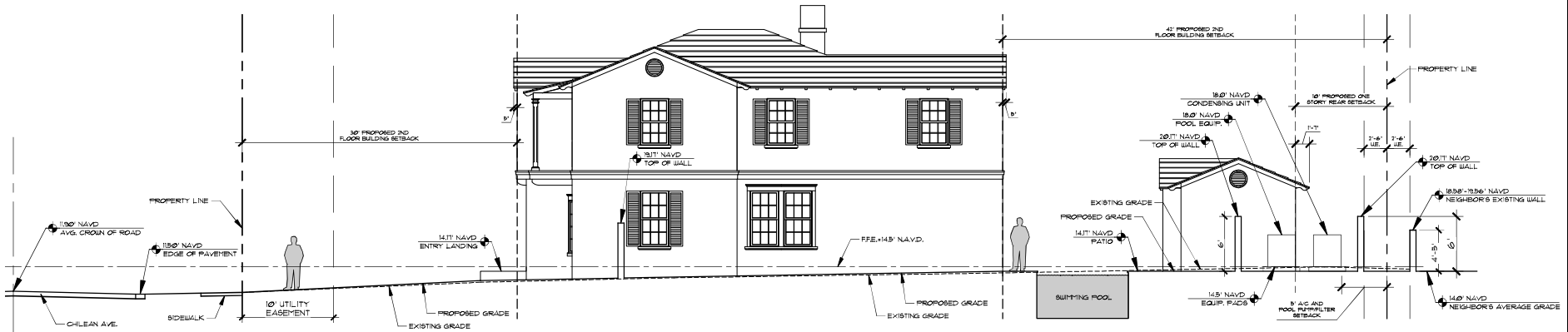
ZON: 23-113  
ARC: 23-145



**A**  
**L-19**  
YARD SECTION: WEST / EAST



**ELEVATION KEY**



**B**  
**L-19**  
YARD SECTION: SOUTH / NORTH



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 6,245 sq.ft.  
Drainage Area Impervious Surface = 3,436 sq.ft.  
Drainage Area Pervious Surface = 2,812 sq.ft.\*

\* Min. required by zoning code without a variance

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q=CIA)  
where:  
C = 1.0 (impervious surface)  
C = 0.2 (pervious surface)  
I = 2 in/hr

Impervious Surface Runoff Volume:  
1.0 x 2 in/hr x 3,436 sq.ft. x 1 ft./12 in. = 573 cu.ft.

Pervious Surface Runoff Volume:  
0.2 x 2 in/hr x 2,812 sq.ft. x 1 ft./12 in. = 94 cu.ft.

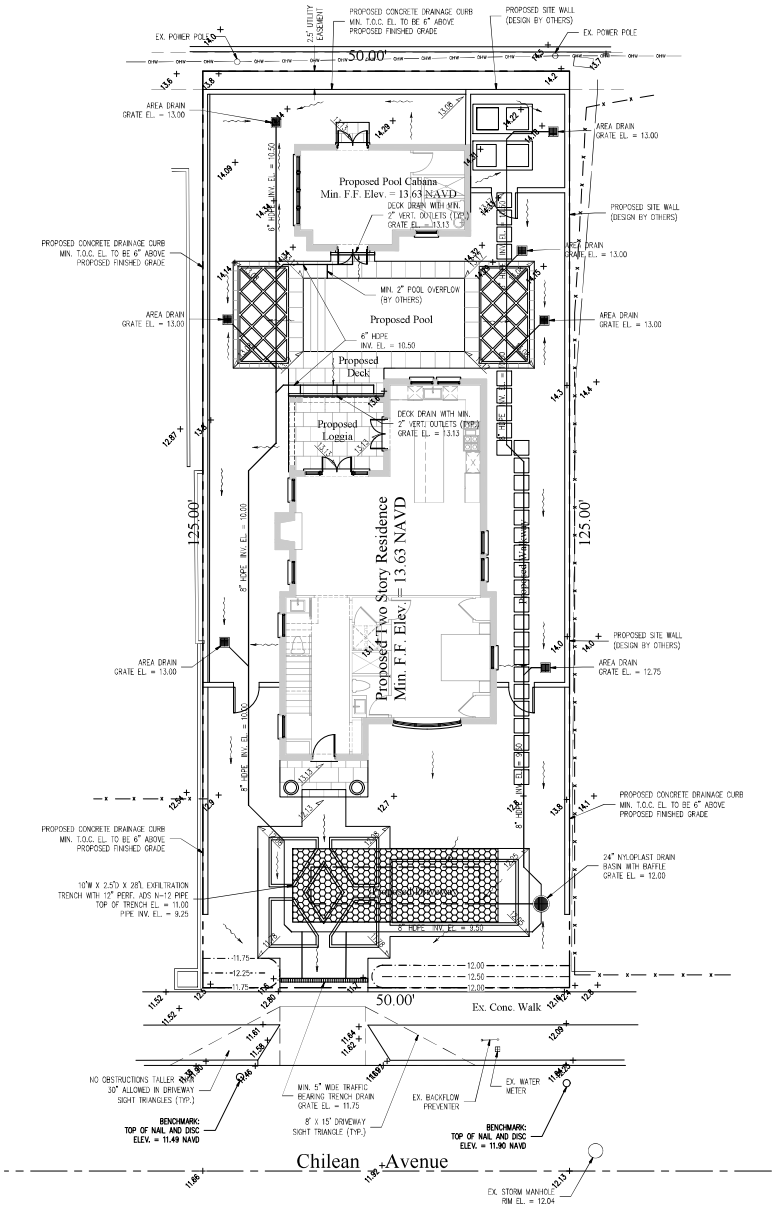
Total Volume to be Retained = 667 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L = Total Length of Trench Provided = 28 ft.  
W = Trench Width = 10 ft.  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft. of head  
H2 = Depth to Water Table = 6.00 ft.  
D1 = Unsaturated Trench Depth = 2.50 ft.  
D2 = Saturated Trench Depth = 0.00 ft.  
V = Volume Treated = 778 cu.ft.

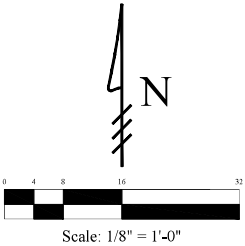
Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- 4) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 5) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 6) Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



48 HOURS BEFORE DIGGING  
CALL  
1-800-433-4778  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.  
Contractors responsible for obtaining  
location of existing utilities prior to  
development of construction activities



Gruber Consulting  
Engineers, Inc.  
2475 MIDWAY AVE., SUITE 100  
DADE CITY, FL 34608  
PHONE: 813.121.2461  
info@gruberengineers.com

Project Information			
Project No.	2023-113	Scale	1/8" = 1'-0"
Issue Date	09/22/2023	Drawn By	CS
Check By	CS	Checked By	CS

Conceptual Site Grading & Drainage Plan For:  
**Proposed Residence**  
123 Chilean Avenue  
Palm Beach, Florida

Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber  
FL P.E. No. 57466

Sheet No.  
**C-1**

This item has been electronically signed and sealed by Chad M. Gruber  
on the date adjacent to the seal using a SEA authentication code.  
Printed copies of this document are not considered signed and sealed and  
the SEA authentication code must be verified on any electronic copy.

Plan Background from Hardscape Plan by  
Parker-Tannette Design Group Received 9/22/23

ARC-23-145  
ZON-23-113

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**GRUBER CONSULTING ENGINEERS**

## LANDSCAPE/DRAINAGE PLAN CONFLICT STATEMENT

To: Planning Administrator  
Town of Palm Beach

From: Chad M. Gruber, P.E.

Re: Proposed Residence  
123 Chilean Ave.  
Palm Beach, FL

Date: September 22, 2023

I have reviewed the landscape plan prepared by Parker-Yannette Design Group for the referenced project received 9/22/23 and compared it with the latest conceptual drainage plan prepared by this office dated 9/22/23. There do not appear to be any conflicts between the proposed landscape material and the storm piping and exfiltration trenches.

Please feel free to contact me if you have any questions.

Sincerely,

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Chad M. Gruber, P.E.  
Florida P.E. No. 57466

Cc: File