

DROP OFF - HSB-23-009 (ZON-23-111)

A REMODEL AND ADDITION TO:

269 PARK AVENUE

LANDMARKS - 12-20-23 - TOWN COUNCIL - 1-10-23

RECEIVED

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(3561-820-8088
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RD 0017698 RD 94845
TCRD 60164 BCRD 6765
RR 26001461



DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE

PALM BEACH, FLORIDA

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ABBREVIATIONS

ABV	ABOVE	GALV.	GALVANIZED	F.T.	PRESSURE TREATED
AFCI	ARC FAULT CURRENT INTERRUPT	GFCI	GROUND FAULT CURRENT INTERRUPT	PARTN.	PARTITION
AFF	ABOVE FINISHED FLOOR	GL.	GLASS	PKT.	POCKET
AHU	AIR HANDLER UNIT	GWB	GYPSPUM WALLBOARD	PLYWD.	PLYWOOD
BF.	BI FOLD	GYP. BD.	GYPSPUM WALLBOARD	FR.	FAIR
B.P.	BI PASS	HGT.	HEIGHT	R.O.	ROUGH OPENING
BLK.	BLOCK	HPS.	HOOPS	RISH	RACK AND SHELF
BLW.	BELOW	HR	HOUR	S.C.	SOLID CORE
BRG.	BEARING	H6	HORIZONTAL SLIDING	S.G.D.	SLIDING GLASS DOOR
BTM.	BOTTOM	HVHZ	HIGH VELOCITY HURRICANE ZONE	SF	SQUARE FOOT
CLG.	CEILING	INS.	INSULATION	SH	SINGLE HUNG
CLR	CLEAR	INT.	INTERIOR	SM6	SHEET METAL SCREWS
CMU	CONCRETE MASONRY UNITS	LG.	LONG	S.S.	STAINLESS STEEL
COL.	COLUMN	LIN.	LINEN	ST.	STIRRUPS
CONC.	CONCRETE	L.T.	LIGHT	STL.	STEEL
CSMT.	CABINET	L.T.	LAUNDRY TUB	SW	SWITCH
DSL	DOUBLE	M.C.	MEDICINE CABINET	SWOT.	SHEARWALL OVERTURNING FORCE
DIA.	DIAMETER	M.E.	MATCH EXISTING	TEMP.	TEMPERED
DISP.	DISPOSAL	M.R.H.	MEAN ROOF HEIGHT	T.B.	THROUGH BOLT
DP	DESIGN PRESSURE	M.T.	METAL THRESHOLD	T.O.	THROUGH OUT
DR	DOOR	MAX.	MAXIMUM	T.O.B.B.	TOP OF MASONRY BOND BEAM
DW	DISH WASHER	MFR.	MANUFACTURER		
EE.	EACH END	MICRO.	MICROWAVE	T.O.P.L.	TOP OF WOOD PLATE
ELEC.	ELECTRICAL	MIN.	MINIMUM	T.O.T.B.	TOP OF TIE BEAM
ELEV.	ELEVATION	M.O.	MASONRY OPENING	TYP.	TYPICAL
EA.	EACH SIDE	MONO.	MONOLITHIC	U.ON.	UNLESS OTHERWISE NOTED
EXT.	EXTERIOR	MTL.	METAL	UL	UNDERWRITERS LABORATORIES
F.B.C.	FLORIDA BUILDING CODE	N.I.C.	NOT IN CONTRACT	U.C.	UNDER COUNTER
F.R.	FIRE RATED	O.H.D.	OVER HEAD DOOR	V.I.F.	VERIFY IN FIELD
FR	FRENCH DOOR	O.V.C.	ON CENTER	W.A.	WEDGE ANCHORS
FIN.	FINISHED	O.V.C.	ON CENTER	W.	WITH
FL.	FLOOR	P.L.F.	POUNDS PER LINEAR FOOT	WC	WATER CLOSET
G.T.	GIRDER TRUSS	P.S.F.	POUNDS PER SQUARE FOOT	WD.	WOOD
GA.	GAUGE	P.S.I.	POUNDS PER SQUARE INCH		

FLORIDA BUILDING CODE 2020

W/ NFPA 70 2014 EDITION, NATIONAL ELECTRIC CODE & FLORIDA STATUTES
WIND SPEED = 110 MPH V (ULT), 132 MPH V (ASD)
WIND IMPORTANCE FACTOR - I_w
R3, RENOVATION LEVEL 2
EXPOSURE D
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - G_{en1} = 0.18
MEAN ROOF HEIGHT = 28'-0"

PROJECT INDEX

C1	COVER SHEET	#1.0	FLOOR PLANS, NOTES AND SCHEDULES
S1	SURVEY	#1.1	ROOF PLANS
S11	STEREOSCOPE ELEVATION	#2.0	EXISTING AND PROPOSED ELEVATIONS
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PH2	PHOTOGRAPHS	#2.1b	PROPOSED ELEVATIONS
PH3	PHOTOGRAPHS	#2.2	EXISTING AND PROPOSED ELEVATIONS
PH4	PHOTOGRAPHS	#2.2b	PROPOSED ELEVATIONS
SP1	SITE PLAN, VICINITY LOCATION MAP, LOCATION PLAN, CALCULATIONS	#2.5	OPEN SPACE DIAGRAM
SP2	ZONING DIAGRAM	#3.0	SECTIONS
SP3	CONSTRUCTION SCHEDULING PLAN	#4.0	DOOR AND WINDOW DETAILS
D1.0	DEMOLITION PLAN, NOTES AND SCHEDULES	VD	VARIANCE DIAGRAM
D1.1	DEMOLITION ELEVATION 1, NOTES AND SCHEDULES	L1	LANDSCAPE PLAN
D1.2	DEMOLITION ELEVATION 2, NOTES AND SCHEDULES		PERSPECTIVE RENDERINGS
D1.3	DEMOLITION ELEVATION 3, NOTES AND SCHEDULES		
D1.4	DEMOLITION ROOF PLAN, NOTES AND SCHEDULES		

PROJECT TEAM

SURVEYOR: WALLACE SURVEYING
ARCHITECT: BRASSEUR AND DROBOT ARCHITECTS, P.A.
CONTRACTOR: T.B.D.

SCOPE OF WORK

CONSTRUCTION OF (2) DORMERS ON THE EAST AND (2) DORMERS ON THE WEST SIDE OF THE EXISTING 3RD FLOOR ROOF, AN INTERIOR REMODEL TO THE HOUSE AND IN THE EXISTING 3RD FLOOR ATTIC / STORAGE SPACE WITH AN EXISTING BATHROOM REMODEL AND SHED BEING RELOCATED. AN ADDITION OF A DUTCH COLONIAL GABLE ENTRY FEATURE TO MATCH THE REMOVED ORIGINAL FROM 1923. THE PROPOSED GABLE ENTRY FEATURE WILL HAVE A BALCONY AT THE 2ND FLOOR.

COVER SHEET

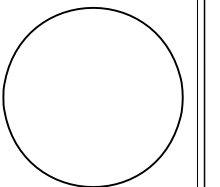
SHEET: 1

OF: -

SEALING BY:

JEFFREY D. BRASSEUR - AR 0017698

MICHAEL P. DROBOT - AR 94845



JOB #: 22-010

DATE: 11-27-23

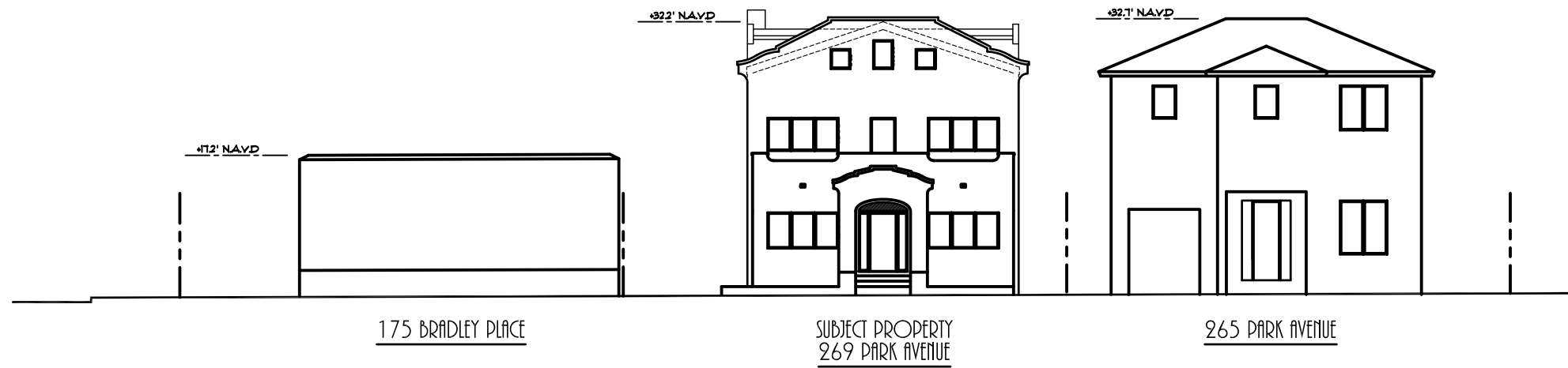
DESIGNED BY: JDB

DRAWN BY: JDB

CHECKED BY: JDB

REVISIONS:

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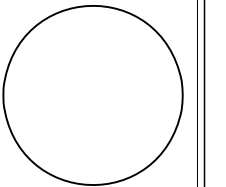
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SEAL BY:
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 JACOB P. DROBOT - AR 94845



JOB #: 22-010
DATE: 11-27-23
DESIGNED BY: JDB
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CHECKED BY: JDB

REVISIONS:
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1/PH1 - SOUTH ELEVATION ELEVATION SUBJECT PROPERTY



2/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



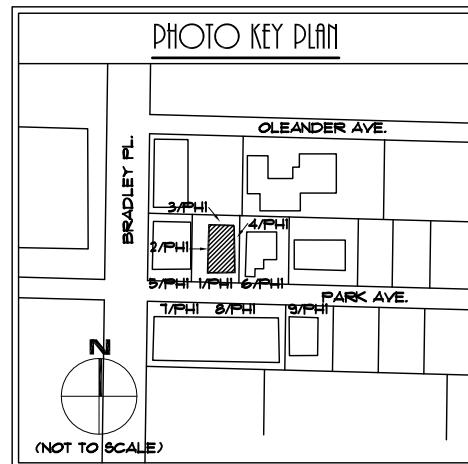
3/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



4/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



5/PH1 - 175 BRADLEY PLACE



6/PH1 - 265 PARK AVENUE



7/PH1 - 165 BRADLEY PLACE



8/PH1 - 165 BRADLEY PLACE PARKING



9/PH1 - 262 PARK AVENUE

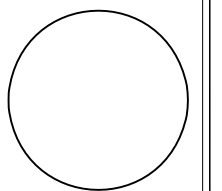


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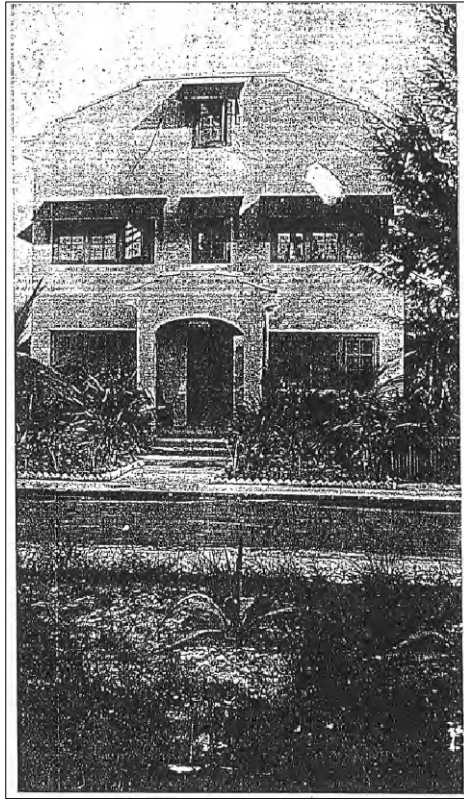
FILED BY:
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 JASON P. DROBOT - BR 94843



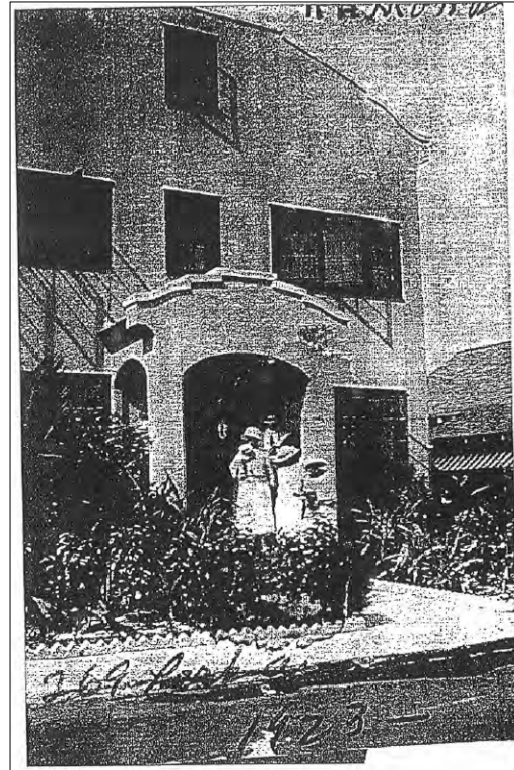
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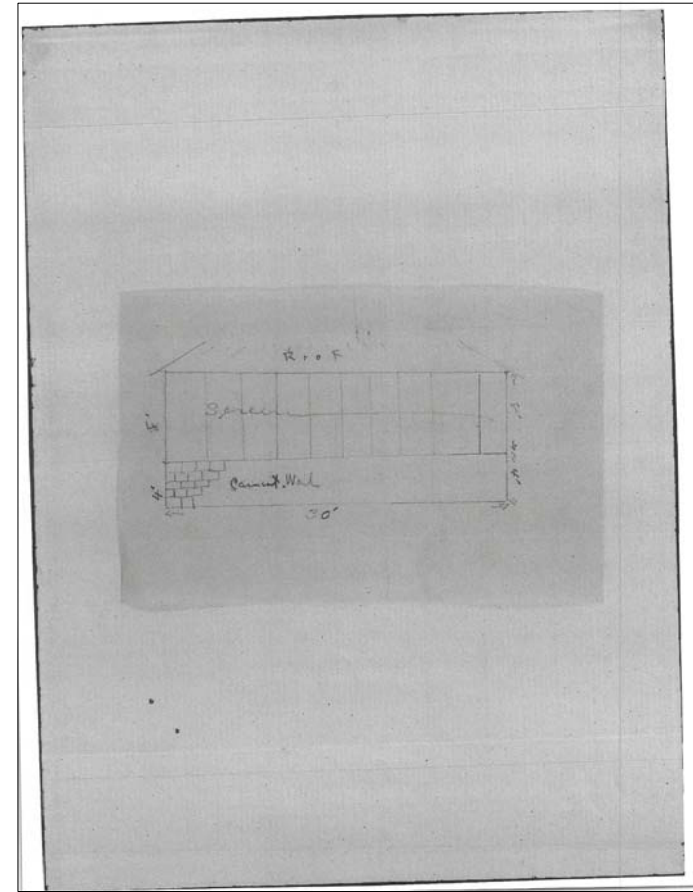




ORIGINAL SOUTH ELEVATION



ORIGINAL SOUTH ELEVATION - CA. 1923



1927 PERMIT - 1-STORY - ADDITION ELEVATION

No. 18354 Palm Beach, Florida May 28 1954

TO THE BUILDING INSPECTOR
OF PALM BEACH, FLORIDA

The undersigned requests that you grant a permit to
Mr. Paul Brown
TO CONSTRUCT Alter interior partitions - create 4 apartments on
CLASS OF ZONE Business first floor.
as per plans and specifications submitted with this application.

Class of Building Apartment Hotel Size of Addition No Addition
Material Frame Roofing None this permit

Located on Lot Block Addition
On 269 Park Avenue Street, Between Bredley Place and N. County Road
Owner's Name Mrs. Pearl C. Brown Address
Builder's Name Owner Address
Architect Lawrence S. Funke (2 signed)
Approximate Cost 2500. Height Story on first

Now, therefore, in consideration of this permit, the owner and builder agree to undertake said work in full compliance with the ordinances of the Town of Palm Beach, Florida, and further agree that no work shall be undertaken prior to securing a building permit, issued by the building inspector.

Signed: Paul C. Brown Applicant
Owner says 3rd floor used only for storage. Persons do not sleep there.
off street parking: 2 cars on property, arrangements for 4 cars across street at Blair Bros. parking lot.

PLOT PLAN
Before me, the undersigned authority, personally appeared to me well known, who being duly sworn deposes and says that the foregoing application signed by applicant is true in point of fact.
Fire damage on travert house repaired as a part of this permit.
Sworn to and subscribed before me this _____ day of _____, A. D. 19____

Notary Public State of Florida

1954 PERMIT - 3-STORY - STORAGE

No. 721 Palm Beach, Florida _____ 19____

TO THE BUILDING INSPECTOR
OF PALM BEACH, FLORIDA:

The undersigned requests that you grant a permit to Mr. Paul C. Brown
TO CONSTRUCT: Change to residence
CLASS OF ZONE Residential
as per plans and specifications submitted with this application.

Class of Building _____ Size of Addition 14' x 10'
Material Brick Roofing Asph/Flt

Located on Lot 18 Block Addition to existing part
On Park Ave Street, Between County Rd and Bradley Place
Owner's Name Paul C. Brown Address 269 Park Ave
Builder's Name Owner Address Same
Approximate Cost 1500 Height 1 1/2 Story One

Now therefore, in consideration of the granting of this permit, the owner and builder agree to undertake said work in full compliance with the ordinances of the Town of Palm Beach, Florida, and further agree that no work shall be undertaken prior to securing a Building Permit, issued by the Building Inspector.

Signed: Paul C. Brown Applicant

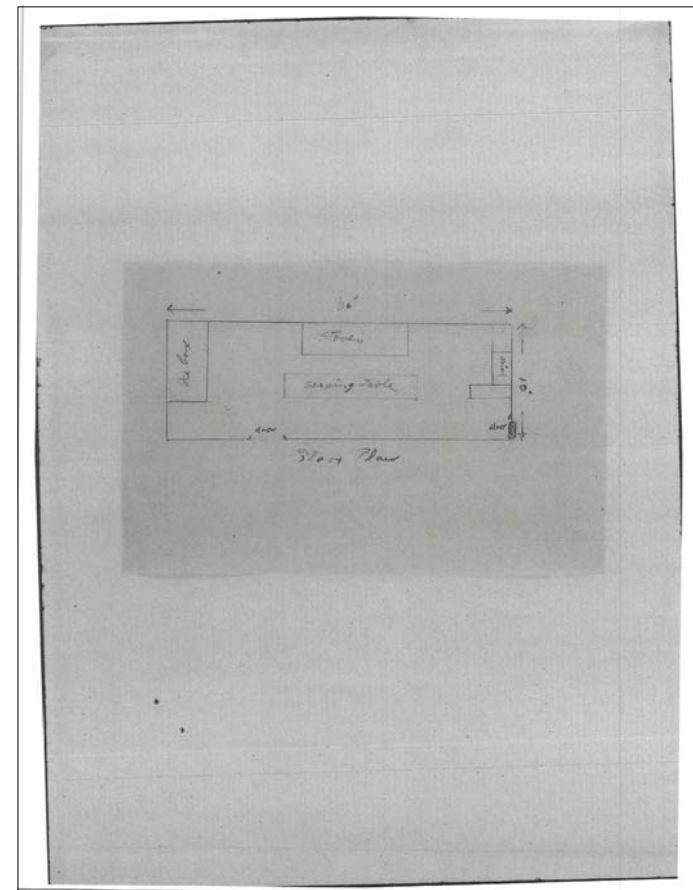
State of Florida, }
County of Palm Beach, }

Before me, the undersigned authority, personally appeared _____ to me well known, who being duly sworn deposes and says that the foregoing application signed by applicant, is true in point of fact.

Sworn to and subscribed before me this _____ day of _____
I. D. 19____

Notary Public State of Florida

1927 PERMIT - 1-STORY - ADDITION



1927 PERMIT - 1-STORY - ADDITION PLAN

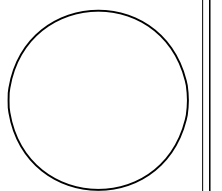


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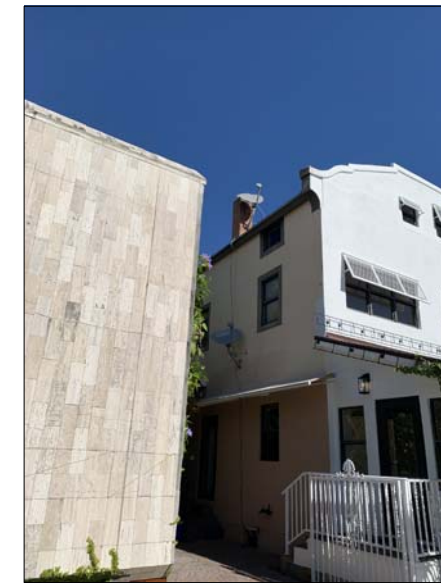
EXISTING 3RD STORY STORAGE AREA



EXISTING 3RD STORY TOILET ROOM



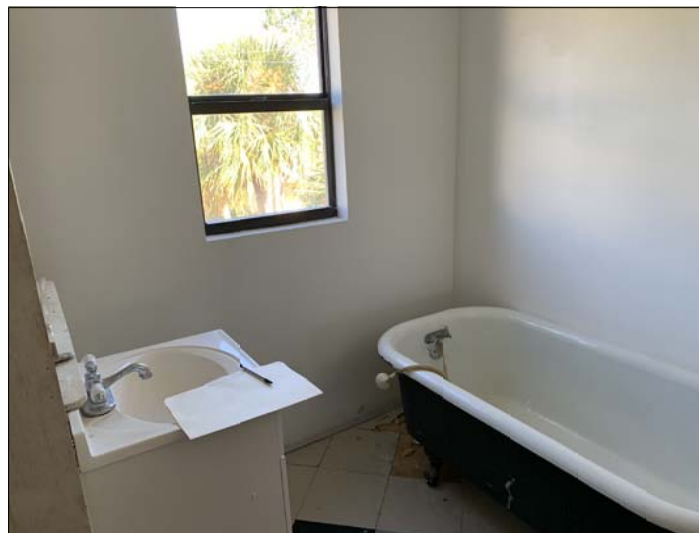
EAST ELEVATION



WEST ELEVATION



EXISTING 3RD STORY STORAGE AREA



EXISTING 3RD STORY BATHROOM



SOUTH ELEVATION

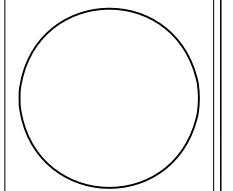


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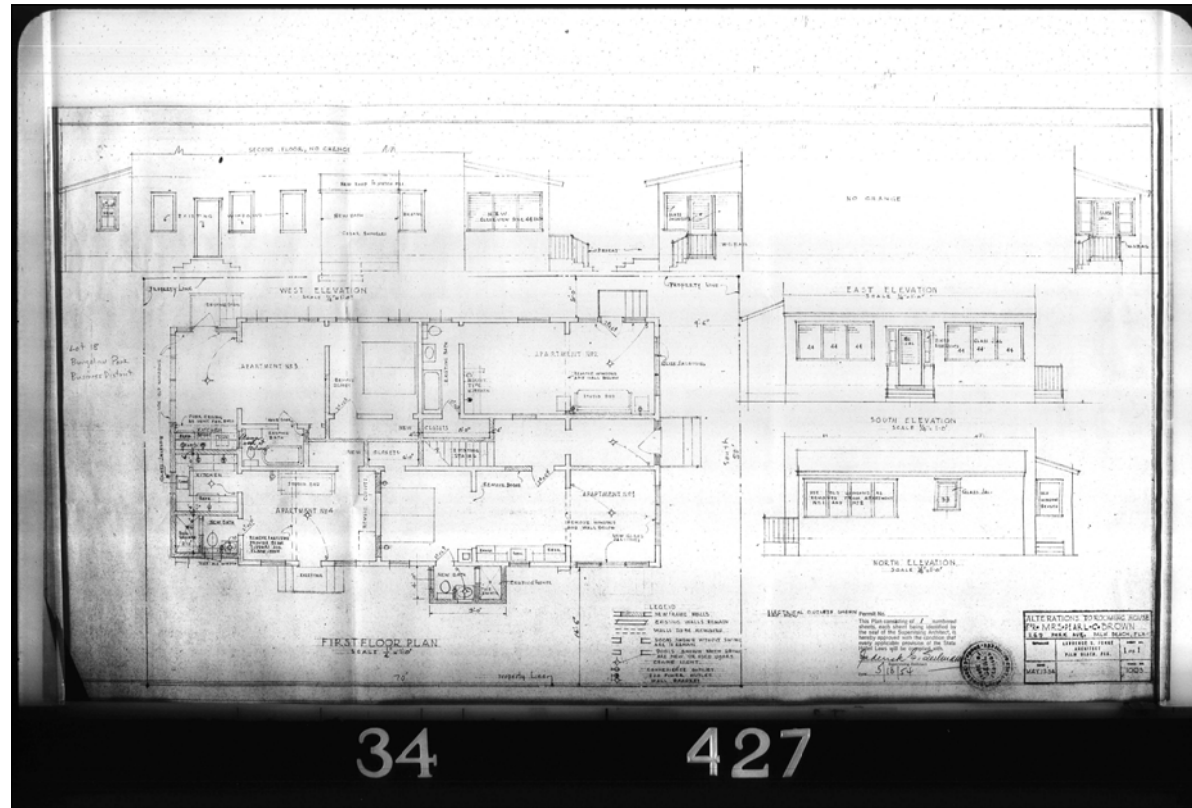
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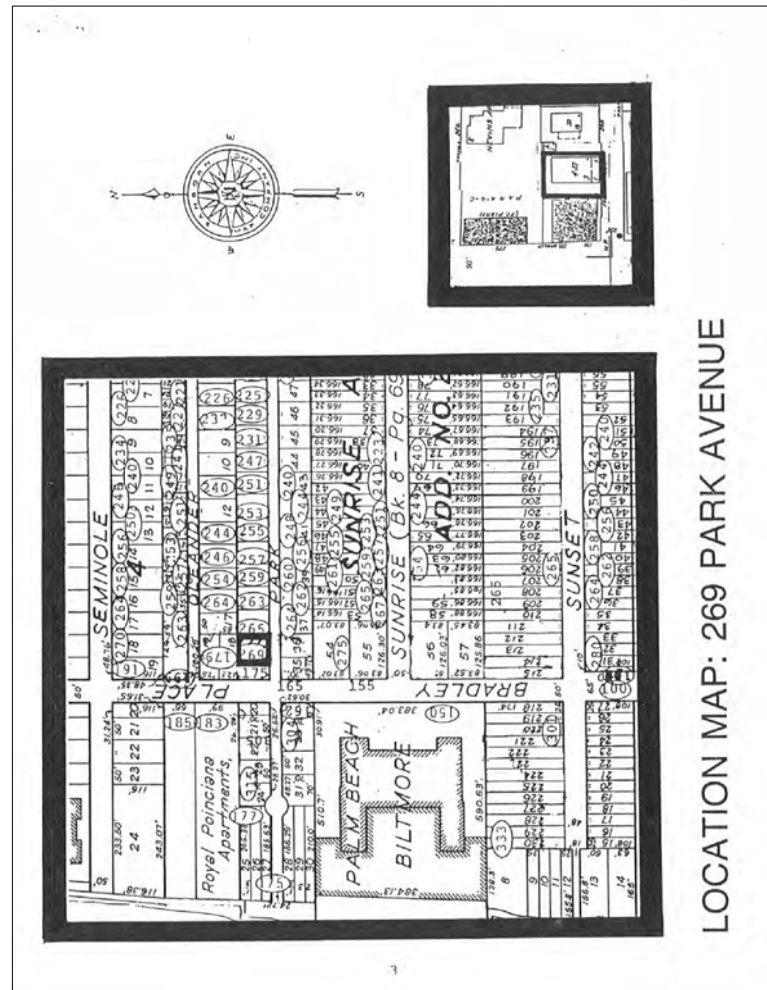
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PERMIT DRAWING 1954



HISTORIC TAX MAP W/ FRONT ADDITION

LOCATION MAP: 269 PARK AVENUE



102 SEAVIEW AVENUE



SEASPRAY AVENUE



YATES HOUSE 1730



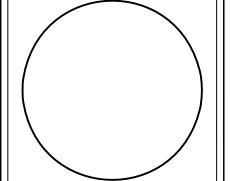
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SITE PLAN NOTE

1. THE ARCHITECTURAL SITE PLAN IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVES, AND SITE FEATURES ONLY. THE OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50% COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SETBACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS PLAN, THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THE CONFLICTS.

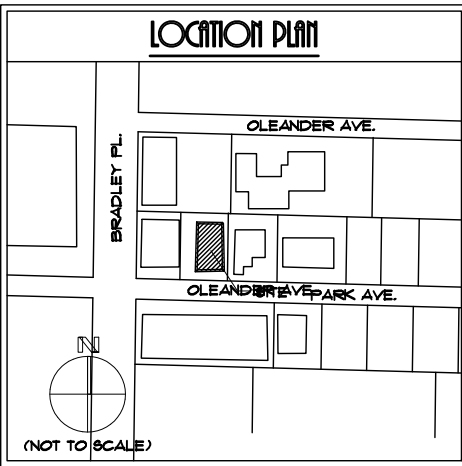
SITE INFORMATION

WALLACE SURVEYING CORP.
 L.B. 4569
 5593 VILLAGE BLVD.
 WEST PALM BEACH, FL 33407
 DATED 1-10-2022

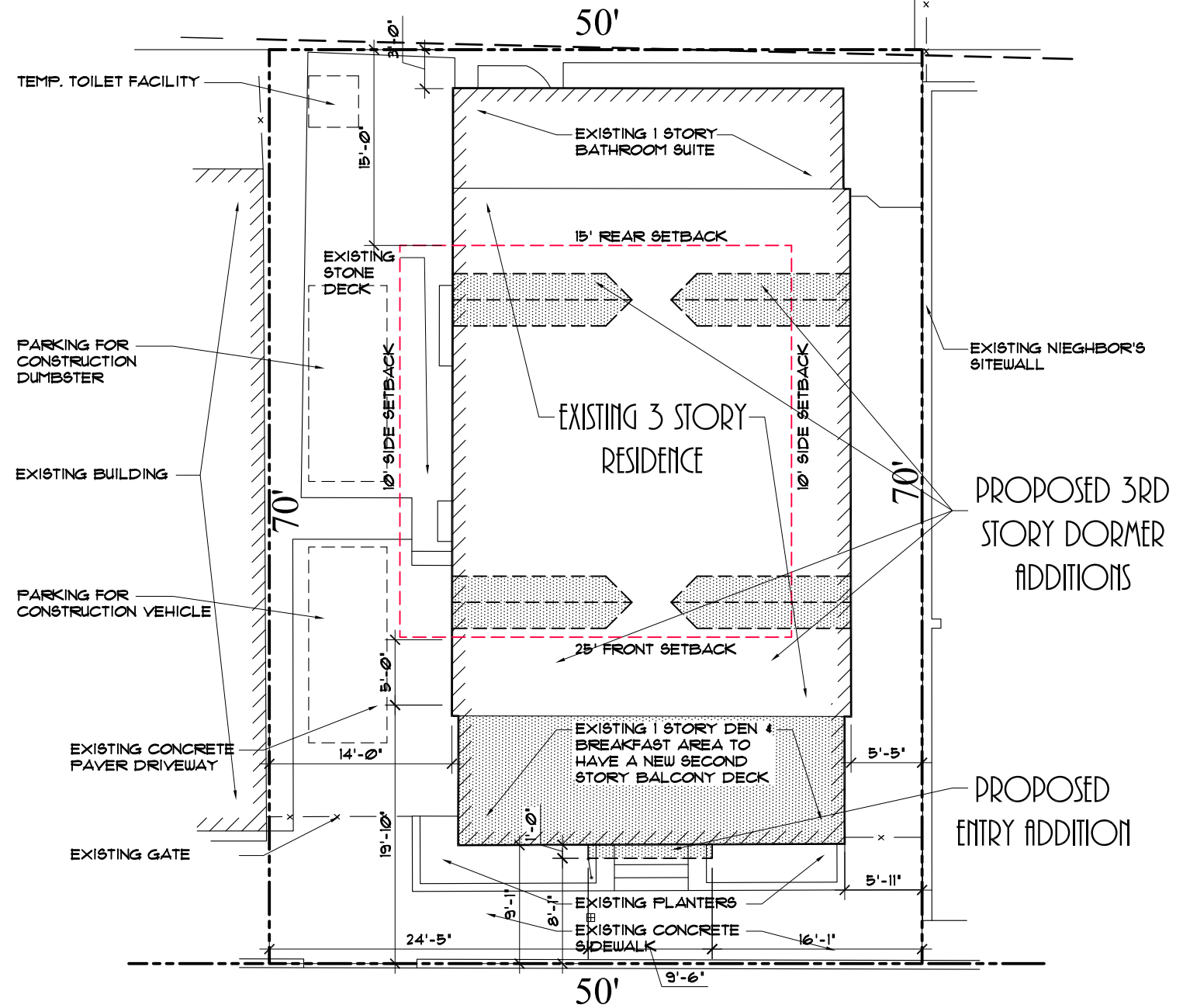
LEGAL DESCRIPTION

MUNICIPALITY: PALM BEACH
 PARCEL CONTROL NUMBER: 50-43-43-15-08-000-0100
 SUBDIVISION: BUNGALOW PARK ADD IN
 OFFICIAL RECORDS BOOK: 33095 PAGE: 491
 LEGAL DESCRIPTION: BUNGALOW PARK ADD LT 10

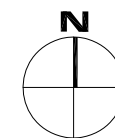
LOCATION PLAN



VICINITY LOCATION MAP



PARK AVENUE



SITE PLAN
 SCALE: 3/16" = 1'-0"

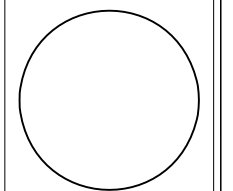


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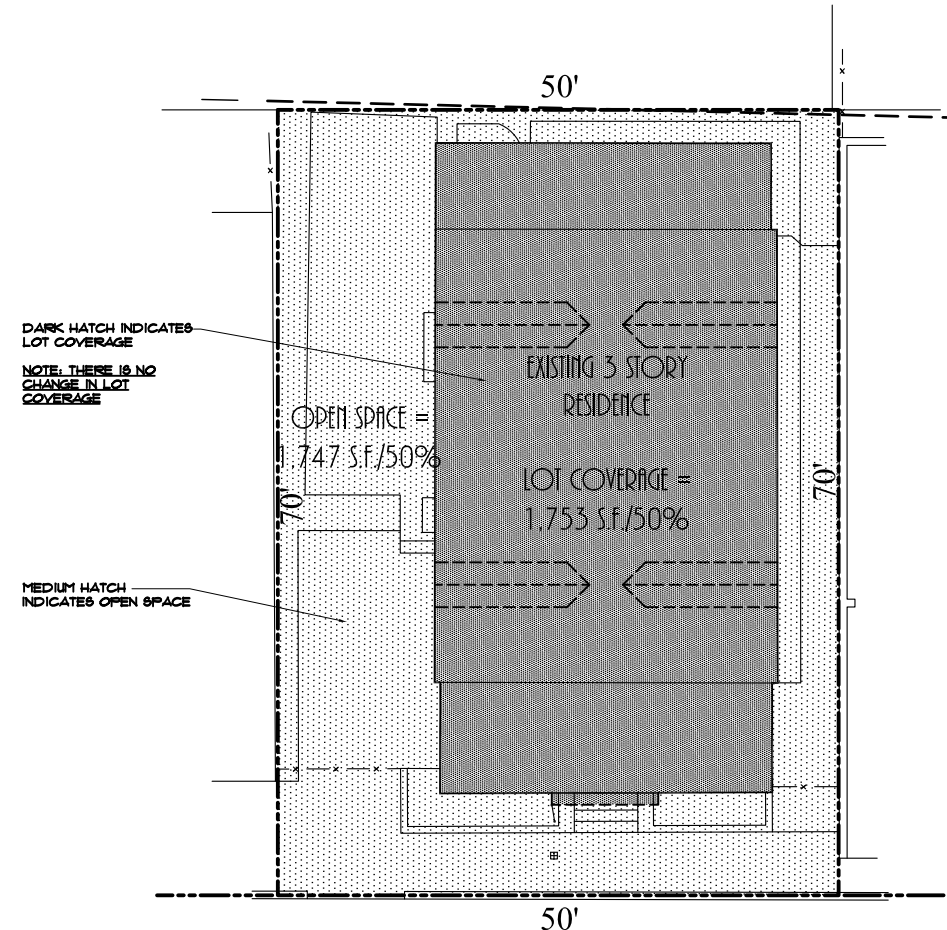
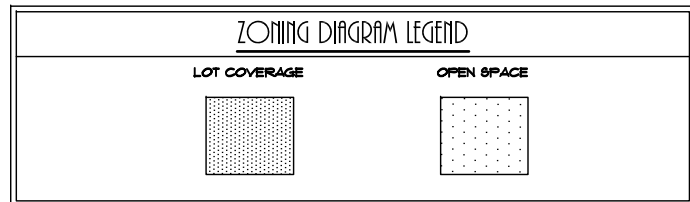
Town of Palm Beach
 Planning Zoning and Building
 360 S County Rd
 Palm Beach, FL 33480
 www.townofpalmbeach.com

Zoning Legend			
Line #	Property Address:	269 Park Avenue	
1	Zoning District:	R-C	
2	Lot Area (sq. ft.):	3,500 s.f.	
3	Lot Width (W) & Depth (D) (ft.):	50' & 70'	
4	Structure Type:	Single Family	
5	(Single-Family, Multi-Family, Comm., Other)		
6	FLMA Flood Zone Designation:	AE - Special Flood Hazard Area	
7	Zero Datum for point of meas. (NAVD)	7.00' NAVD	
8	Crown of Road (COR) (NAVD)	1.38' NAVD	
9		REQ'D / PERMITTED	EXISTING
10	Lot Coverage (Sq Ft and %)	1,050 S.F./30%	1,753 S.F./50%
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Access Structure, etc)	2,100 S.F.	4,169 S.F.
12	*Front Yard Setback (Ft.)	25'	9.1'
13	*Side Yard Setback (1st Story) (Ft.)	10'	5.4' & 14'
14	*Side Yard Setback (2nd Story) (Ft.)	10'	5.4' & 14'
15	*Rear Yard Setback (Ft.)	15'	3'
16	Angle of Vision (Deg.)	NA	NA
17	Building Height (Ft.)	23.5'	25.2'
18	Overall Building Height (Ft.)	23.5'	25.2'
19	Cubic Content Ratio (CCR) (R-B ONLY)	NA	NA
20	** Max. Fill Added to Site (Ft.)	NA	NA
21	Finished Floor Elev. (FFE)(NAVD)	7.0' NAVD	4.01' NAVD
22	Base Flood Elevation (BFE)(NAVD)	7.0' NAVD	4.01' NAVD
23	Landscape Open Space (LOS) (Sq Ft. and %)	1,575 S.F./45%	594 S.F./17%
24	Perimeter LOS (Sq Ft. and %)	786 S.F./50%	594 S.F./37.7%
25	Front Yard LOS (Sq Ft. and %)	NA	NA
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

* Indicate each yard area with cardinal direction (N,S,E,W)
 ** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1609)
 *** Provide Native plant species info per categories as required by Ord. 001-2021 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.
 Enter N/C if value is not changing.

REV 01/2023/06/26

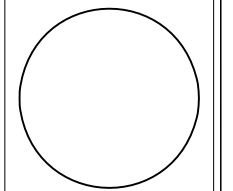


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 JASON P. DROBOT - BR 94843



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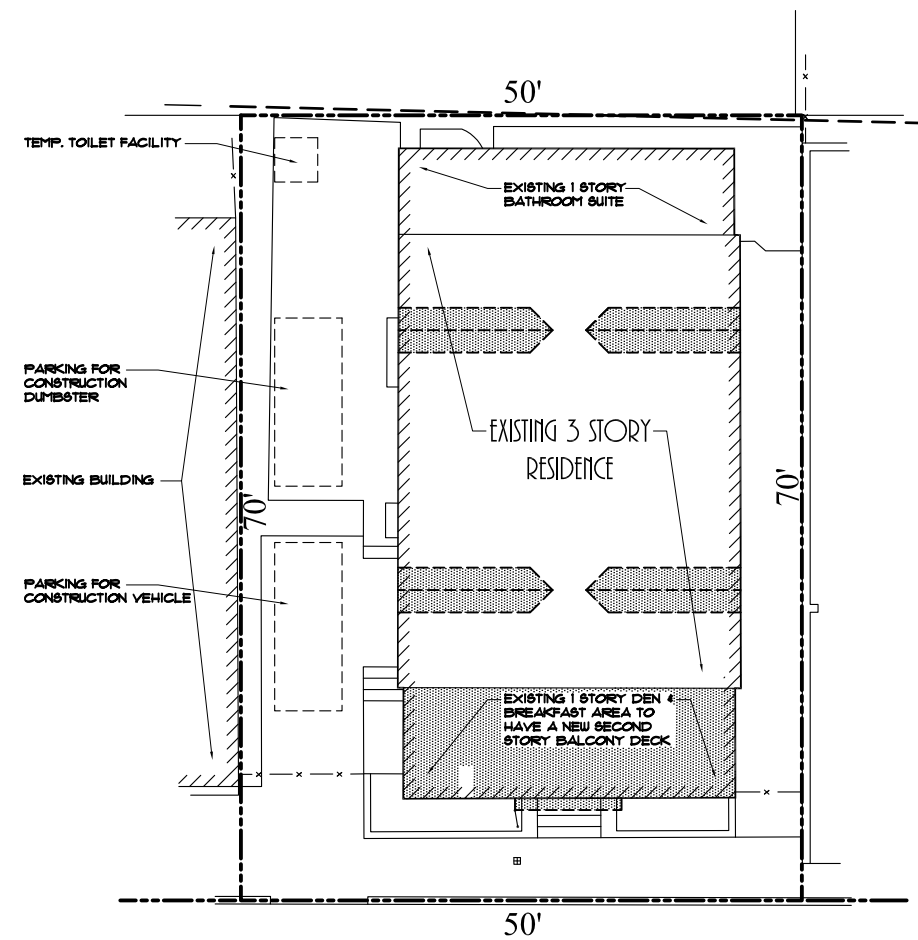
PARK AVENUE

ZONING DIAGRAM

SCALE: 1/8" = 1'-0"

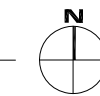
SHEET: 7 OF -

TRUCK LOGISTICS PLAN



PARK AVENUE

CONSTRUCTION STAGING PLAN



SCALE: 1/8" = 1'-0"

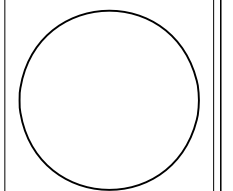


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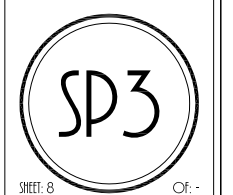
DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
PALM BEACH, FLORIDA

PREPARED BY:
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 JASON P. DROBOT - AR 94843



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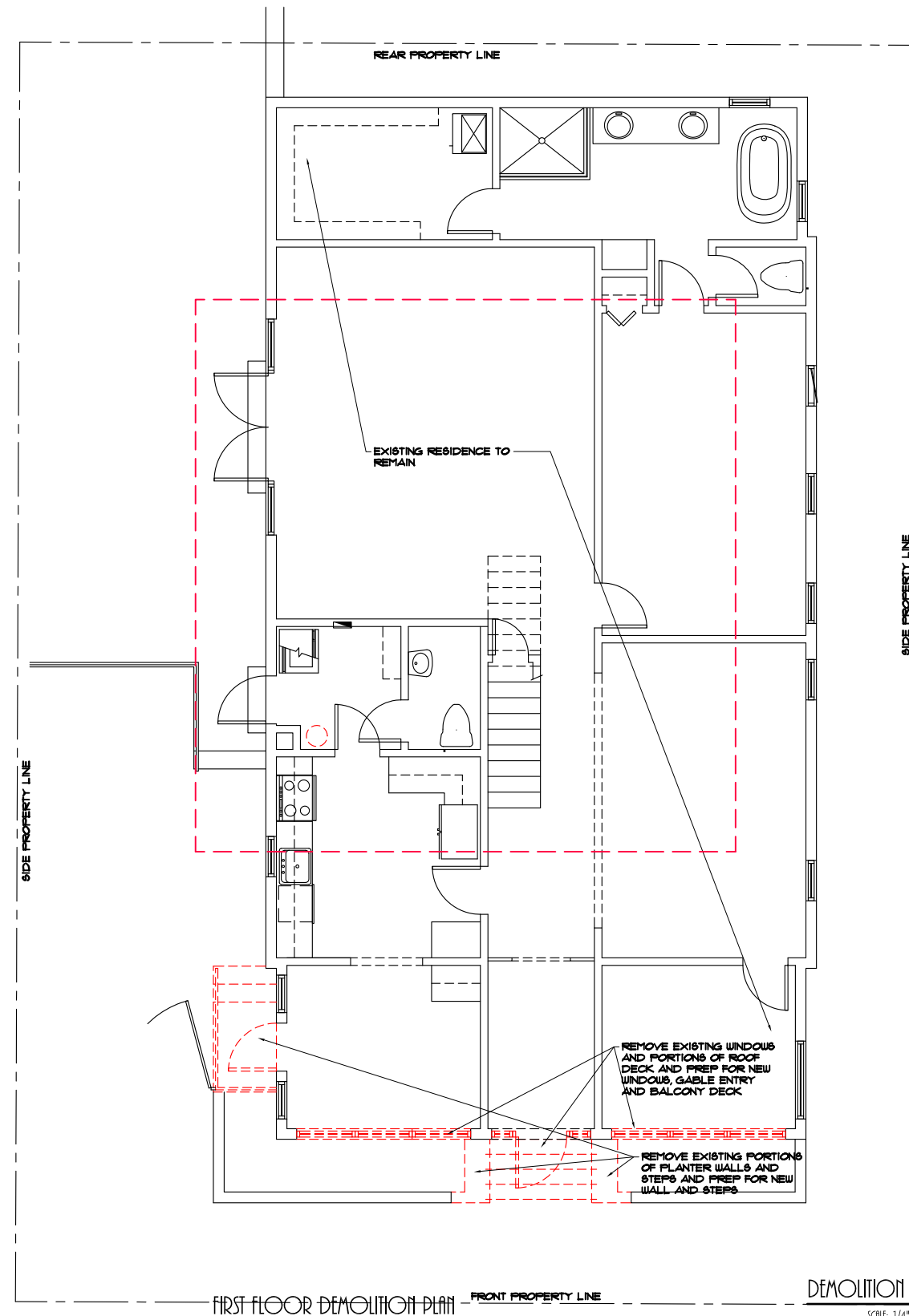
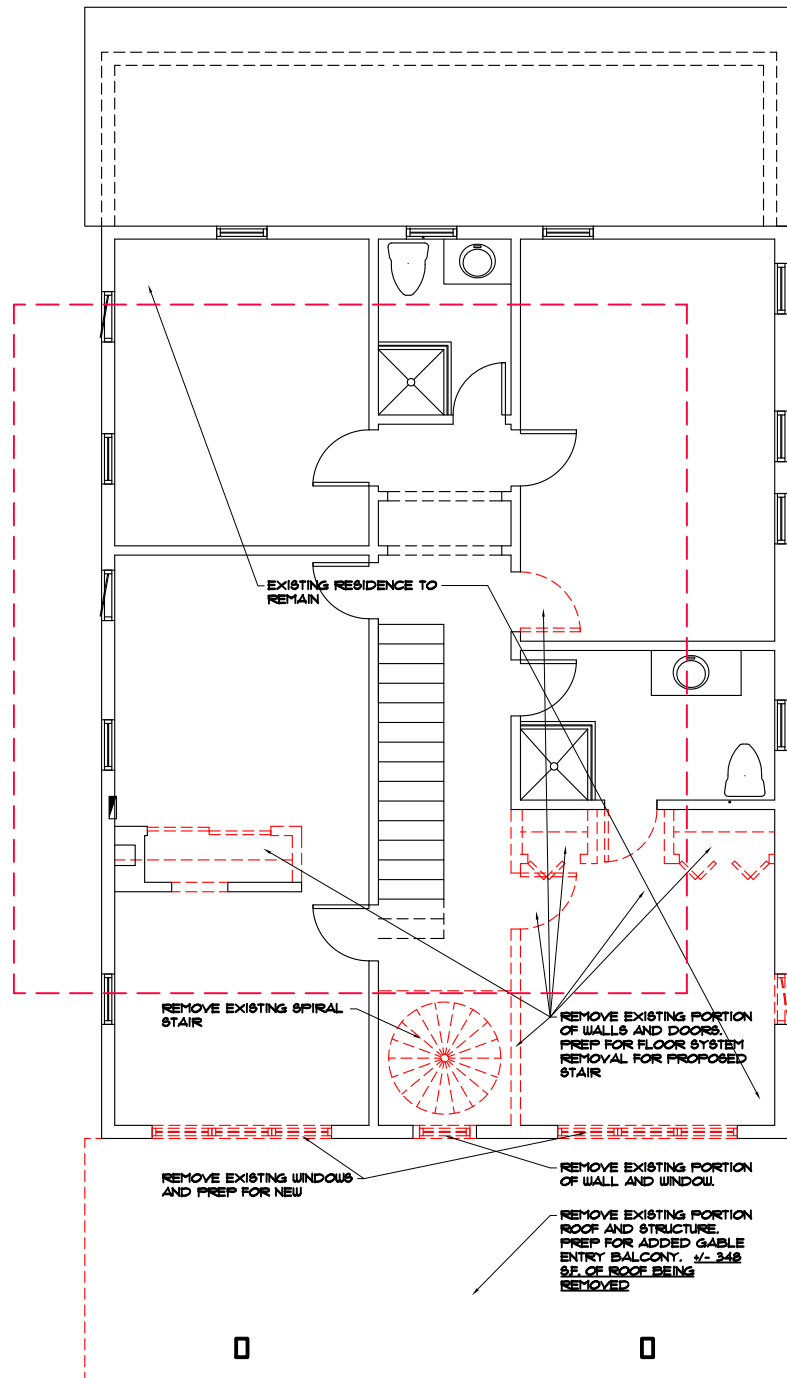
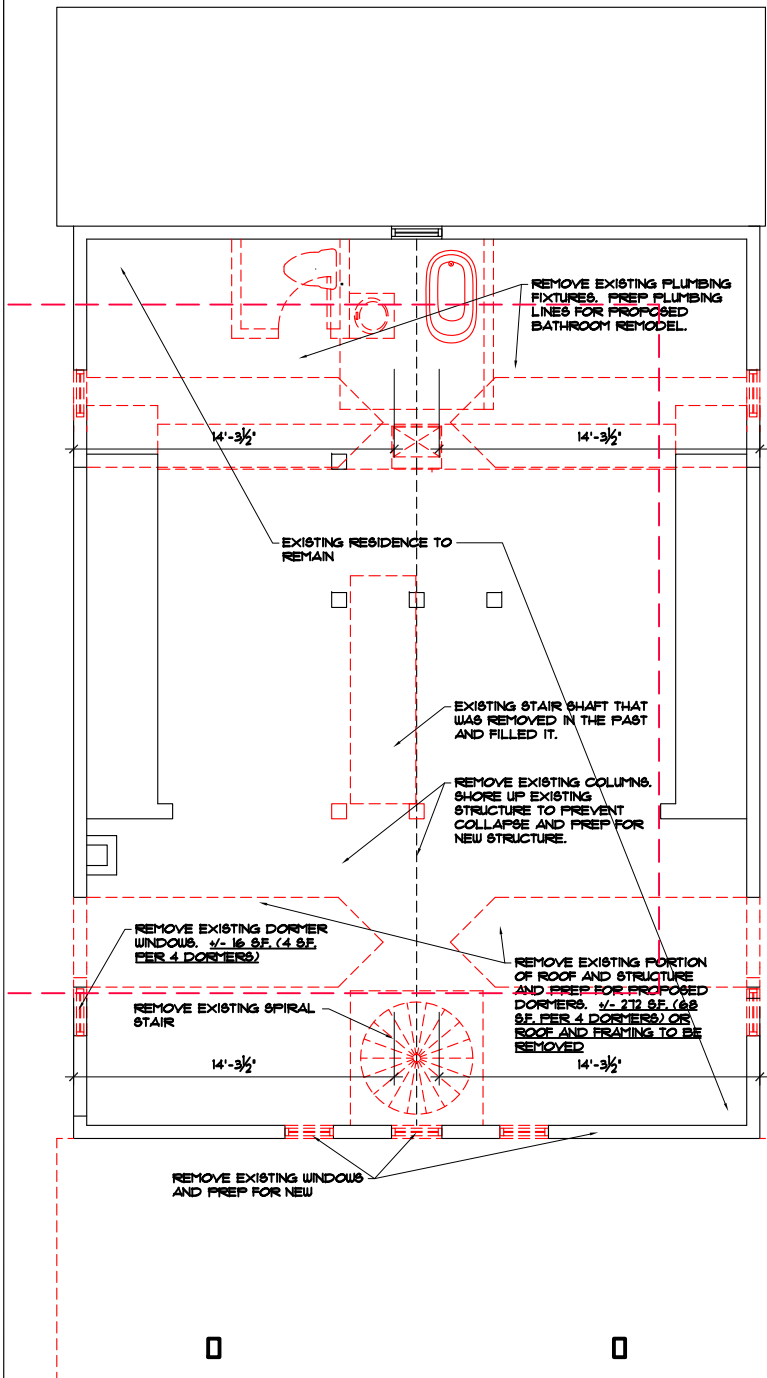
SHEET: 8 OF: -

DEMOLITION NOTES

1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.
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DEMOLITION WALL SCHEDULE

SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
----	EXISTING WALLS TO BE REMOVED	VARIABLE	
=====	EXISTING 4" FRAME PARTITION - TO REMAIN	4", 6" OR 8" NOMINAL	

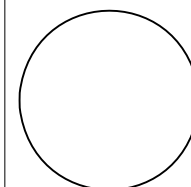


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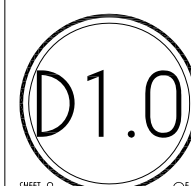
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DEMOLITION NOTES

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DEMOLITION WALL SCHEDULE

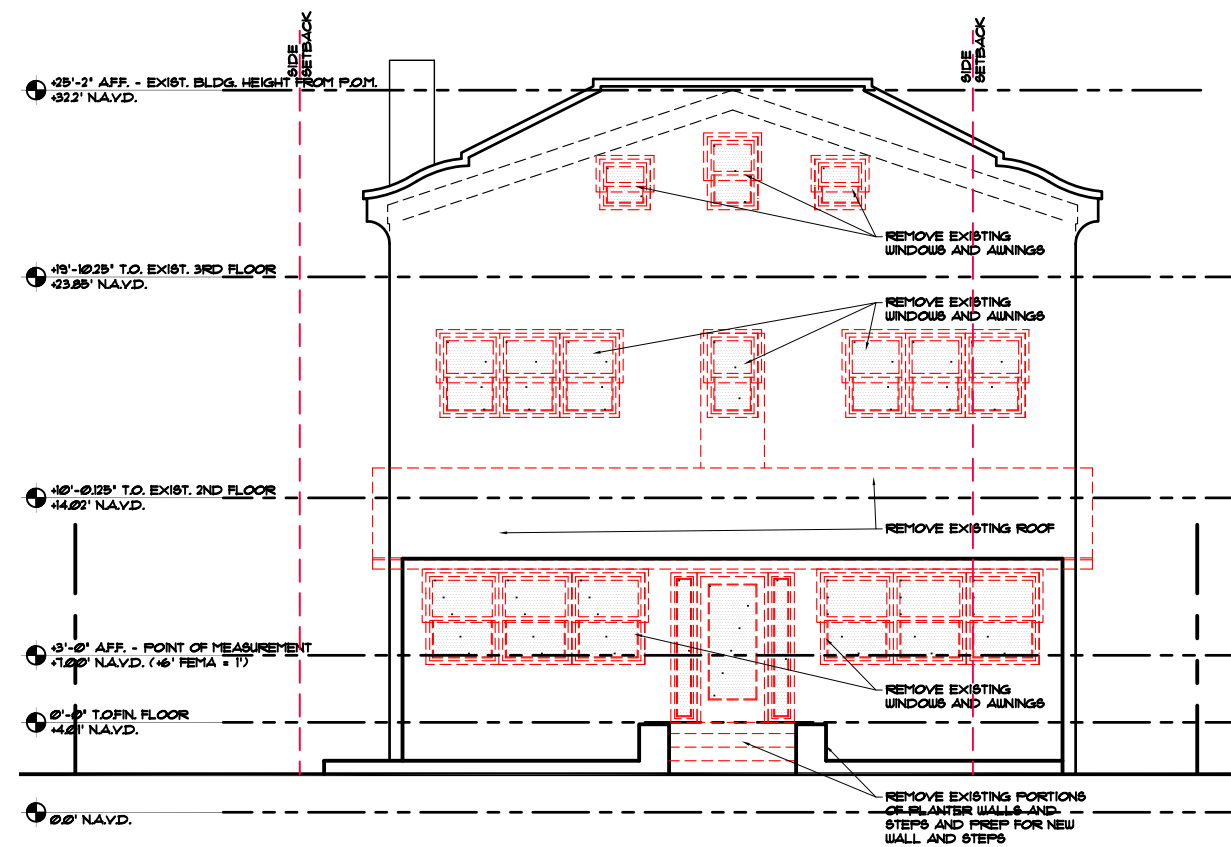
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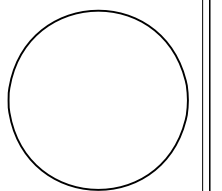
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DEMOLITION ELEVATIONS

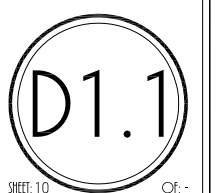
SCALE: 1/4" = 1'-0"

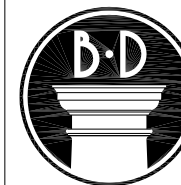
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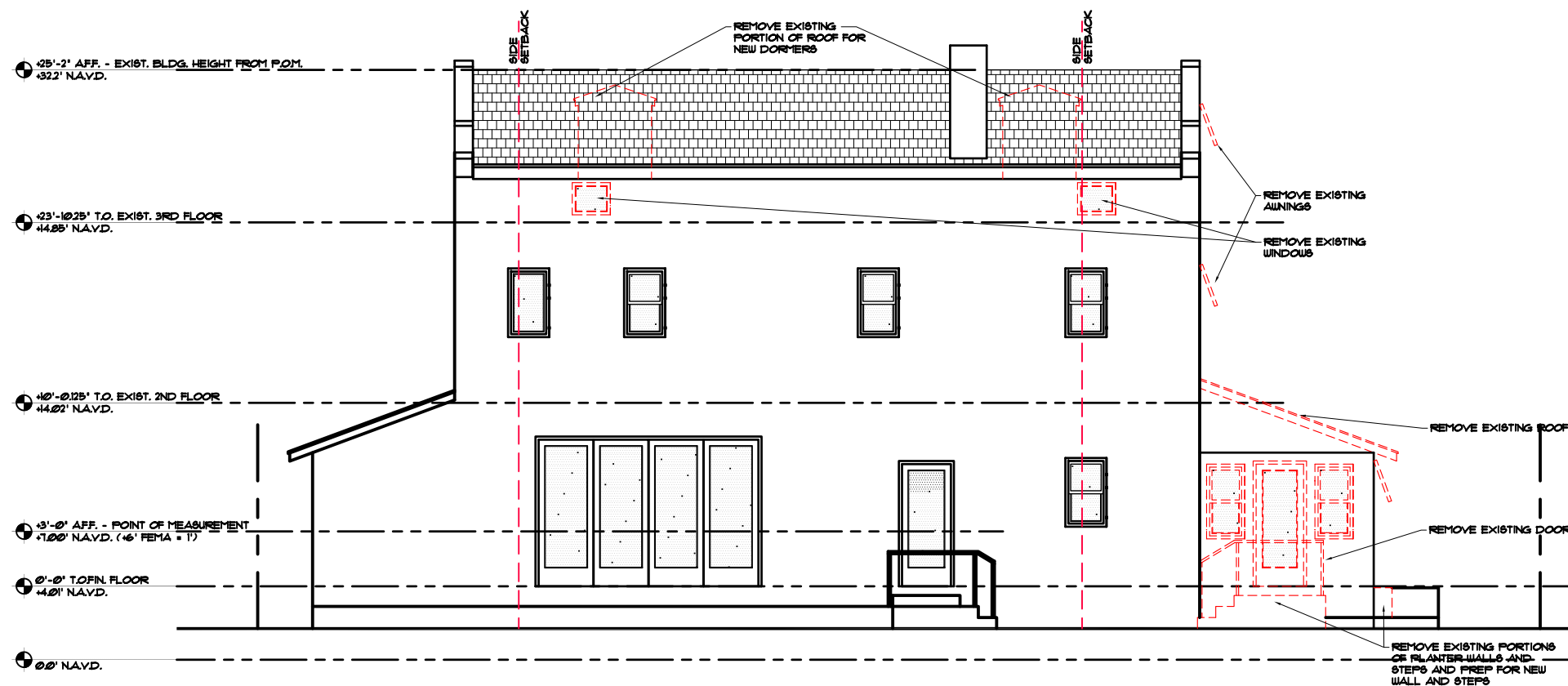
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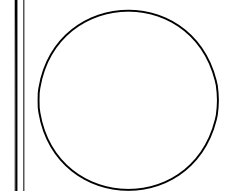
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DEMOLITION ELEVATIONS

SCALE: 1/4" = 1'-0"

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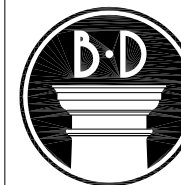


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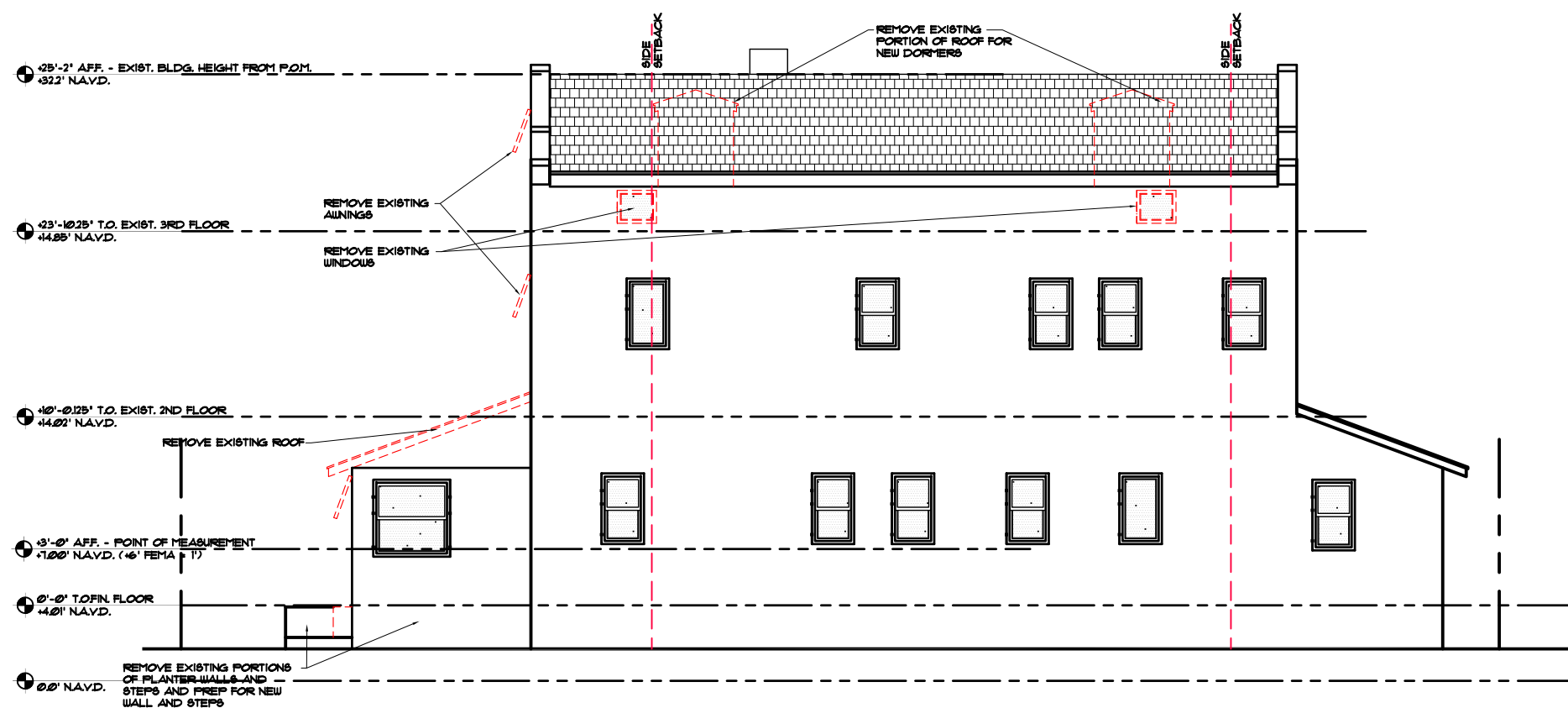
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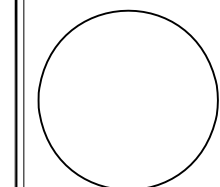
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DEMOLITION ELEVATIONS

SCALE: 1/4" = 1'-0"

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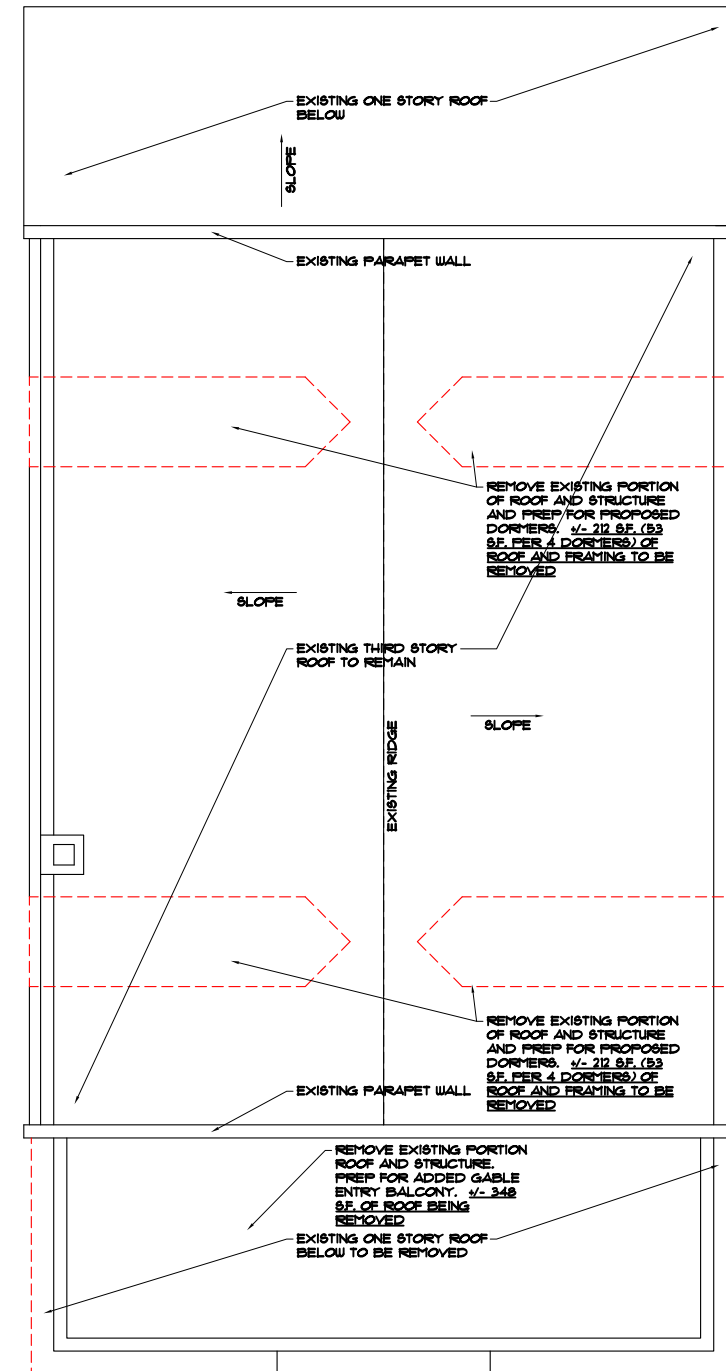
SHEET: 12 OF -

DEMOLITION NOTES

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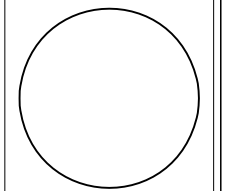


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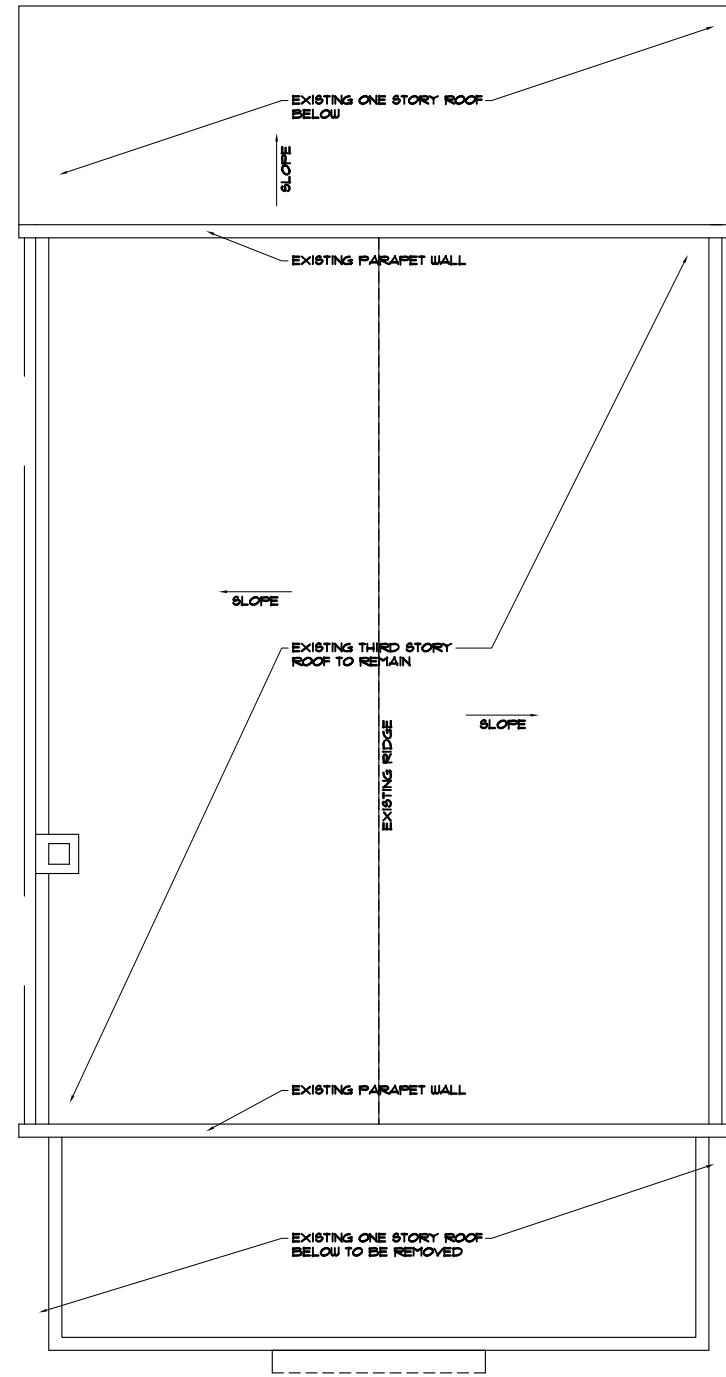
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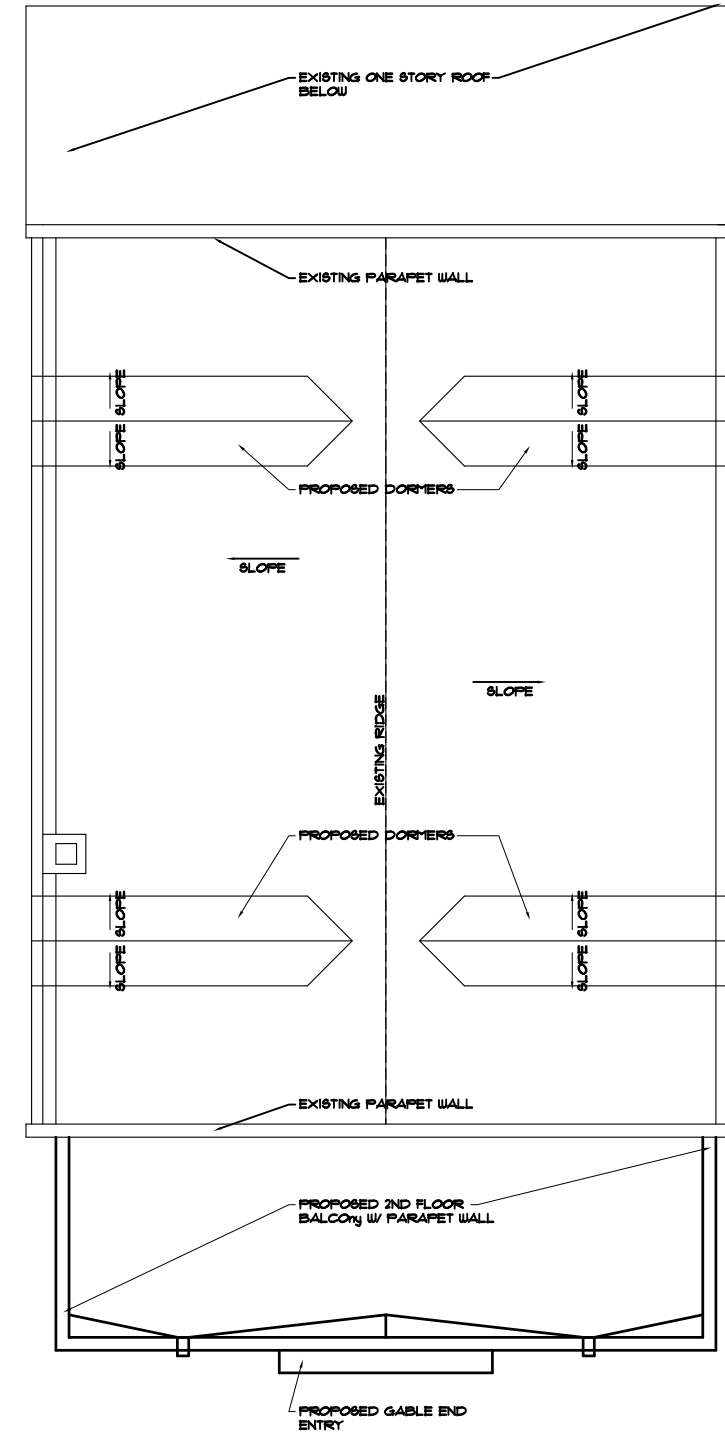
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EXISTING
ROOF PLAN



PROPOSED
ROOF PLAN

ROOF PLAN
SCALE: 1/4" = 1'-0"

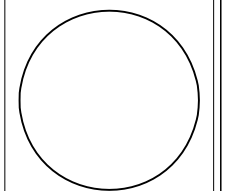


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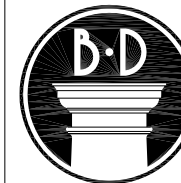
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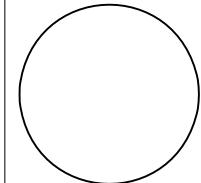
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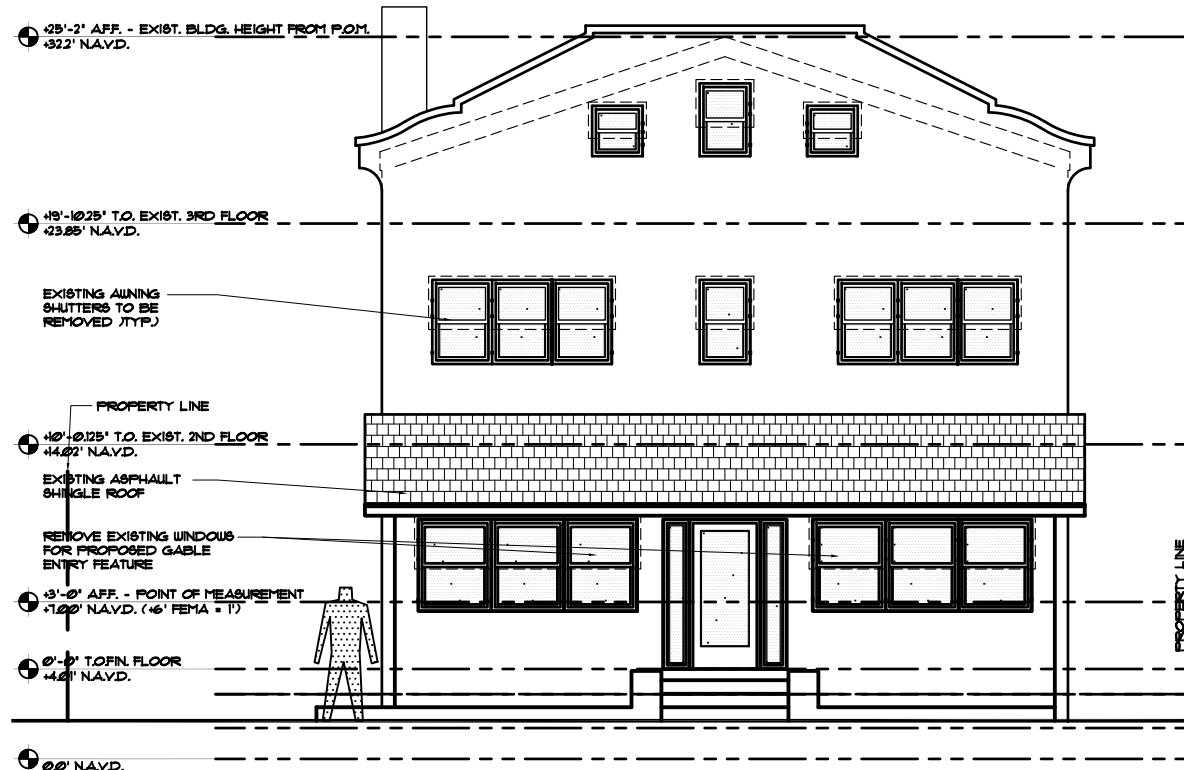


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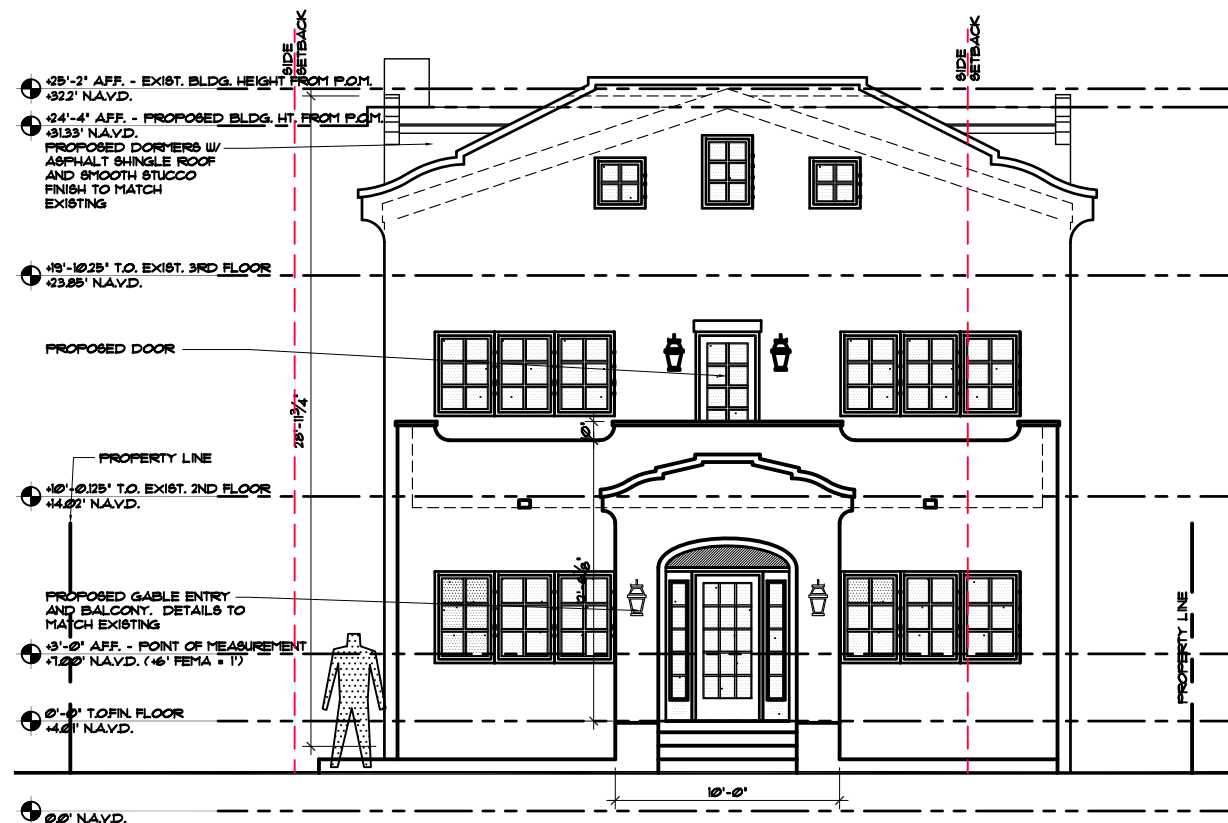


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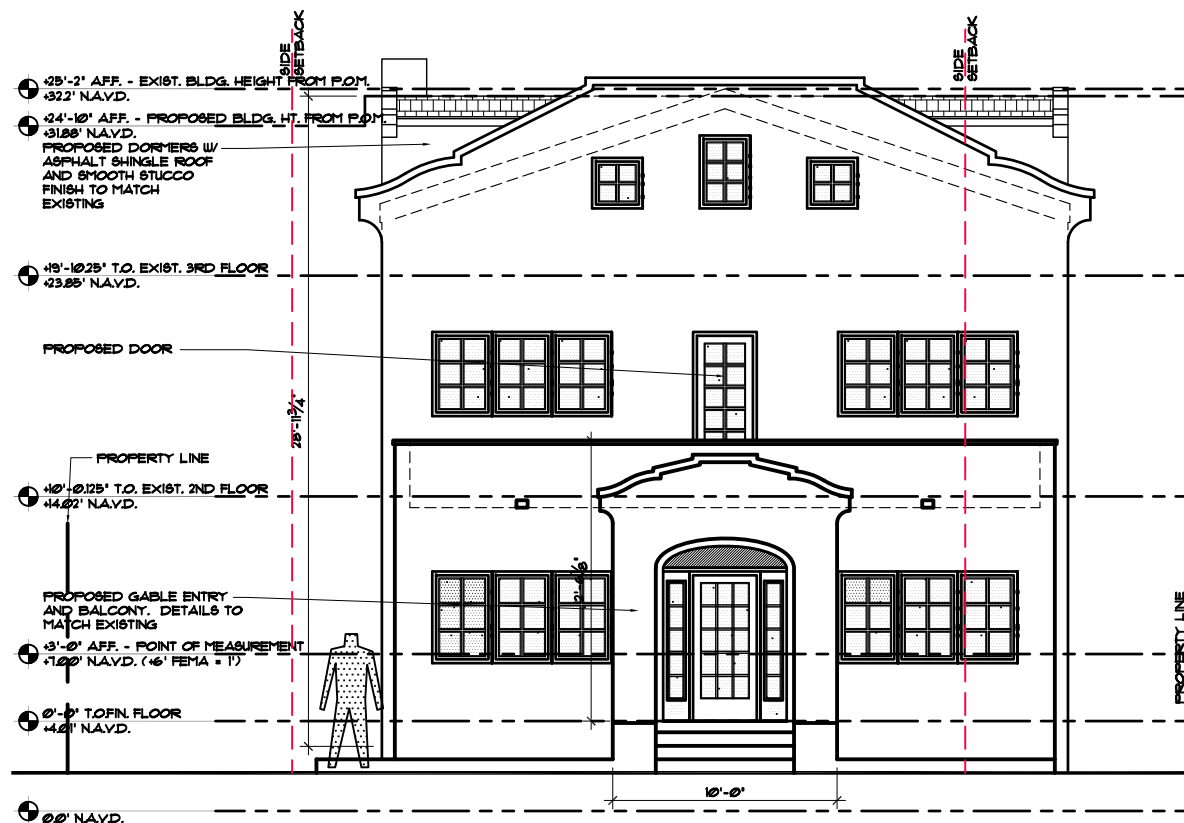
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

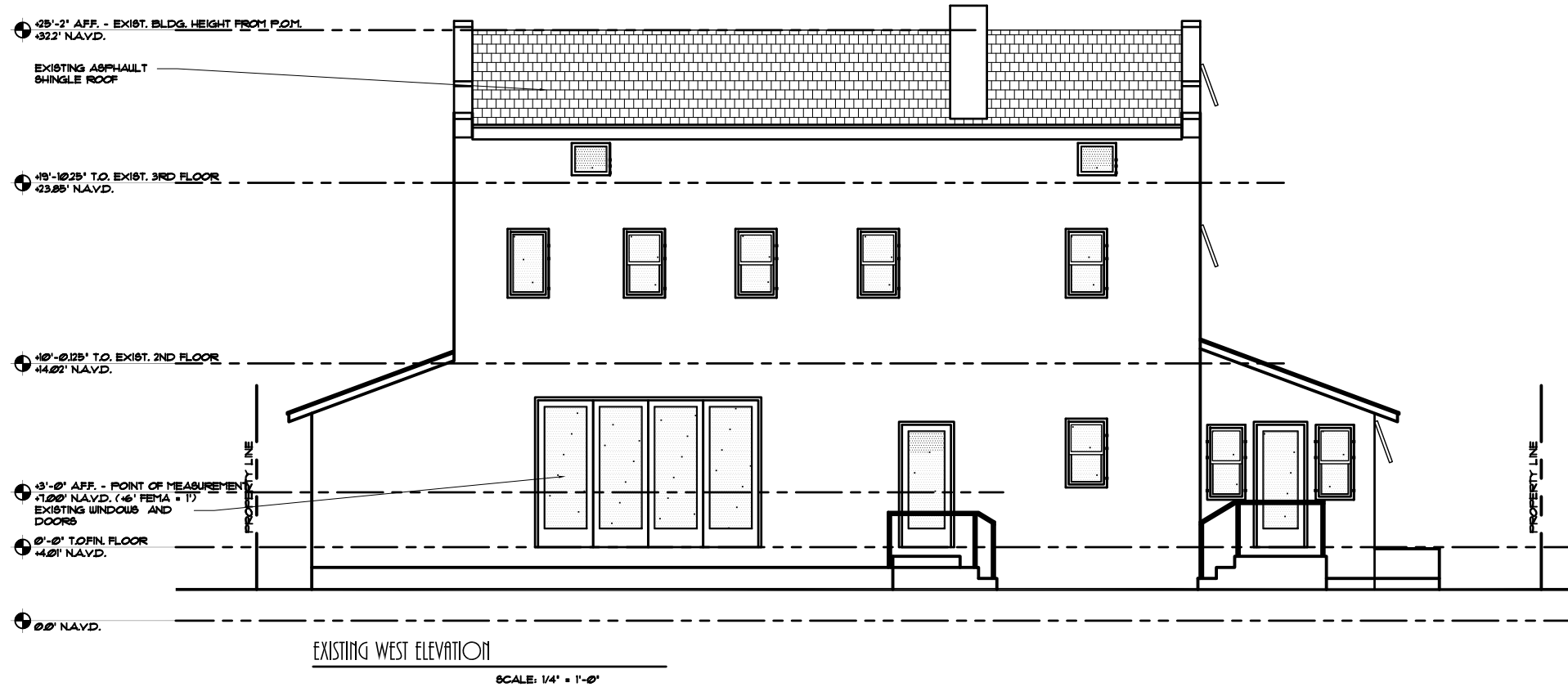
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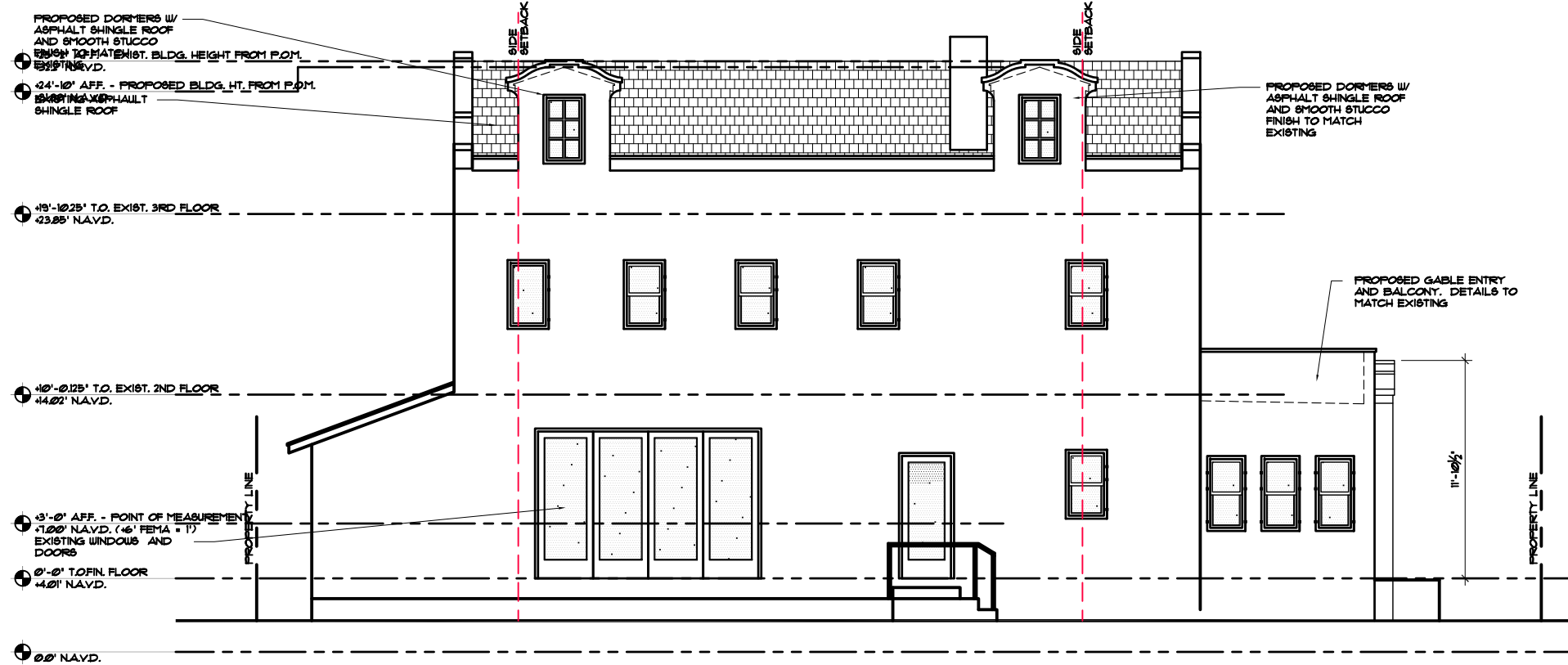
PREVIOUSLY PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



PREVIOUSLY PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

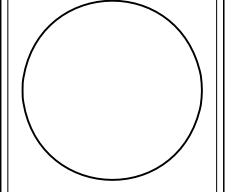


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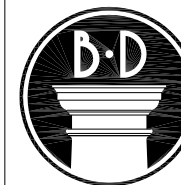
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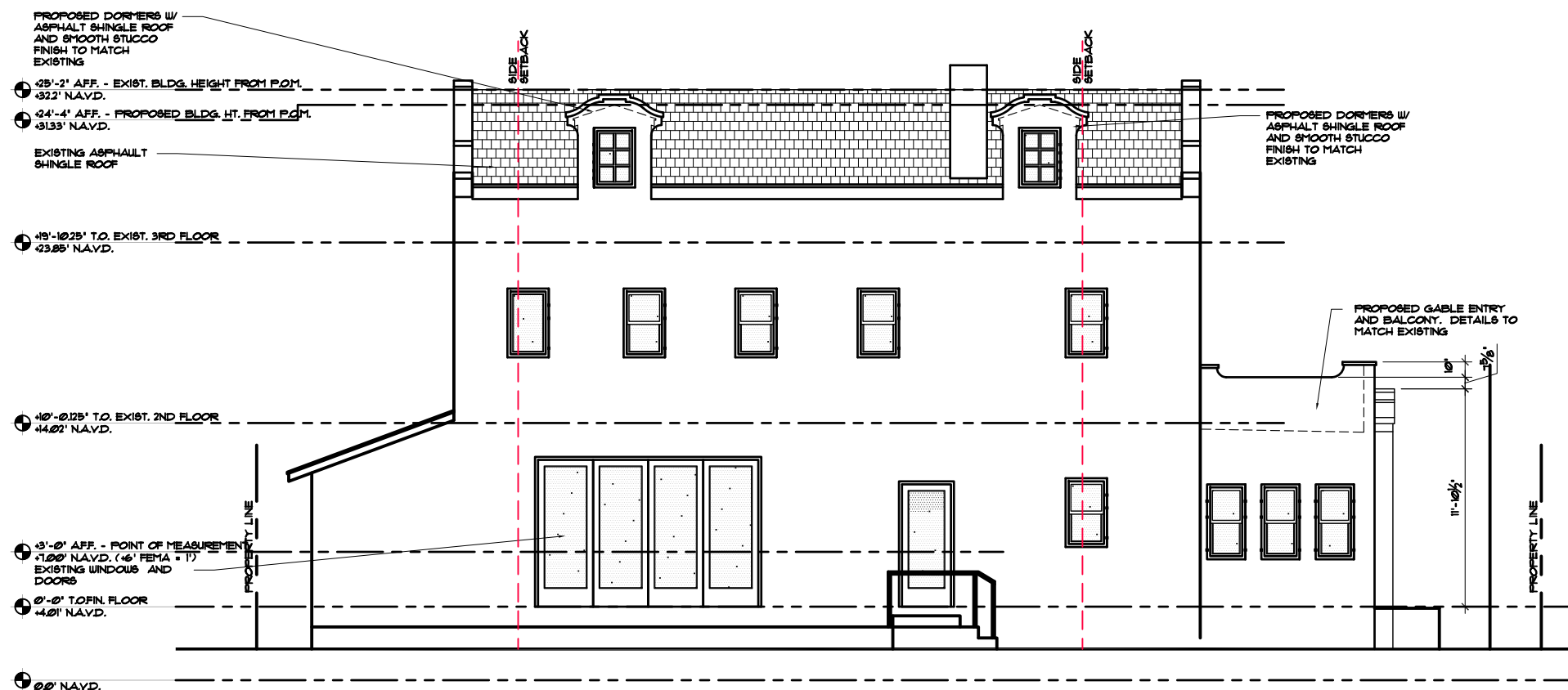
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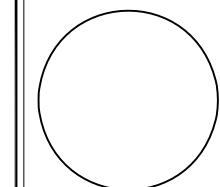
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PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

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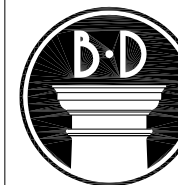
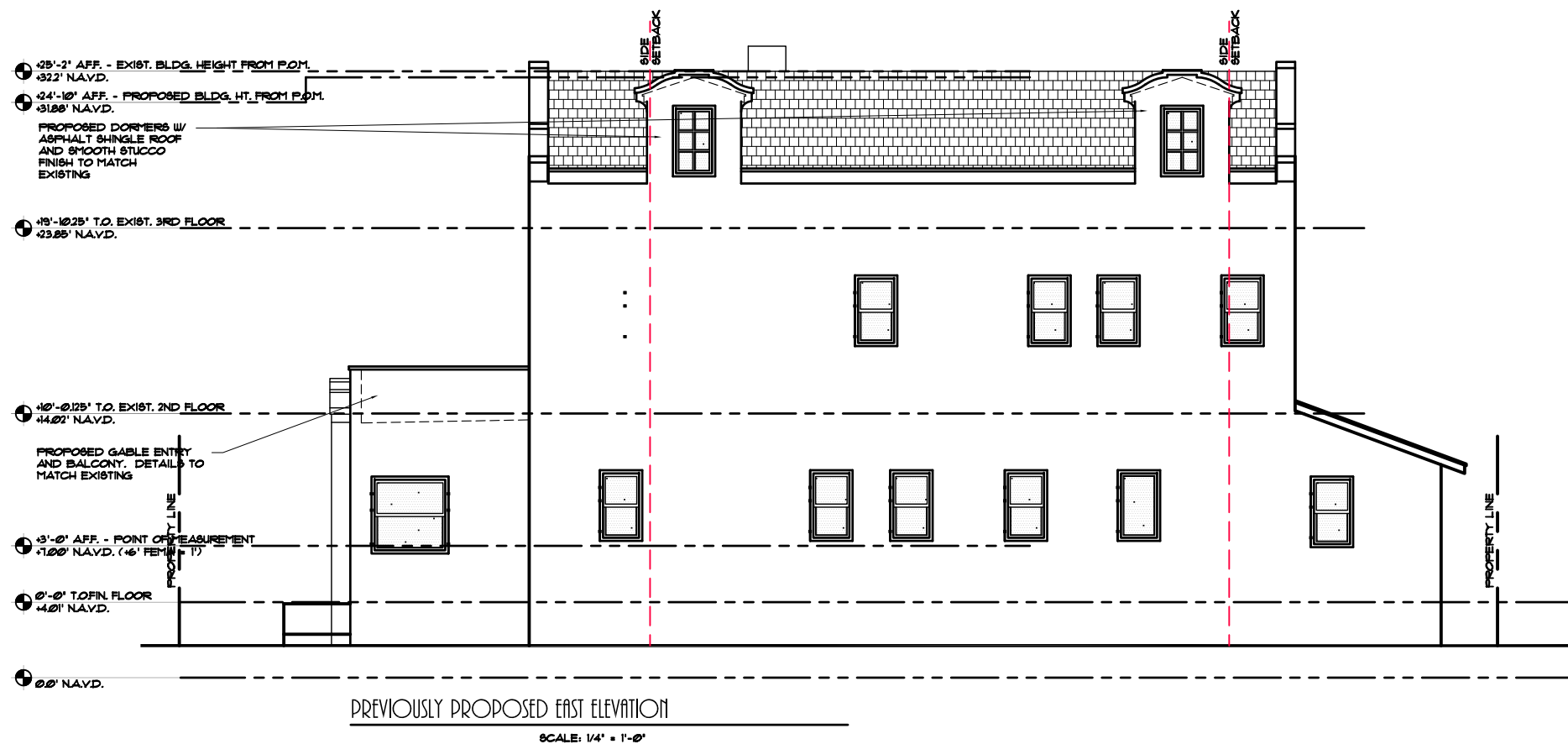
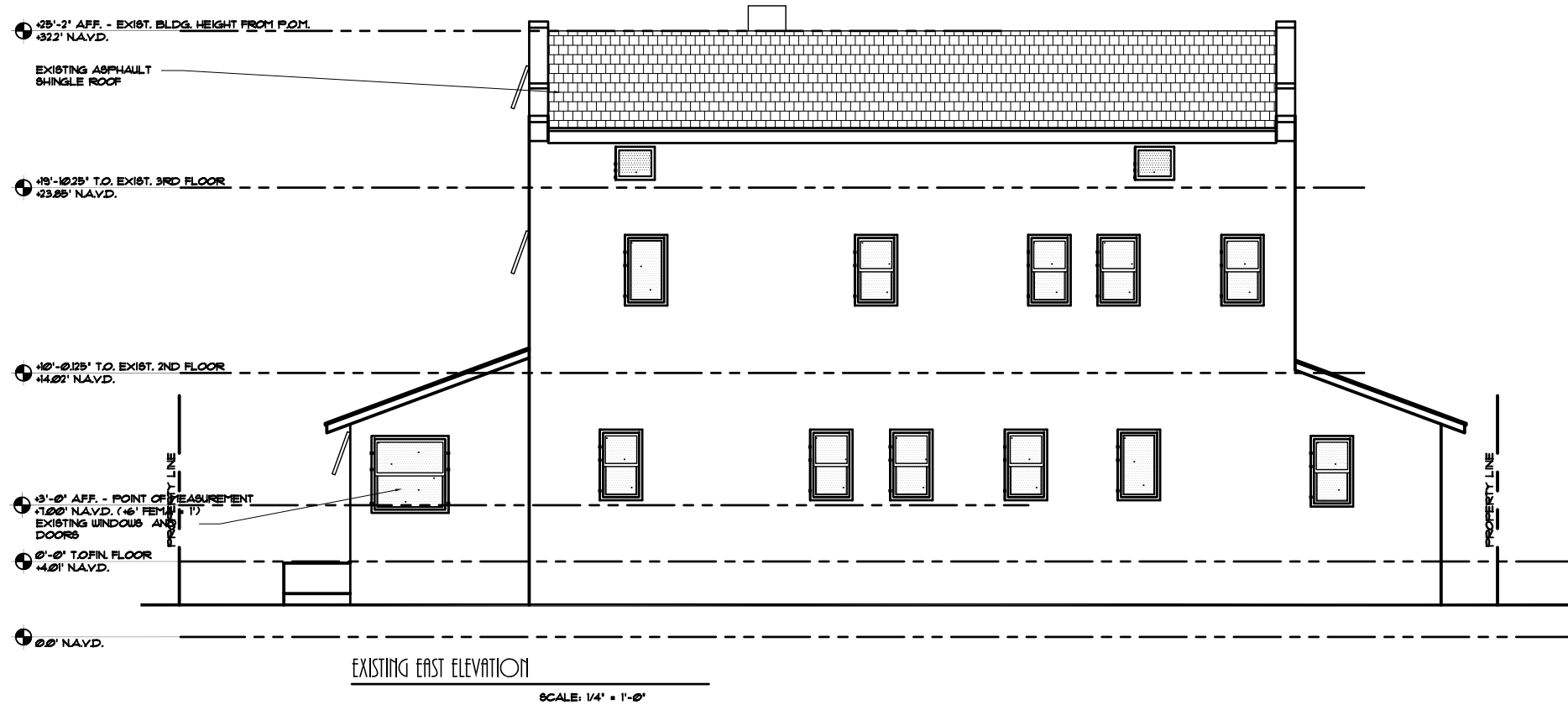


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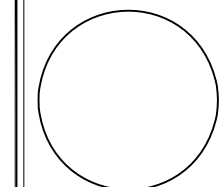


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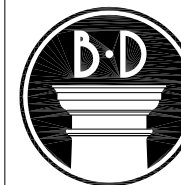
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 JEFFREY D. BRASSEUR - BR 0017698
 JASON P. DROBOT - BR 94843



JOB #: 22-010
 DATE: 11-27-23
 DESIGNED BY: JDB
 DRAFTED BY: JDB
 CHECKED BY: JDB

REVISIONS:

12.2
 SHEET 19 OF -



BRASSEUR

&

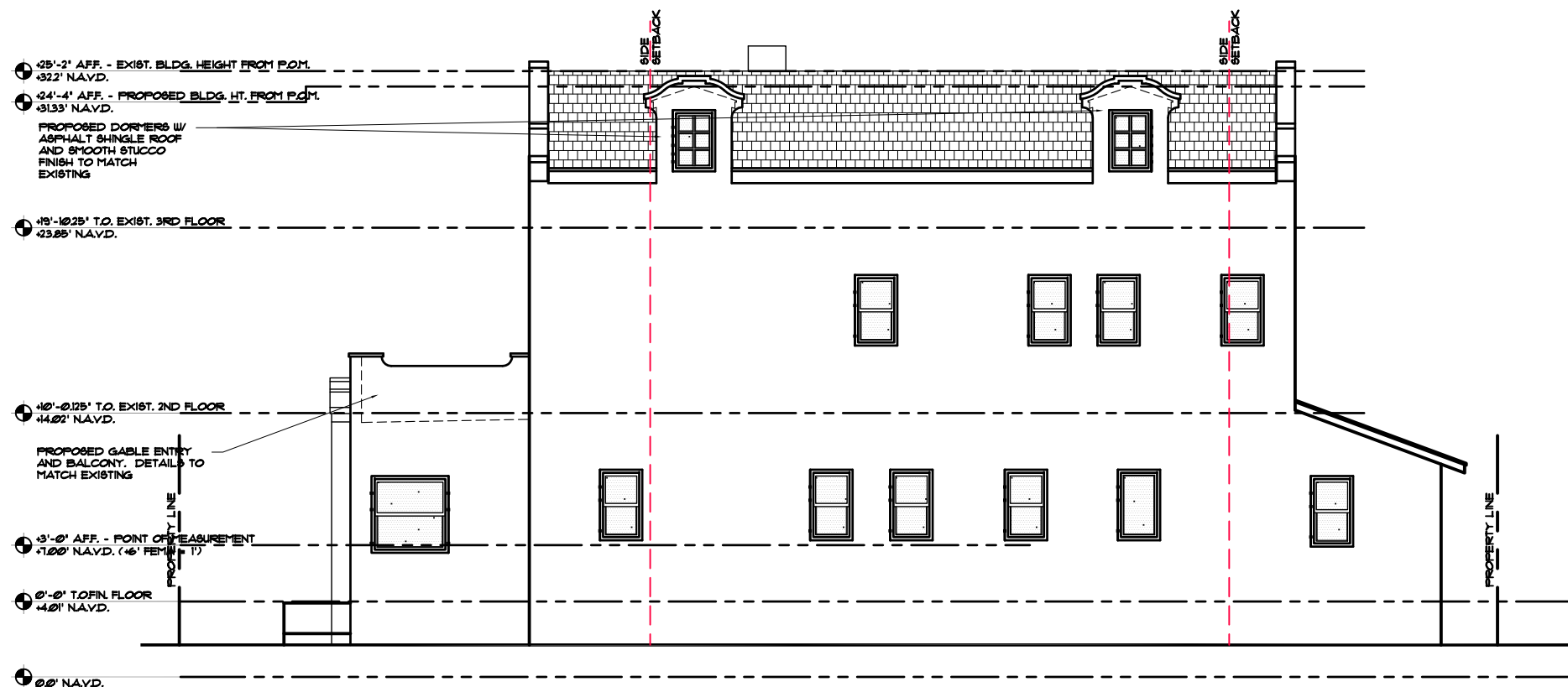
DROBOT

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(561) 820-8089
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BR 0017698 BR 94843
ICR005 60164 ICR005 67675
BR 26001461

DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
PALM BEACH, FLORIDA

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425'-2" AFF. - EXIST. BLDG. HEIGHT FROM P.O.M.
4322' NAVD.
424'-4" AFF. - PROPOSED BLDG. HT. FROM P.O.M.
43133' NAVD.
PROPOSED DORMERS W/
ASPHALT SHINGLE ROOF
AND SMOOTH STUCCO
FINISH TO MATCH
EXISTING

419'-10 25" T.O. EXIST. 3RD FLOOR
423.88' NAVD.

410'-0 25" T.O. EXIST. 2ND FLOOR
44.82' NAVD.

PROPOSED GABLE ENTRY
AND BALCONY. DETAILS TO
MATCH EXISTING

43'-0" AFF. - POINT OF MEASUREMENT
4180' NAVD. (146' FROM T1)

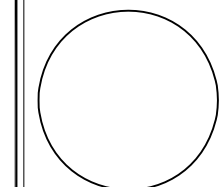
40'-0" T.O. FIN. FLOOR
44.01' NAVD.

40.0' NAVD.

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

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 JASON P. DROBOT - AR 94843



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CHECKED BY: JDB

REVISIONS:

NO.	DESCRIPTION

A2.2B
SHEET: 20 OF: -

ELEVATIONS

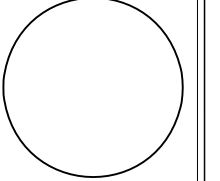


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 JACOB P. DROBOT - AR 94845

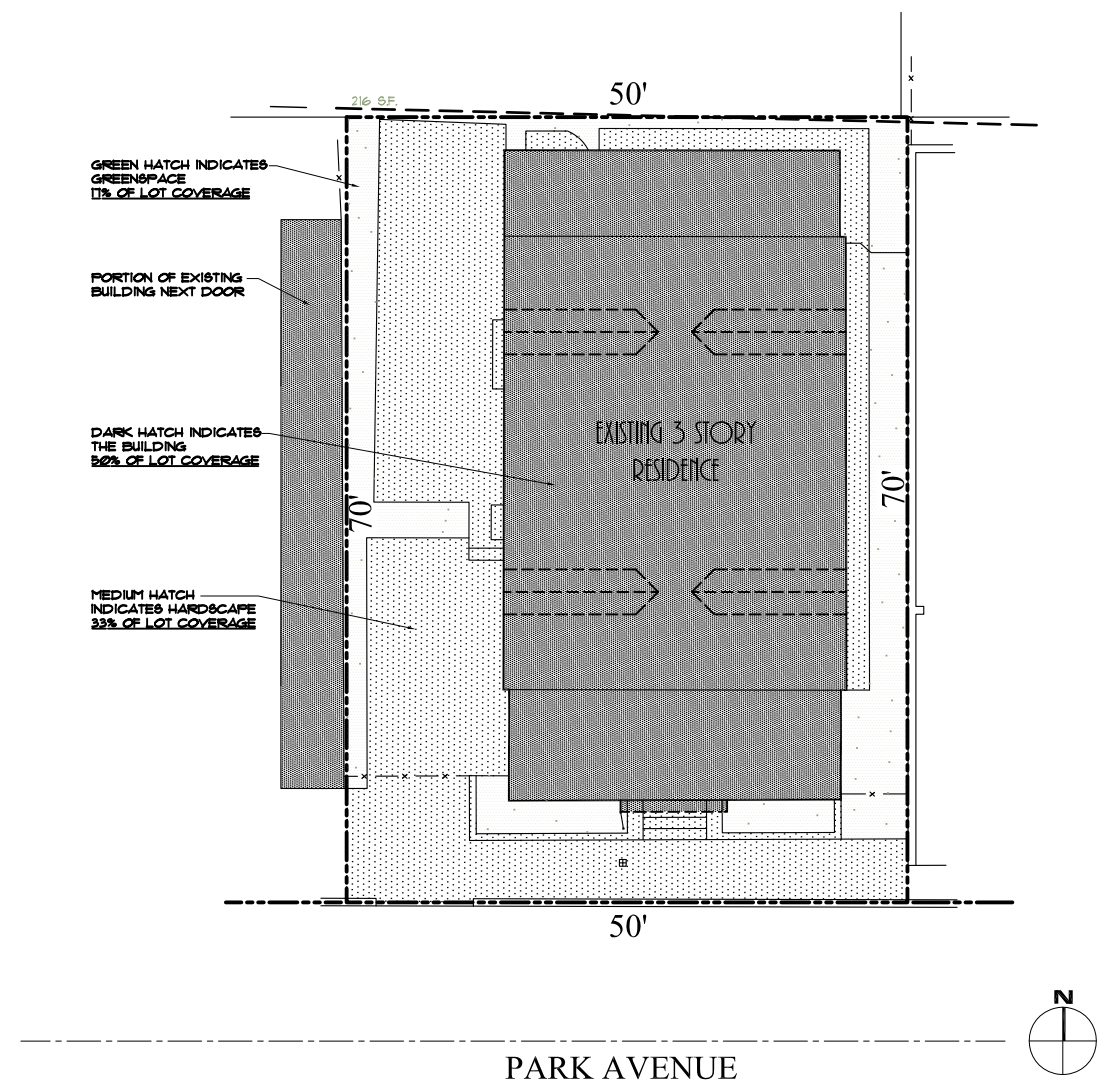


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A	

A2.3
SHEET 21 OF -



OPEN SPACE DIAGRAM
SCALE: 1/8" = 1'-0"

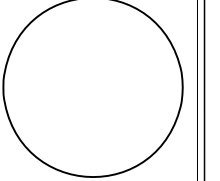


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PALM BEACH, FLORIDA

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 JASON P. DROBOT - BR 94845

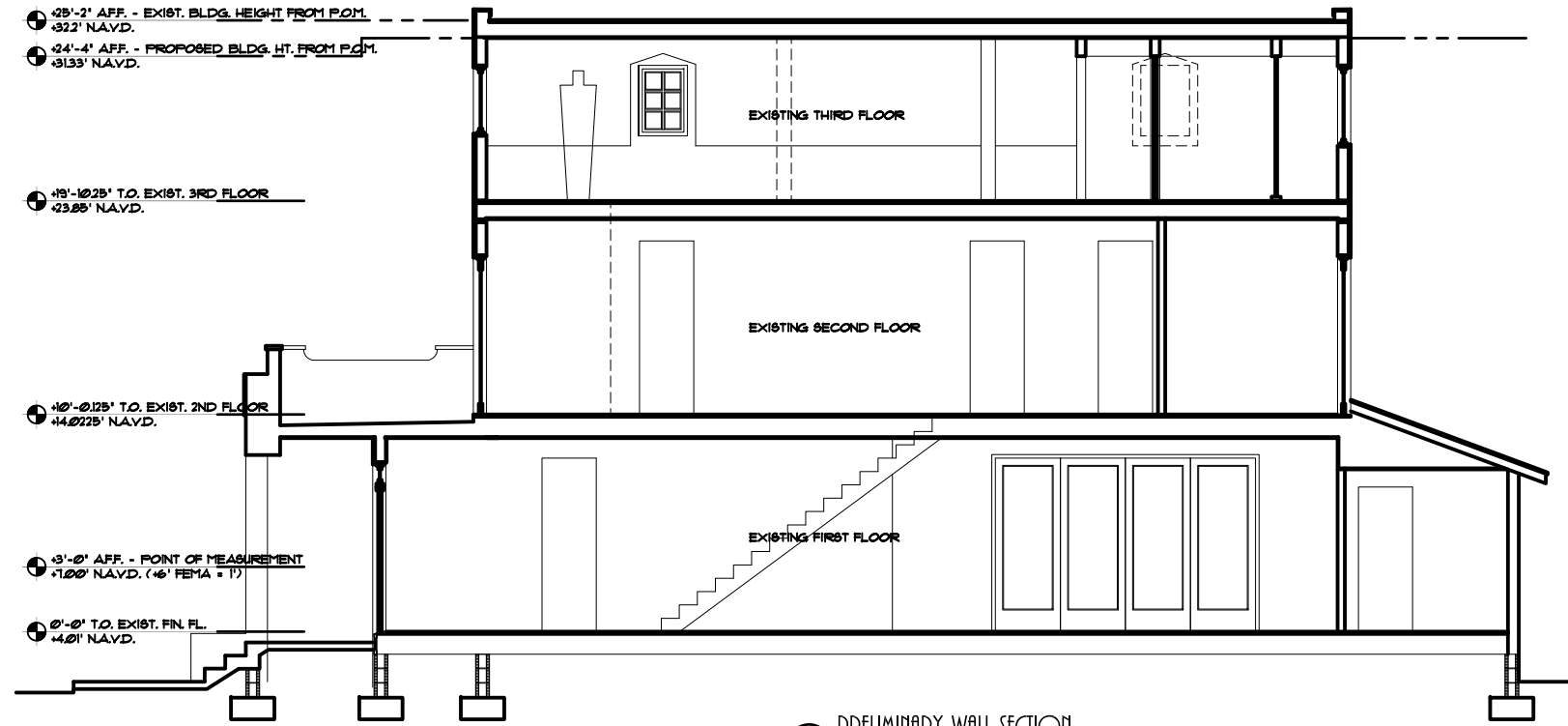


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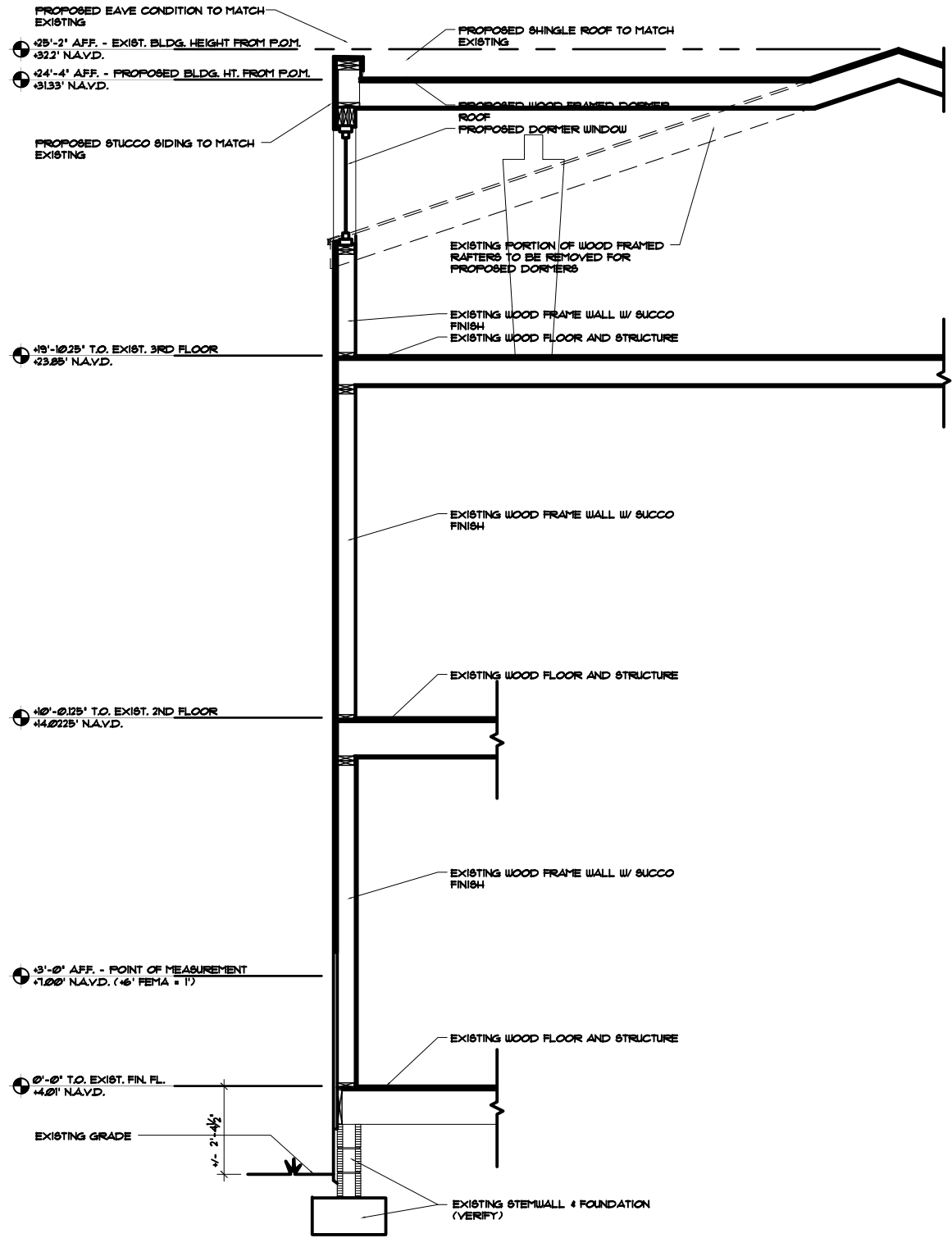
REVISIONS:
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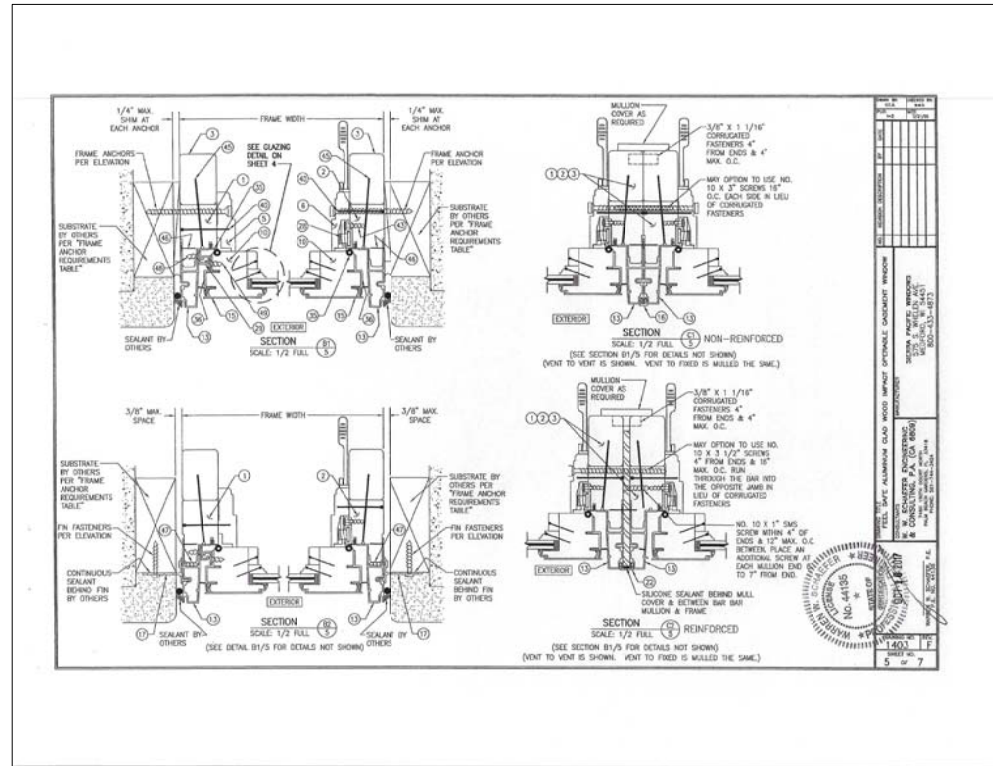


2
A3.0
PRELIMINARY WALL SECTION
SCALE: 1/4" = 1'-0"

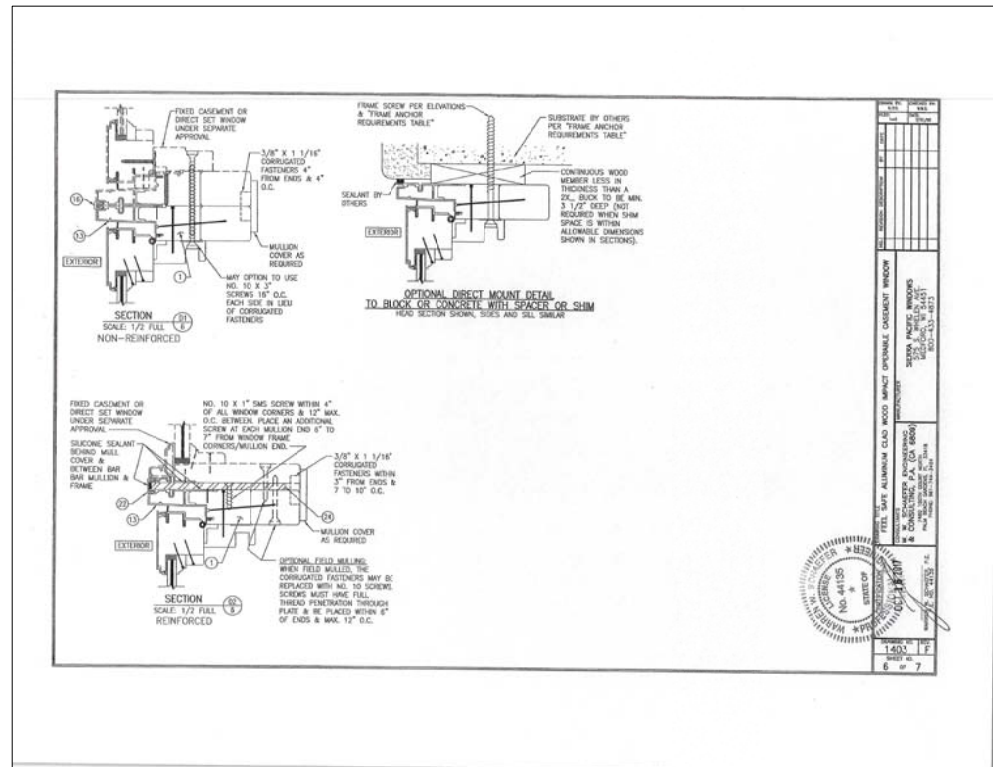


1
A3.0
PRELIMINARY WALL SECTION
SCALE: 1/2" = 1'-0"

SECTIONS



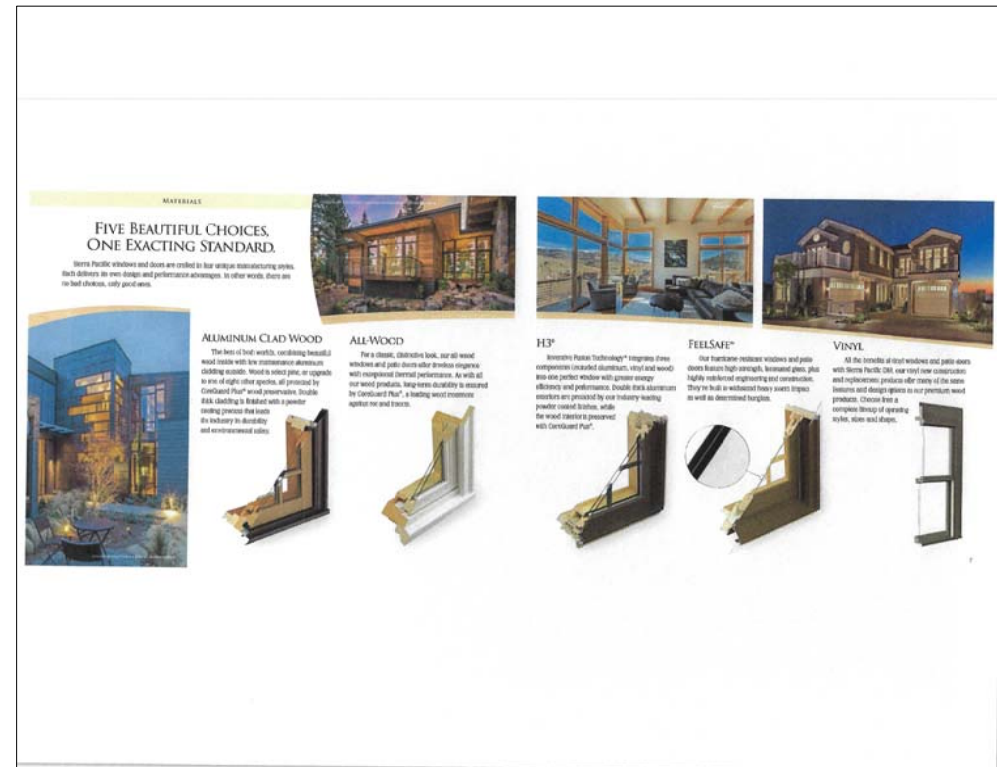
SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT DETAIL



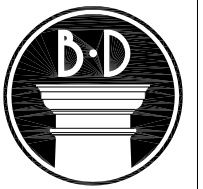
SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT DETAIL



SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT WINDOW



SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT WINDOW PROFILE



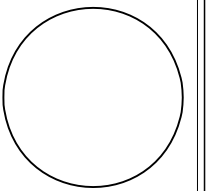
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82 001 7698 82 94845
82 001 6164 82 001 6765
82 92001461

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A REMODEL AND ADDITION TO:
269 PARK AVENUE

PALM BEACH, FLORIDA

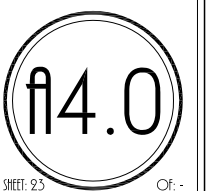
SEALING BY:
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 JACOB P. DROBOT - AR 94845



JOB #: 22-010
DATE: 11-27-23
DESIGNED BY: JDB
DRAFTED BY: JDB
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DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE

PALM BEACH, FLORIDA

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VARIANCE NARRATIVE

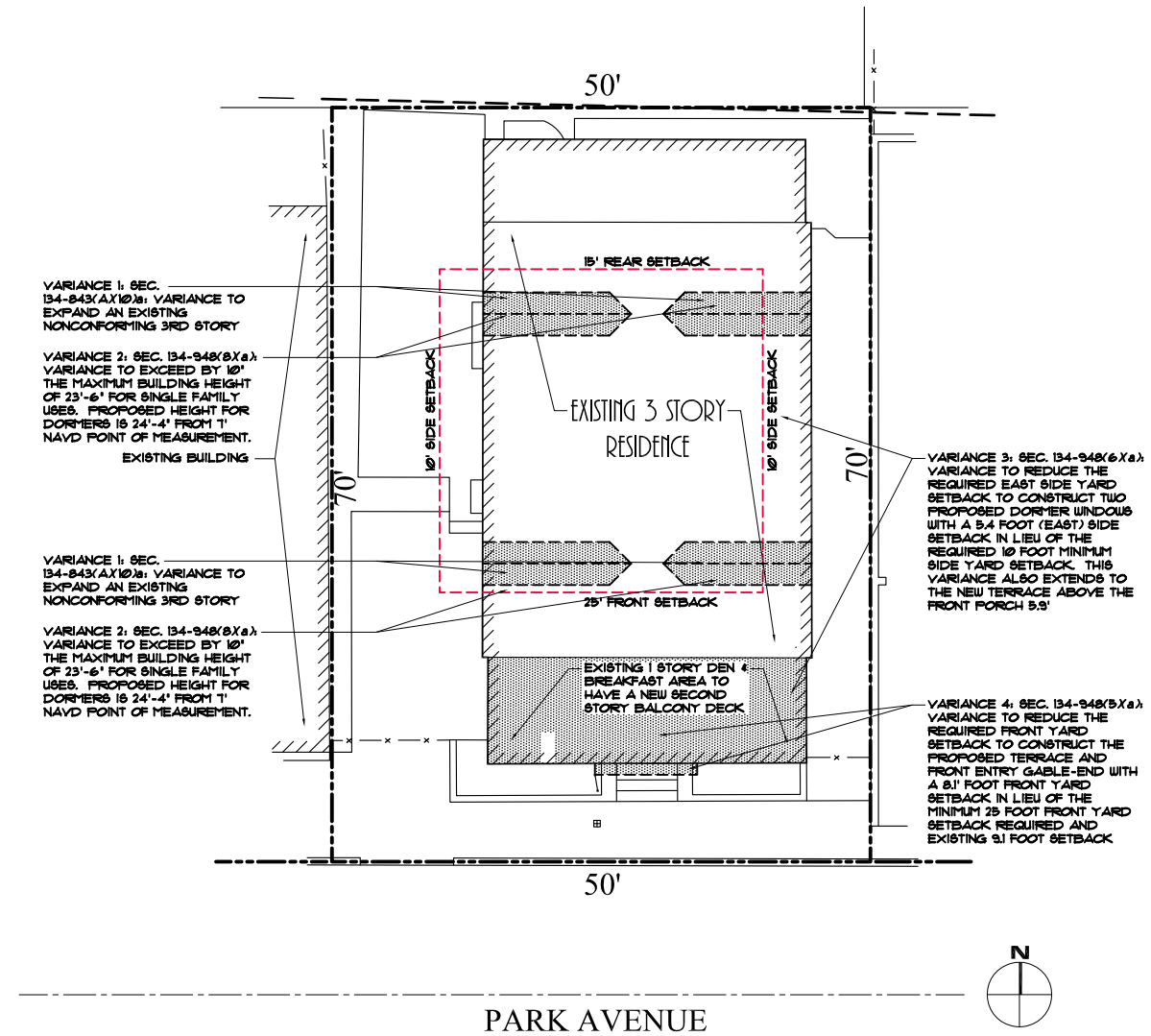
FLOOD PLAIN VARIANCE, SEC. 50-14: A FLOOD PLAIN VARIANCE FOR IMPROVEMENTS/REHABILITATION OF DESIGNATED HISTORICALLY SIGNIFICANT BUILDING DETERMINED ELIGIBLE FOR THE EXCEPTION OF FLOOD RESISTANT CONSTRUCTION REQUIREMENTS OF THE FLORIDA BUILDING CODE, EXISTING BUILDINGS, CHAPTER 12 HISTORIC BUILDINGS, AS THE PROPOSED IMPROVEMENTS WILL NOT PRECLUDE THE BUILDINGS CONTINUED DESIGNATION AS A HISTORICALLY SIGNIFICANT BUILDING TO MAINTAIN A GROUND FLOOR WITH A FINISHED FLOOR OF 4.0' NAVD IN LIEU OF THE 1' NAVD REQUIRED.

VARIANCE 1: SEC. 134-843(A)(10): VARIANCE TO EXPAND AN EXISTING NONCONFORMING 3RD STORY

VARIANCE 2: SEC. 134-948(B)(8): VARIANCE TO EXCEED BY 10' THE MAXIMUM BUILDING HEIGHT OF 23'-6" FOR SINGLE FAMILY USES. PROPOSED HEIGHT FOR DORMERS IS 24'-4" FROM 1' NAVD POINT OF MEASUREMENT.

VARIANCE 3: SEC. 134-948(6)(a): VARIANCE TO REDUCE THE REQUIRED EAST SIDE YARD SETBACK TO CONSTRUCT TWO PROPOSED DORMER WINDOWS WITH A 5.4 FOOT (EAST) SIDE SETBACK IN LIEU OF THE REQUIRED 10 FOOT MINIMUM SIDE YARD SETBACK. THIS VARIANCE ALSO EXTENDS TO THE NEW TERRACE ABOVE THE FRONT PORCH 5.9'

VARIANCE 4: SEC. 134-948(B)(8): VARIANCE TO REDUCE THE REQUIRED FRONT YARD SETBACK TO CONSTRUCT THE PROPOSED TERRACE AND FRONT ENTRY GABLE-END WITH A 8.1' FOOT FRONT YARD SETBACK IN LIEU OF THE MINIMUM 25 FOOT FRONT YARD SETBACK REQUIRED AND EXISTING 9.1 FOOT SETBACK



VARIANCE 1: SEC. 134-843(A)(10): VARIANCE TO EXPAND AN EXISTING NONCONFORMING 3RD STORY

VARIANCE 2: SEC. 134-948(B)(8): VARIANCE TO EXCEED BY 10' THE MAXIMUM BUILDING HEIGHT OF 23'-6" FOR SINGLE FAMILY USES. PROPOSED HEIGHT FOR DORMERS IS 24'-4" FROM 1' NAVD POINT OF MEASUREMENT.

EXISTING BUILDING

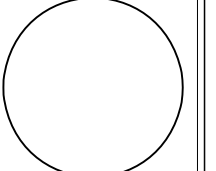
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VARIANCE 2: SEC. 134-948(B)(8): VARIANCE TO EXCEED BY 10' THE MAXIMUM BUILDING HEIGHT OF 23'-6" FOR SINGLE FAMILY USES. PROPOSED HEIGHT FOR DORMERS IS 24'-4" FROM 1' NAVD POINT OF MEASUREMENT.

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SEALING BY:
 JEFFREY D. BRASSEUR - RR 0017698
 JASON P. DROBOT - RR 94845



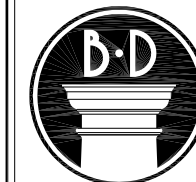
JOB #: 22-010
DATE: 11-27-23
DESIGNED BY: JDB
DRAFTED BY: JDB
CHECKED BY: JDB

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VARIANCE DIAGRAM
SCALE: 1/8" = 1'-0"

SHEET: 24 OF -



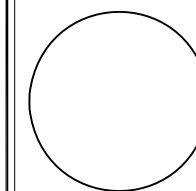
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RR 26001461

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A REMODEL AND ADDITION TO:
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PALM BEACH, FLORIDA

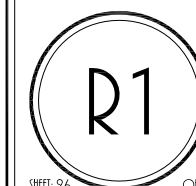
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 JASON P. DROBOT - AR 94845



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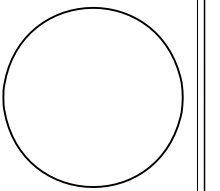


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DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
PALM BEACH, FLORIDA

SEAL BY:
 JEFFREY D. BRASSEUR - AR 0017698
 MICHAEL P. DROBOT - AR 94845



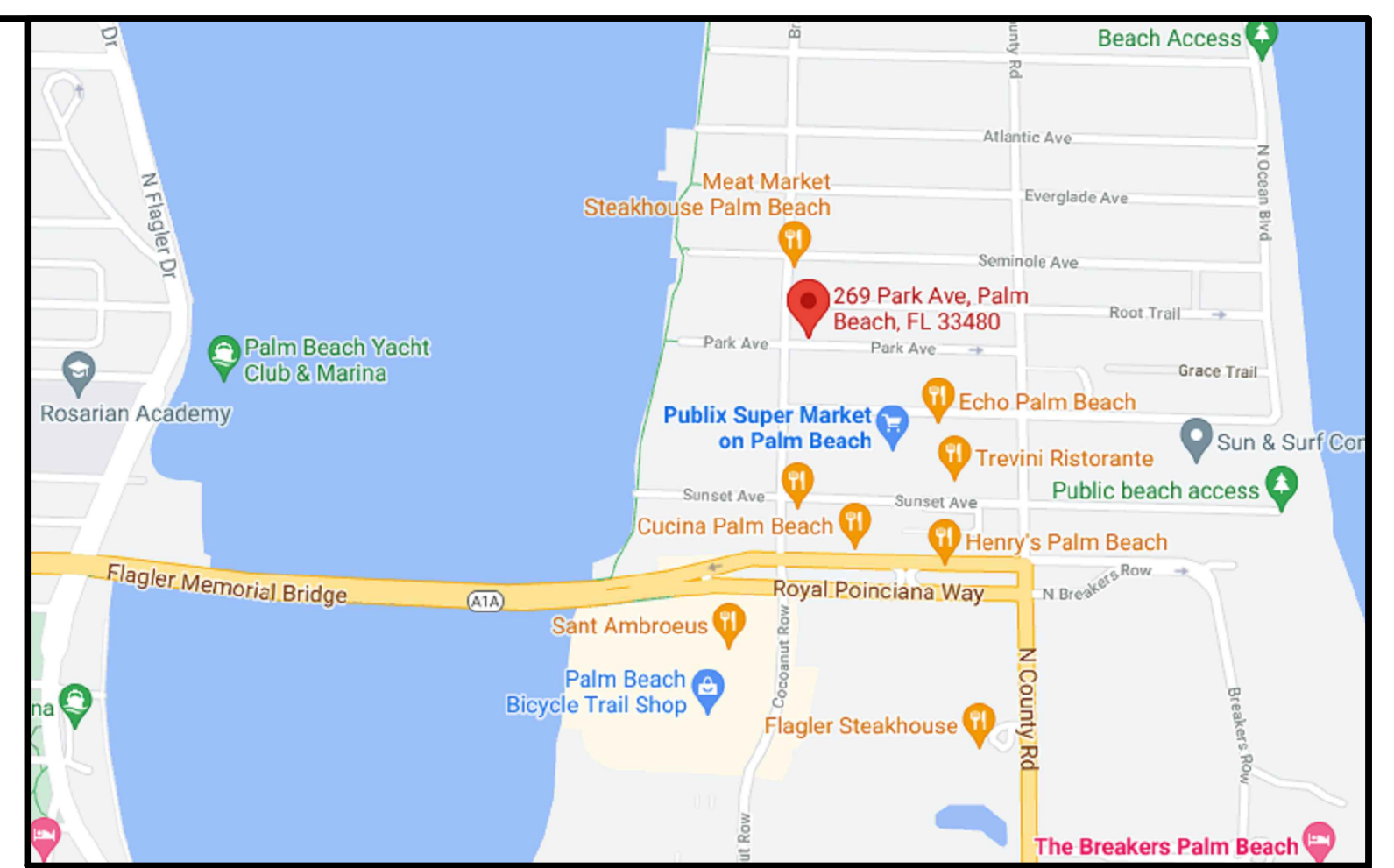
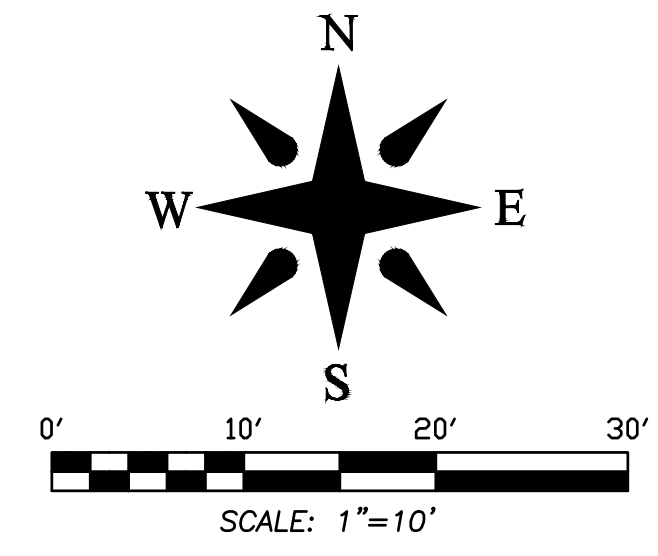
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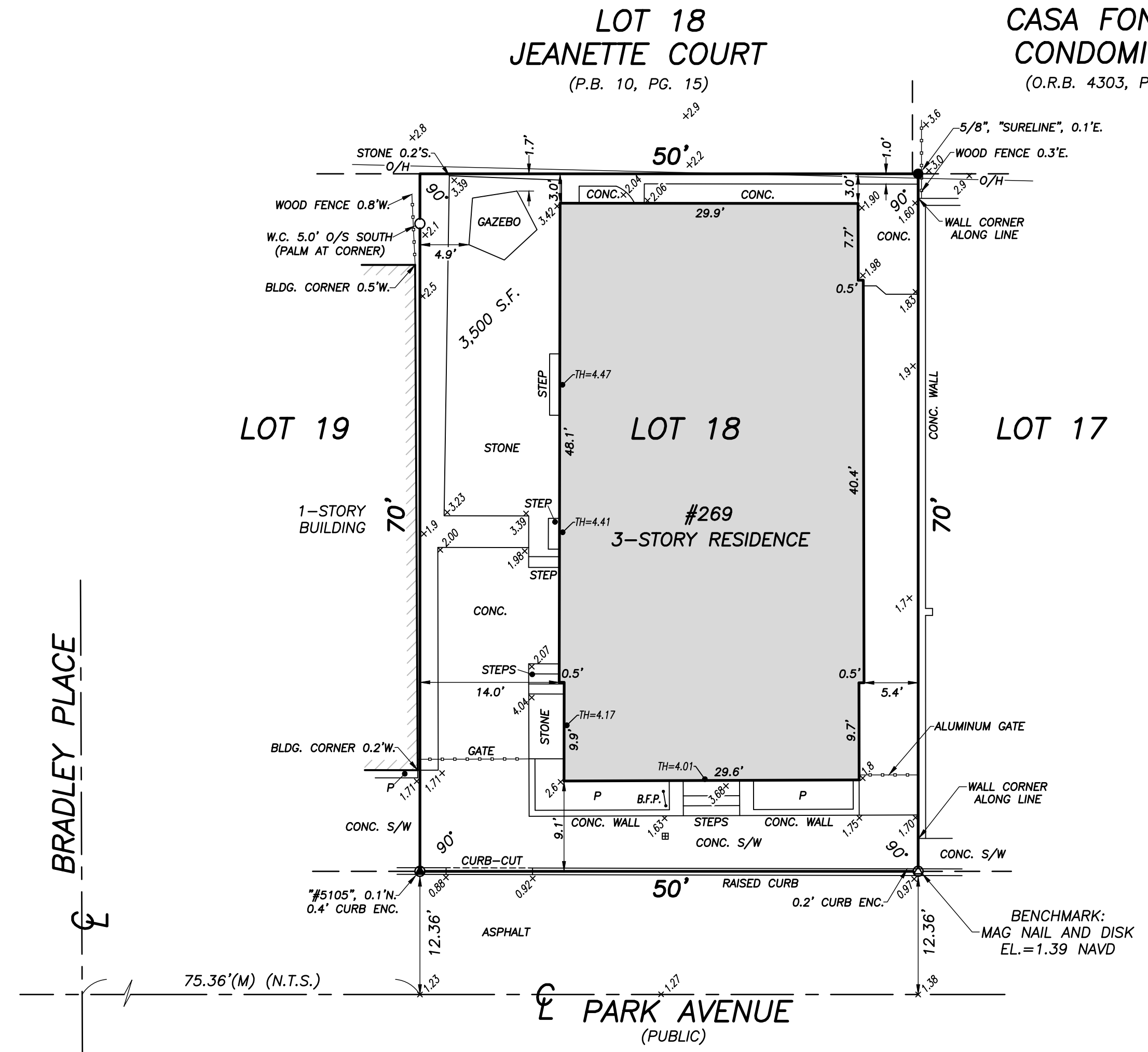


LEGEND

- A = ARC LENGTH
- A/C = AIR CONDITIONING
- A.E. = ACCESS EASEMENT
- A.K.A. = ALSO KNOWN AS
- B.F.P. = BACKFLOW PREVENTER
- BLDG. = BUILDING
- B.M. = BENCHMARK
- B.O.C. = BACK OF CURB
- B.O.W. = BACK OF WALK
- (C) = CALCULATED
- CATV = CABLE ANTENNA TELEVISION
- C.B. = CHORD BEARING
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
- CH = CHORD
- C.L.F. = CHAIN LINK FENCE
- CLR. = CLEAR
- C.M.P. = CORRUGATED METAL PIPE
- CONC. = CONCRETE
- (D) = DESCRIPTION DATUM
- D.B. = DEED BOOK
- D.E. = DRAINAGE EASEMENT
- D.H. = DRILL HOLE
- D.W. = DRIVEWAY
- EL. = ELEVATION
- ENC. = ENCROACHMENT
- E.O.P. = EDGE OF PAVEMENT
- E.O.W. = EDGE OF WATER
- ESMT = EASEMENT
- F.F. = FINISH FLOOR
- FND. = FOUND
- F.O.C. = FACE OF CURB
- I.D. = INSIDE DIAMETER
- INV. = INVERT
- I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
- L.A.E. = LIMITED ACCESS EASEMENT
- L.B. = LICENSE BOARD
- L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
- (M) = FIELD MEASUREMENT
- M.H. = MANHOLE
- M.H.W.L. = MEAN HIGH WATER LINE
- M.L.W.L. = MEAN LOW WATER LINE
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
- N.T.S. = NOT TO SCALE
- O.A. = OVERALL
- O/H = OVERHEAD UTILITY LINE
- O.R.B. = OFFICIAL RECORD BOOK
- O/S = OFFSET
- P = PLANTER
- (P) = PLAT DATUM
- P.B. = PLAT BOOK
- P.B.C. = PALM BEACH COUNTY
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- PG. = PAGE
- P.I. = POINT OF INTERSECTION
- P/O. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.R.C. = POINT OF REVERSE CURVATURE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- PROP. = PROPOSED
- P.T. = POINT OF TANGENCY
- PVMT = PAVEMENT
- (R) = RADIAL
- R = RADIUS
- RGE. = RANGE
- R.P.B. = ROAD PLAT BOOK
- RW = RIGHT OF WAY
- (S) = SURVEY DATUM
- S.B. = SETBACK
- SEC. = SECTION
- S/D = SUBDIVISION
- S.F. = SQUARE FEET
- S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
- S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
- S.R. = STATE ROAD
- STA. = STATION
- STY. = STORY
- TH = THRESHOLD ELEVATION
- T.O.B. = TOP OF BANK
- T.O.C. = TOP OF CURB
- TWP. = TOWNSHIP
- TYP. = TYPICAL
- U/C = UNDER CONSTRUCTION
- U.E. = UTILITY EASEMENT
- U.R. = UNRECORDED
- W.C. = WITNESS CORNER
- W.M.E. = WATER MANAGEMENT EASEMENT
- W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
- W.M.T. = WATER MANAGEMENT TRACT
- ⊖ = BASELINE
- = CENTERLINE
- Δ = CENTRAL ANGLE/Delta
- = CONCRETE MONUMENT FOUND (AS NOTED)
- = CONCRETE MONUMENT SET (LB #4569)
- = ROD & CAP FOUND (AS NOTED)
- = 5/8" ROD & CAP SET (LB #4569)
- = IRON PIPE FOUND (AS NOTED)
- = IRON ROD FOUND (AS NOTED)
- ▲ = NAIL FOUND
- = NAIL & DISK FOUND (AS NOTED)
- = MAG NAIL & DISK SET (LB #4569)
- = PROPERTY LINE
- ⊙ = UTILITY POLE
- ⊙ = FIRE HYDRANT
- ⊙ = WATER METER
- ⊙ = WATER VALVE
- ⊙ = LIGHT POLE
- ⊙ = PINE TREE
- ⊙ = SABAL PALM



VICINITY SKETCH N.T.S.



FLOOD ZONE:
This property is located in Flood Zone AE (EL. 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0581F, dated 10/05/2017.

- NOTES:**
- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
 - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
 - Description furnished by client or client's agent.
 - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
 - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
 - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
 - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
 - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
 - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
 - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
 - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
 - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 1/10/2022

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

BOUNDARY SURVEY FOR:			
SCHNAPPS 269 PARK AVENUE LLC			
WALLACE SURVEYING <small>CORP. LICENSED BUSINESS # 4089 5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-6551</small>			
FIELD:	B.M.	JOB NO: 11-1276.2	F.B: PB324 PG. 71
OFFICE:	M.B.	DATE: 1/10/22	DWG. NO. 11-1276-2
C'K'D:	C.W.	REF: 11-1276-2.DWG	SHEET 1 OF 1