

By yfigueroa at 10:46 am, Dec 08, 2023

PROPERTY ADDRESS		230 BRAZILIAN AVENUE	
ZONING DISTRICT		R-C MEDIUM DENSITY	
LOT AREA (SQ. FT.)		8,260.4 S.F.	
LOT WIDTH (W) & LOT DEPTH (D) (FT.)		48.25' (W) X 171.2' (D)	
STRUCTURE TYPE:		TOWN HOUSE	
FEMA FLOOD ZONE DESIGNATION:		N/A	
ZERO DATUM FOR POINT OF MEAS. (NAVD)		N/A	
CROWN OF ROAD (COR) (NAVD)		N/A	
	REQ'D / PERMITTED	EXISTING	PROPOSED
LOT COVERAGE	N/A	N/A	N/A
ENCLOSED SQUARE FOOTAGE	N/A	N/A	N/A
FRONT YARD SETBACK (FT.)	N/A	N/A	N/A
SIDE YARD SETBACK (1ST STORY) (FT.)	N/A	N/A	N/A
SIDE YARD SETBACK (2ND STORY) (FT.)	N/A	N/A	N/A
REAR YARD SETBACK (FT.)	N/A	N/A	N/A
ANGLE OF VISION (DEG.)	N/A	N/A	N/A
BUILDING HEIGHT (FT.)	N/A	N/A	N/A
OVERALL BUILDING HEIGHT (FT.)	N/A	N/A	N/A
CUBIC CONTENT RATIO (CCR) (R-B ONLY)	N/A	N/A	N/A
MAX. FILL ADDED TO SITE (FT.)	N/A	N/A	N/A
FINISHED FLOOR ELEVATION (FFE) (NAVD)	N/A	N/A	N/A
BASE FLOOD ELEVATION (FFE) (NAVD)	N/A	N/A	N/A

	REQ'D / PERMITTED	PROPOSED
LANDSCAPE OPEN SPACE (LOS) (SQ. FT. AND %)	35% MINIMUM 2,891 S.F.	32.1% 2,656 S.F.
LOS TO BE ALTERED (SQ. FT. AND %)	N/A	20% 533 S.F.
PERIMETER LOS (SQ. FT. AND %)	N/A	N/A
FRONT YARD LOS (SQ. FT. AND %)	40% MIN. 482.5 S.F.	45.2% 545 S.F.
NATIVE TREES %	N/A	N/A
NATIVE SHRUBS & VINES %	30%	37.7%
NATIVE GROUNDCOVER %	N/A	N/A



- Enhanced West Landscape Buffer

An aerial photograph of a residential property. The house features a prominent red-tiled roof with multiple gables. A swimming pool is visible in the lower-left portion of the property. The yard is landscaped with various trees and shrubs. A white car is parked on the street in front of the property. The number '260' is overlaid on the image, indicating the property address.

VICINITY/LOCATION MAP

INTRACOASTAL WATERWAY

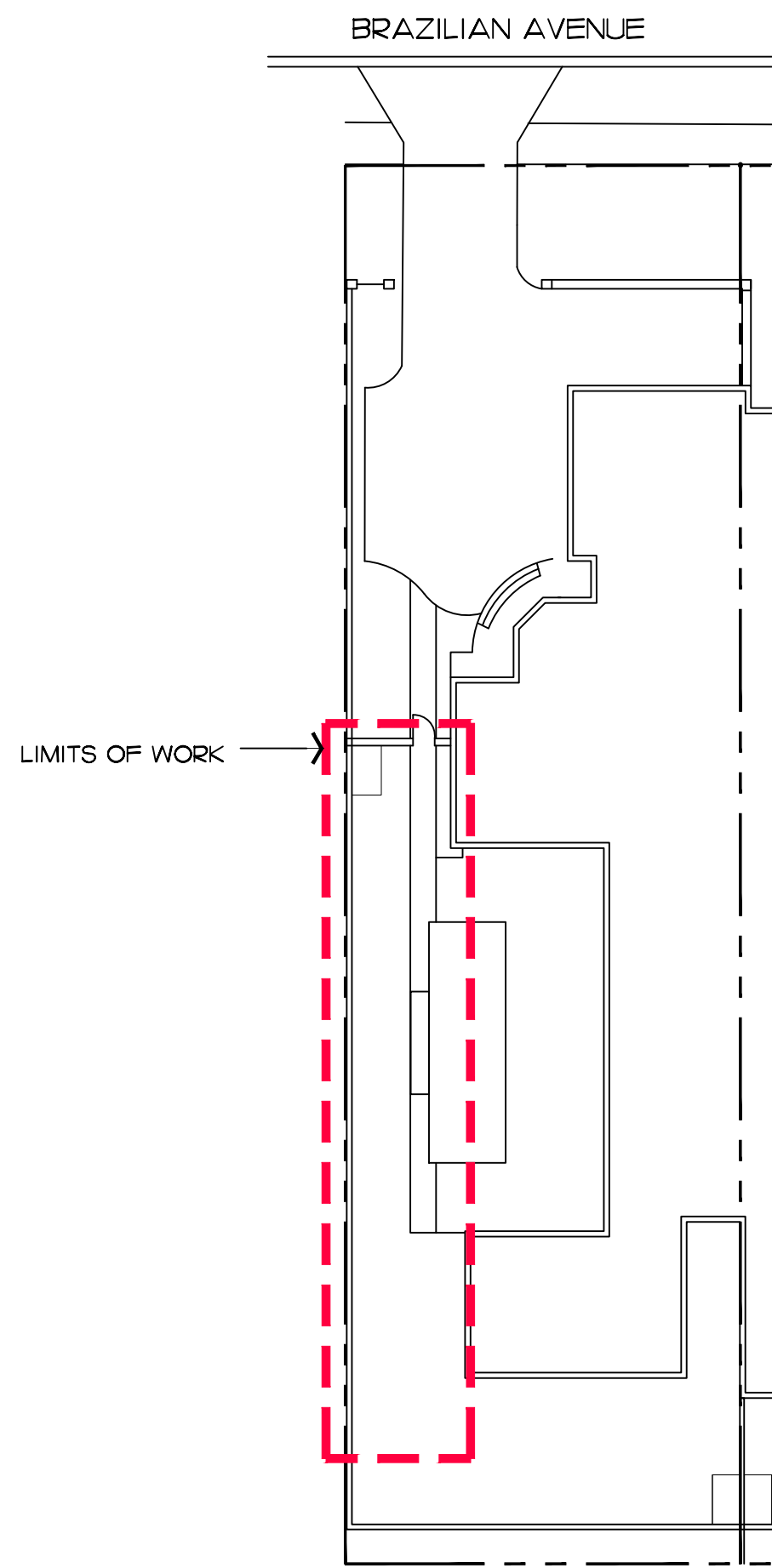
ATLANTIC OCEAN

SITE: 230 Brazilian Ave
Town of Palm Beach

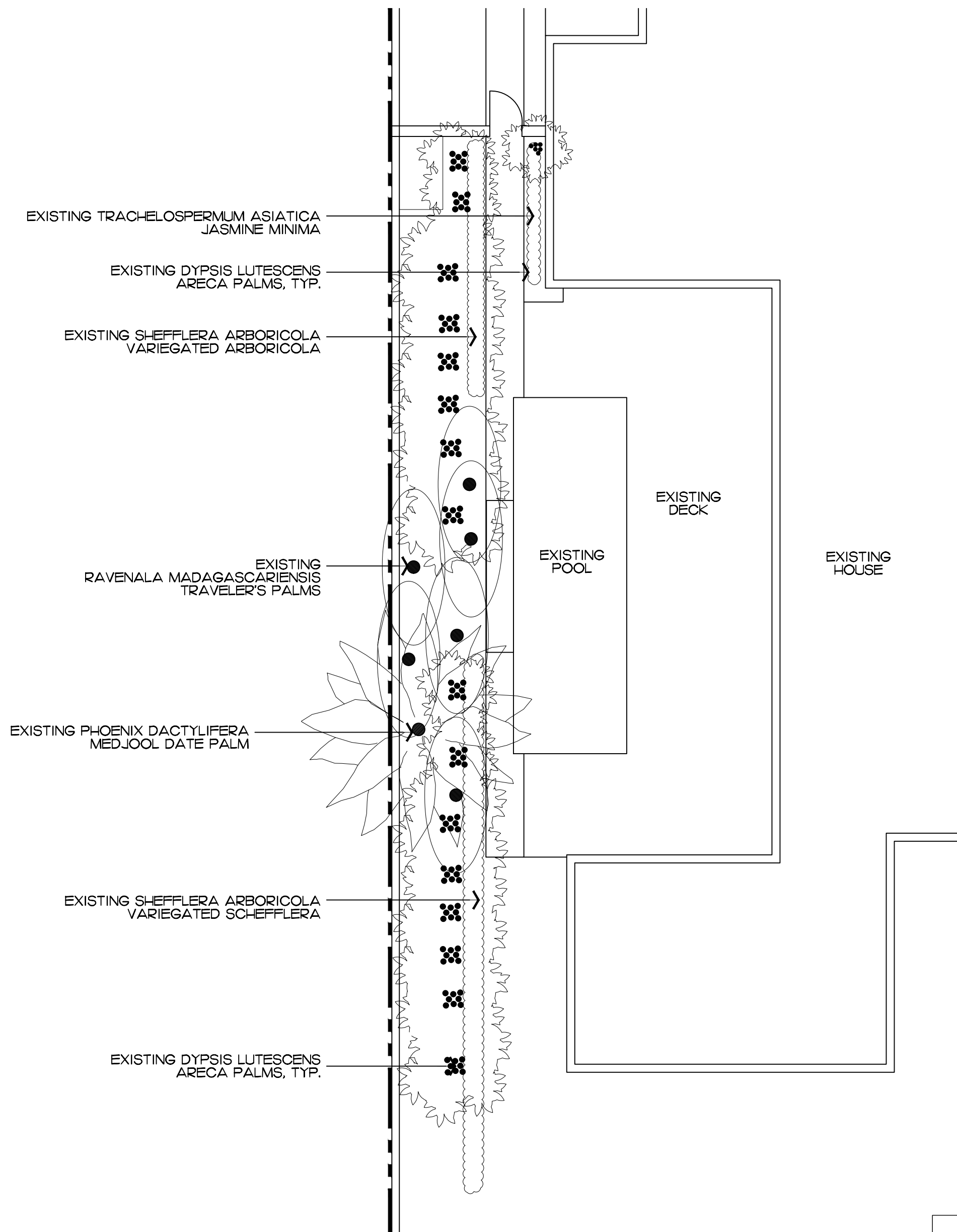
1/4 MILE RADIUS

STREETS: PENDLETON LN., PENDLETON AVENUE, PRIVATE ROAD, BARTON AVENUE, PRIMAVERA AVE., PRIVATE ROAD, CLARKE AVENUE, ANTIGUA LN., PRIVATE AVENUE, SEABREEZE, AVENUE, DR., SEASPRAY, SOUTH COUNTY RD., SEAVIEW AVE., ROYAL PALM WAY, COCONUT, BRAZILIAN, HIBISCUS AVE., AUSTRALIAN AVE., CHILIAN AVE., PERUVIAN AVE., WORTH, GOLF RD., HAMMOND AVE., GULFSTREAM RD., MIDDLE ROAD, SOUTH COUNTY WAY, EL BRAVO, EL BRILLO, EL VEDADO, TARPON ISLAND, ISLAND ROAD, ISLAND DRIVE, ISLAND.

- Coversheet
- L1.0 Existing Conditions / Veg Action Plan
- L1.1 Existing Conditions Photos
- L1.2 Truck Logistics Plan
- L1.3 Construction Staging & Screening Plan
- L2.0 Site Plan
 - L2.1 Landscape Open Space Calculations
 - L2.2 Landscape Alteration Diagram
- L3.0 Landscape Plan
- L4.0 Landscape Renderings
- Survey



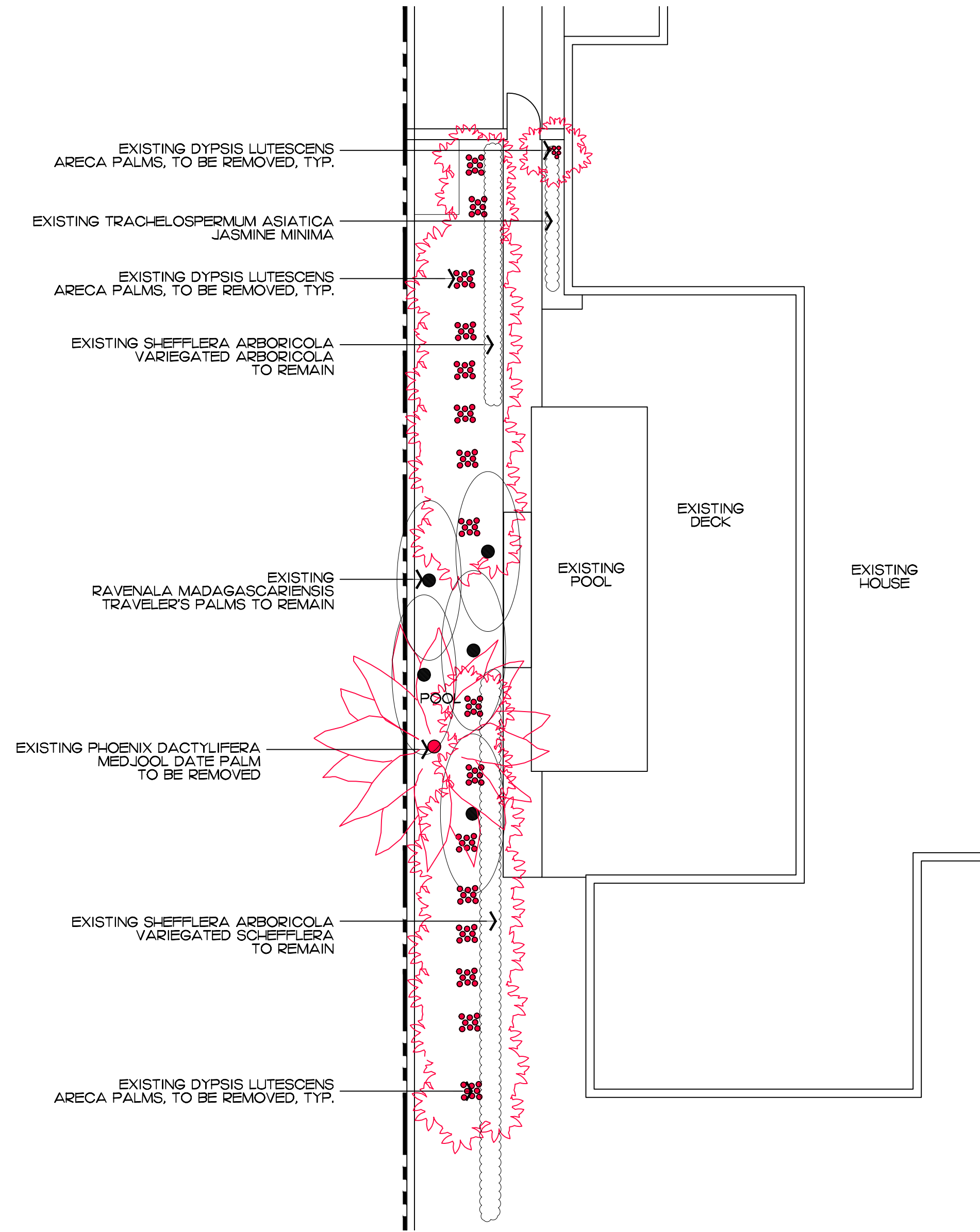
Site Plan
LIMITS OF WORK
SCALE 1" = 20'



Existing Conditions

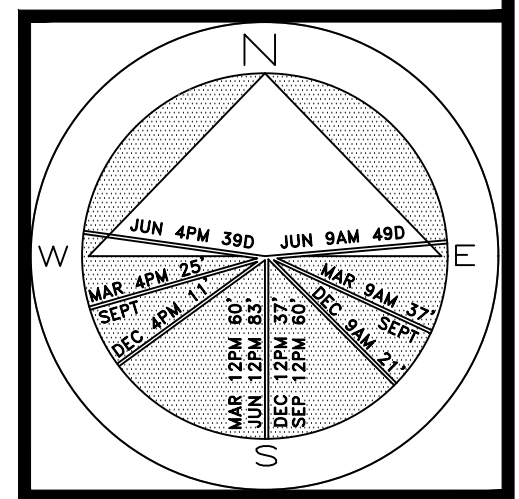
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ONLY PROPOSED CHANGES
ARE TO THE LANDSCAPE BUFFER
ON THE WEST SIDE OF THE HOUSE



Vegetation Action Plan

Private Residence
230 Brazilian Ave
Town of Palm Beach



JOB NUMBER: # 23134.00 LA
DRAWN BY: Allison Padilla
DATE: 11.20.2023



Existing Street View

PROPOSED LANDSCAPE IMPROVEMENTS WILL NOT BE VISIBLE FROM THE BRAZILIAN AVENUE



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Existing Condition Photos - Limits of Work

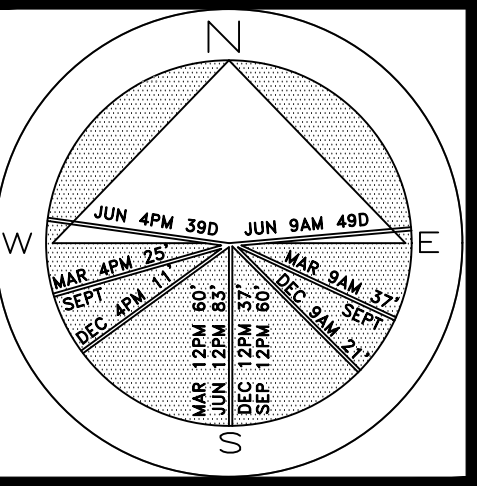
ENVIRONMENT
DESIGN
GROUP

139 North County Road 5020-8 Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

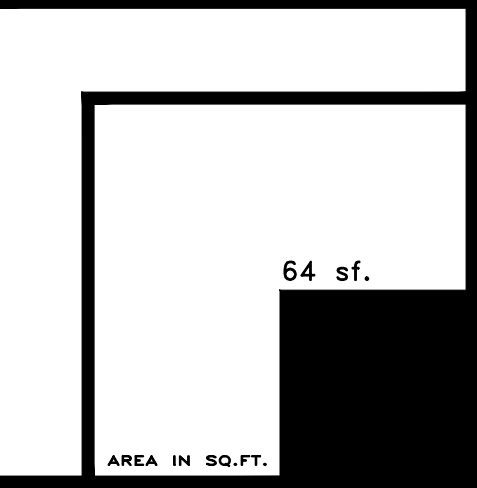
Dustin M. Mizell, M.L.A. P.L.A. #6666784
Dustin@environmentdesigngroup.com

Private Residence
230 Brazilian Ave
Town of Palm Beach

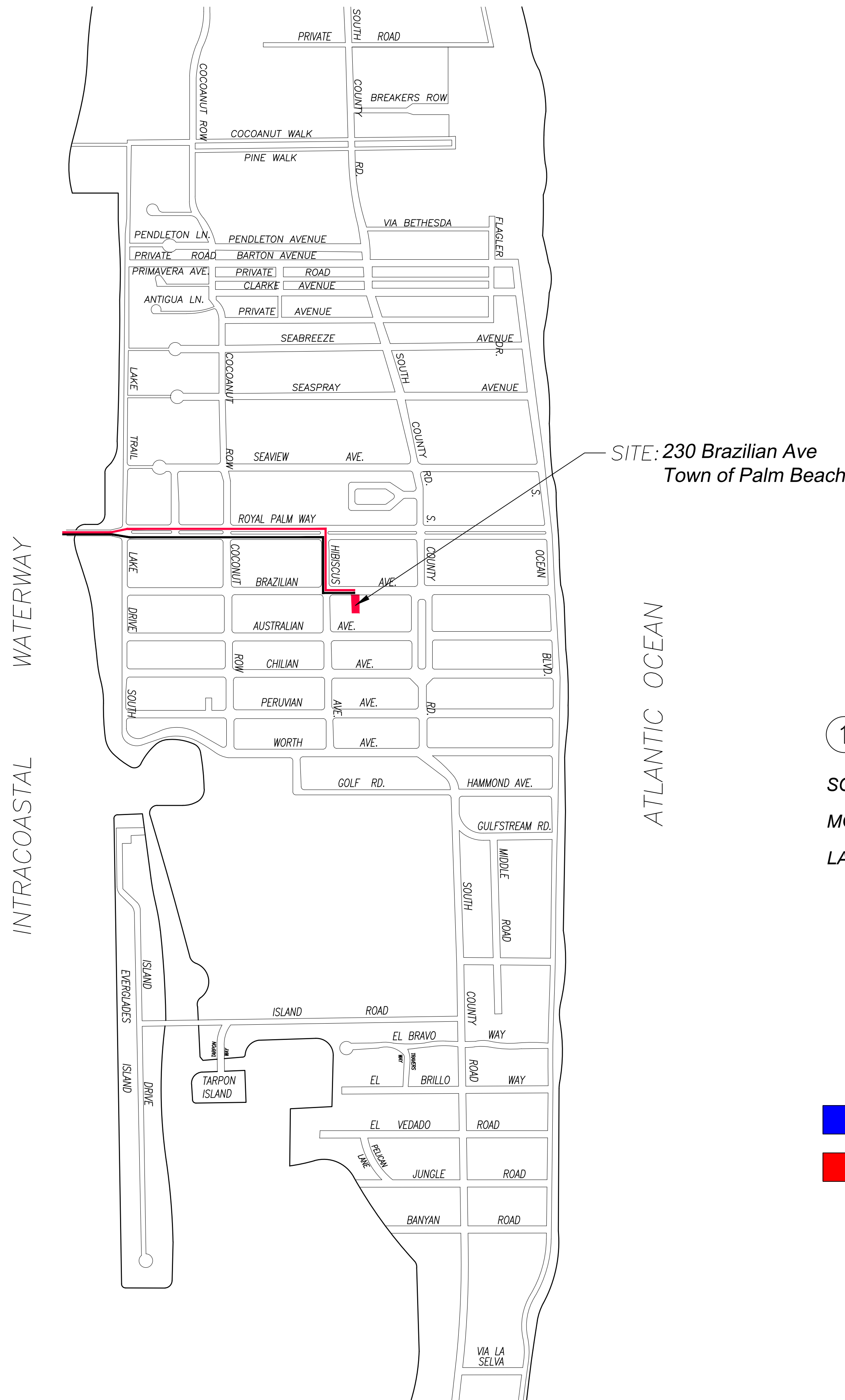


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DATE: 11.20.2023

SHEET L1.1



ARC-24-013

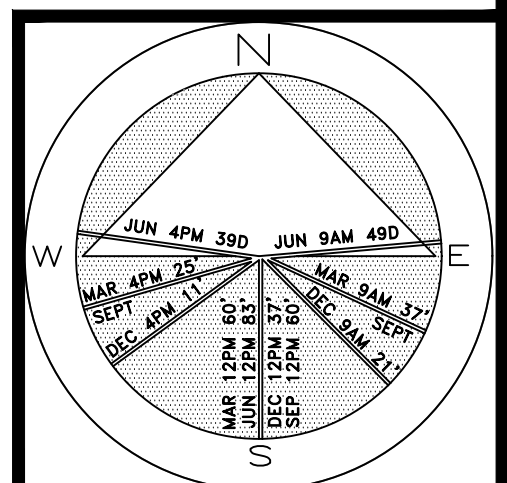


1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:
MONTH 1: LANDSCAPE INSTALLATION
LARGEST TRUCK ->
LANDSCAPE TRUCKS ->
SOD
IRRIGATION

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

Private Residence
230 Brazilian Ave
Town of Palm Beach



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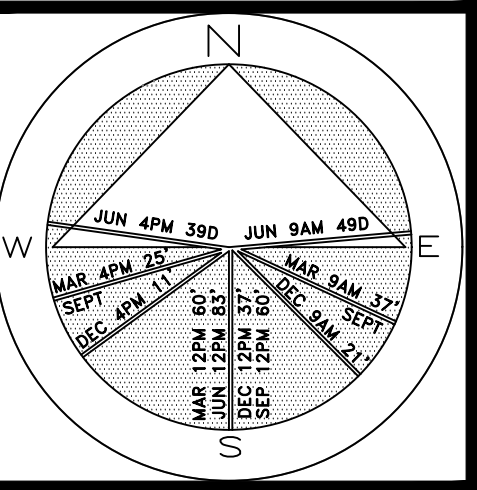
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SHEET L1.2

Private Residence

230 Brazilian Ave

Town of Palm Beach



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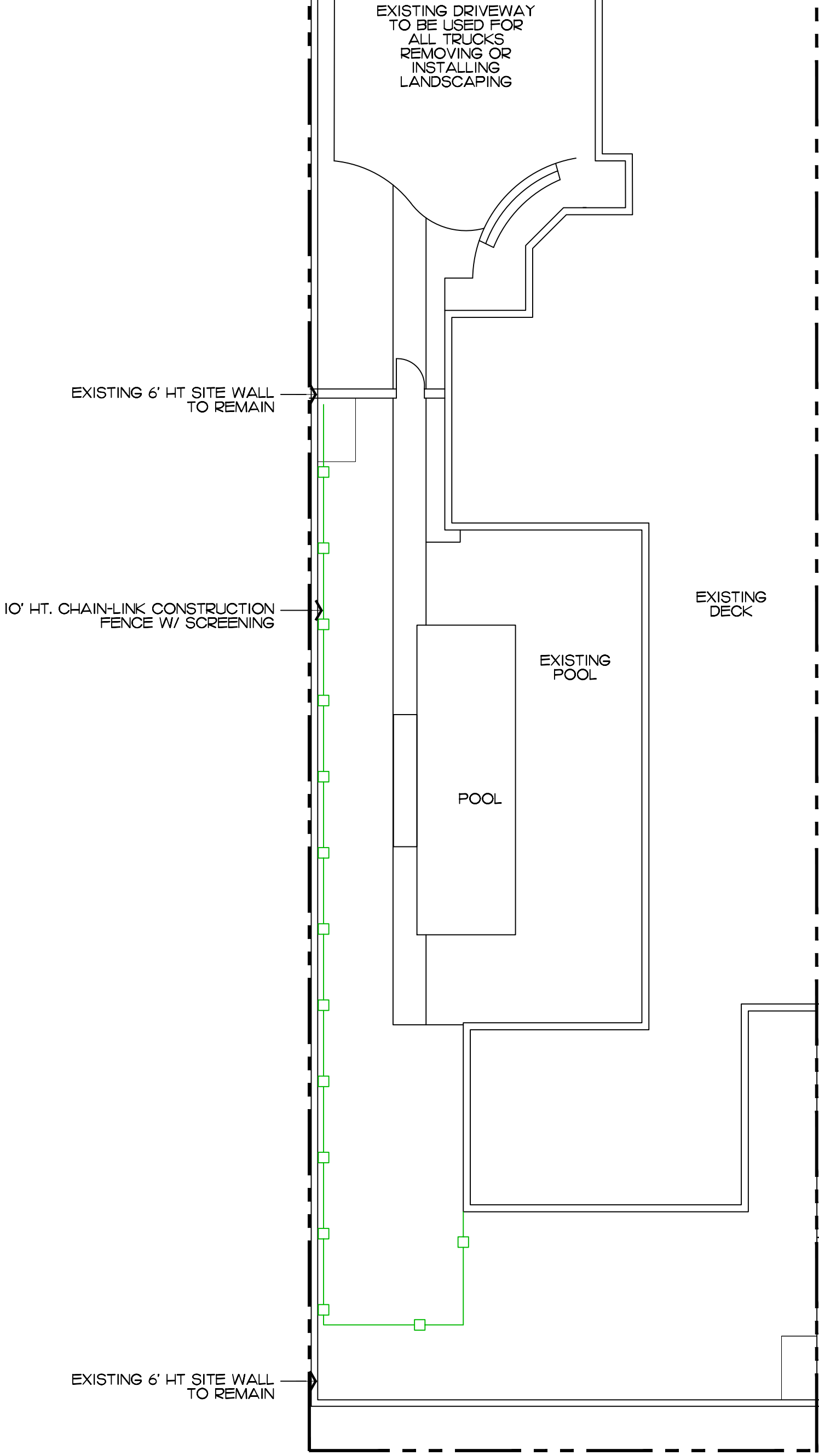
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SHEET L1.3

100 sf.

AREA IN SQ.FT.

BRAZILIAN AVENUE



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ARC-24-013

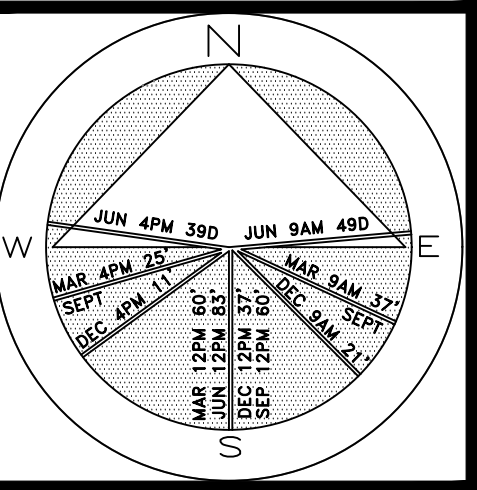
Construction Staging & Screening Plan

SCALE IN FEET 0' 10' 20' 30'

Private Residence

230 Brazilian Ave

Town of Palm Beach



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DRAWN BY: Allison Padilla

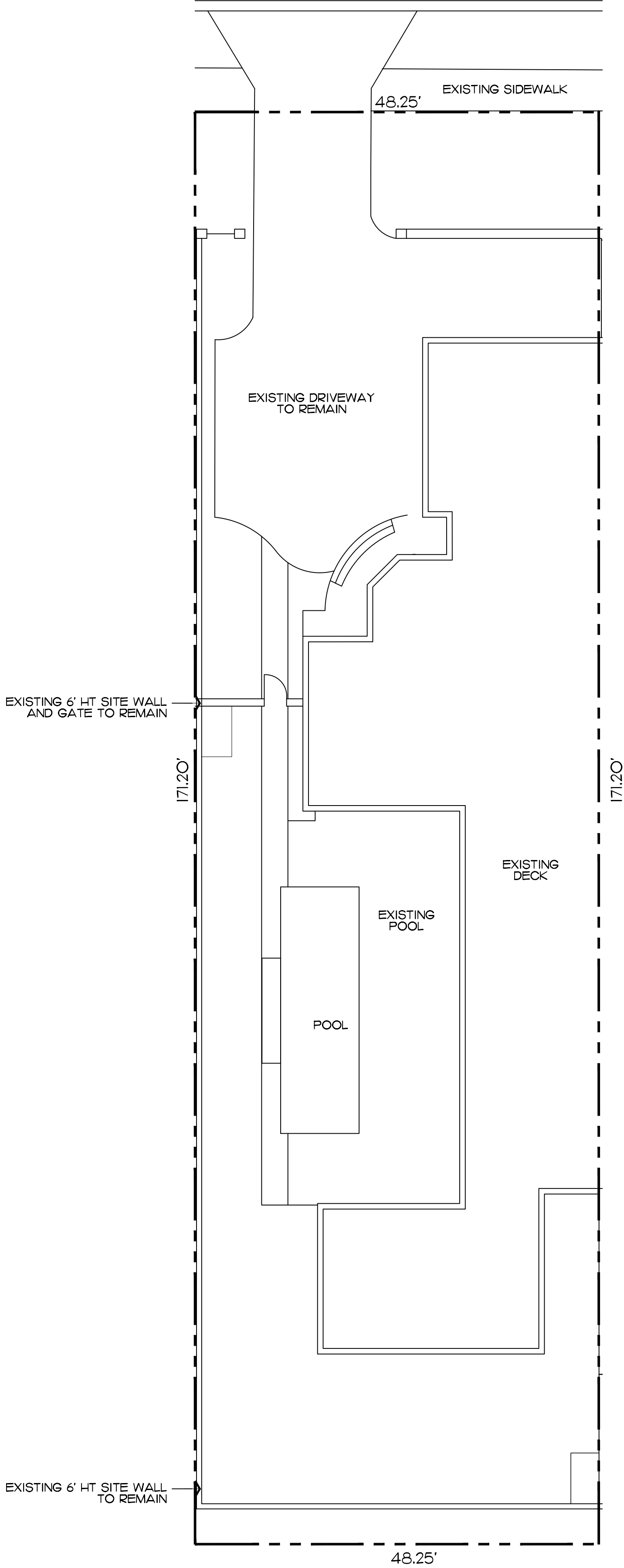
DATE: 11.20.2023

SHEET L2.0

100 sf.

AREA IN SQ.FT.

BRAZILIAN AVENUE



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ON THE WEST SIDE OF THE HOUSE

ARC-24-013

Site Plan

SCALE IN FEET 0' 10' 20' 30'

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Site Requirements

R-C MEDIUM DENSITY -TOWN HOUSE

DESCRIPTION	REQUIRED		EXISTING / PROPOSED	
LOT AREA	20,000 S.F. MINIMUM		8,260.4 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 35%	2,891 S.F.	32.1%	2,656 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	482.5 S.F.	45.2%	545 S.F.

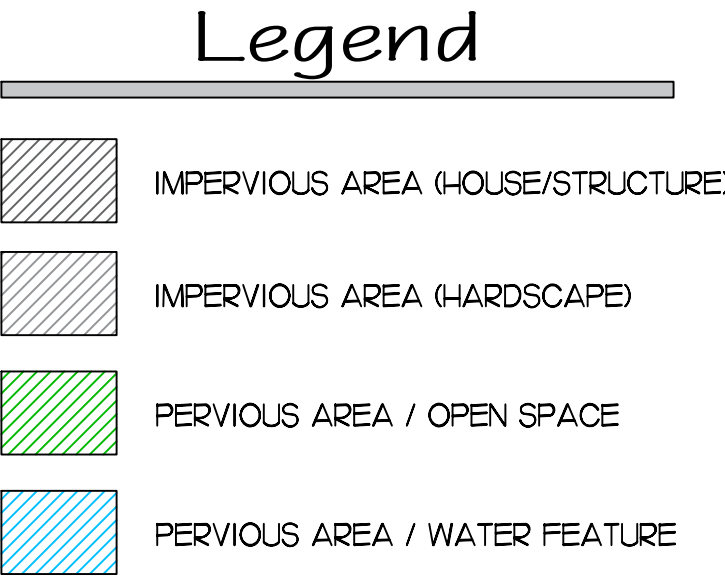
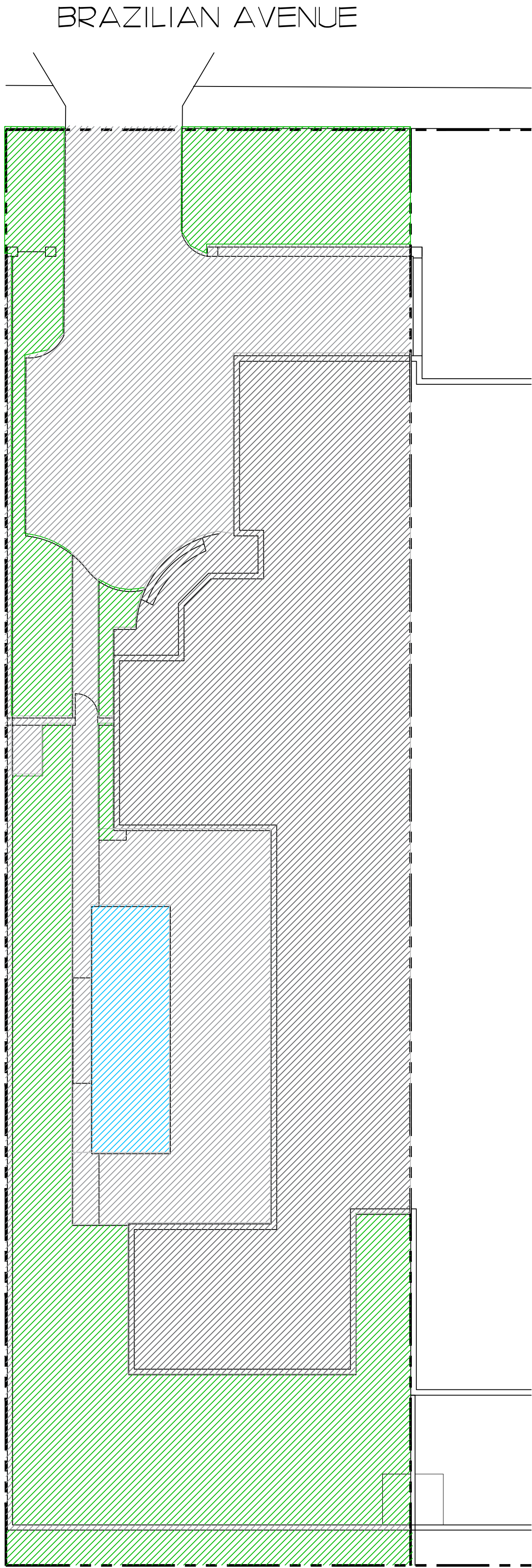
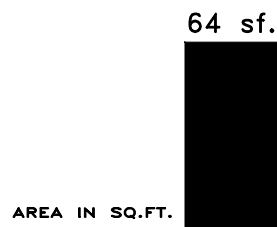
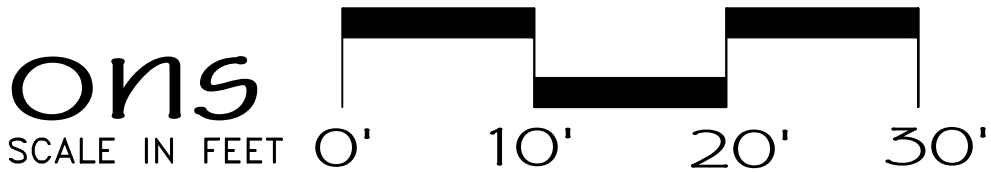
LANDSCAPE OPEN SPACE WILL NOT BE AFFECTED BY PROPOSED LANDSCAPE MODIFICATIONS.

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Landscape Open Space Calculations



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Landscape Architecture

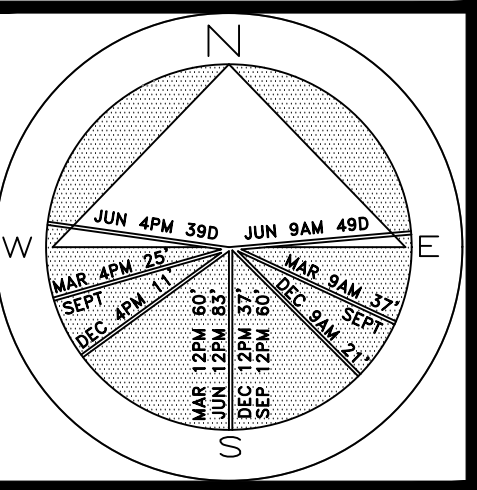
Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784

Dustin@environmentdesigngroup.com

Private Residence
230 Brazilian Ave
Town of Palm Beach



JOB NUMBER: # 23134.00 LA
DRAWN BY: Allison Padilla
Jean Twomey
DATE: 11.20.2023

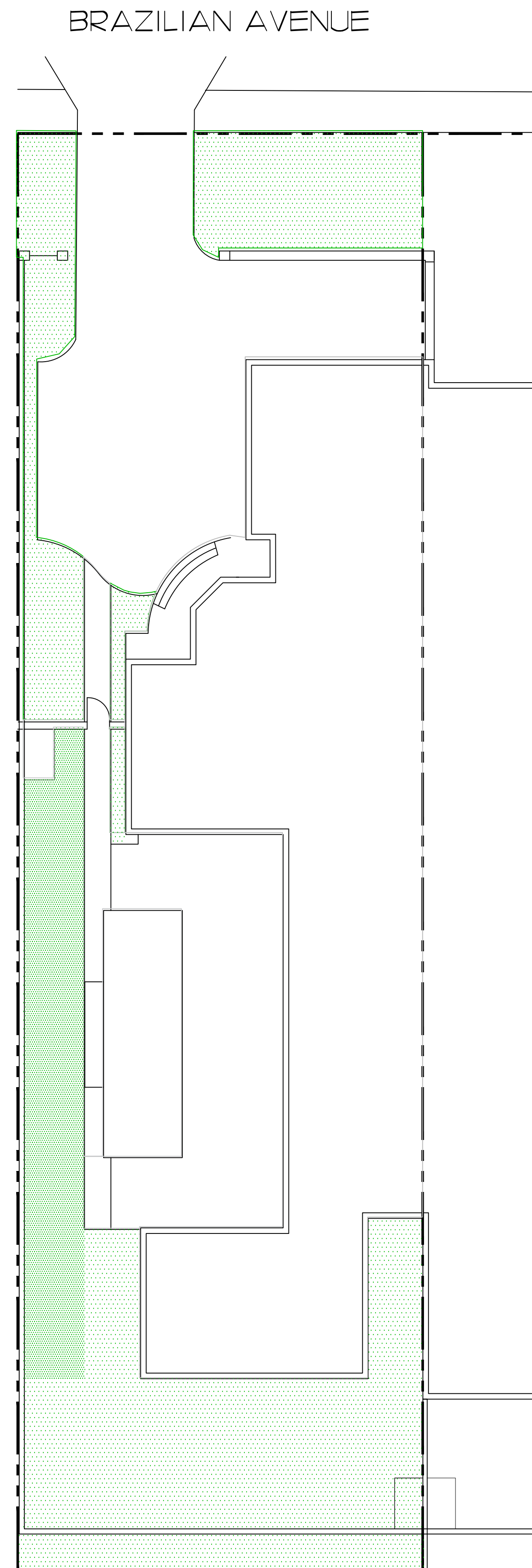
SHEET L2.1

Landscape Alteration Calculations

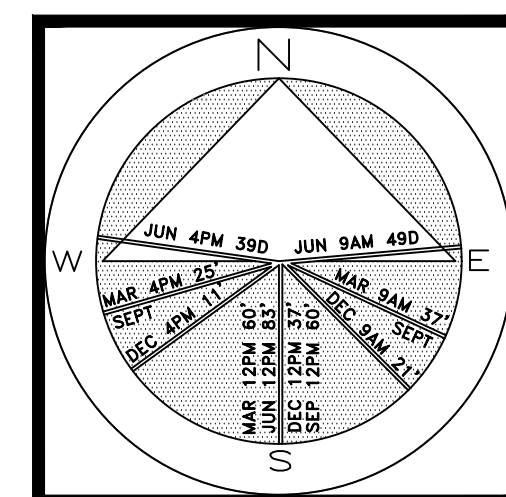
	TOTAL LANDSCAPE OPEN SPACE	2,656 S.F.
	EXISTING SITE LANDSCAPING TO BE ALTERED	533 S.F. (20%)

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Private Residence
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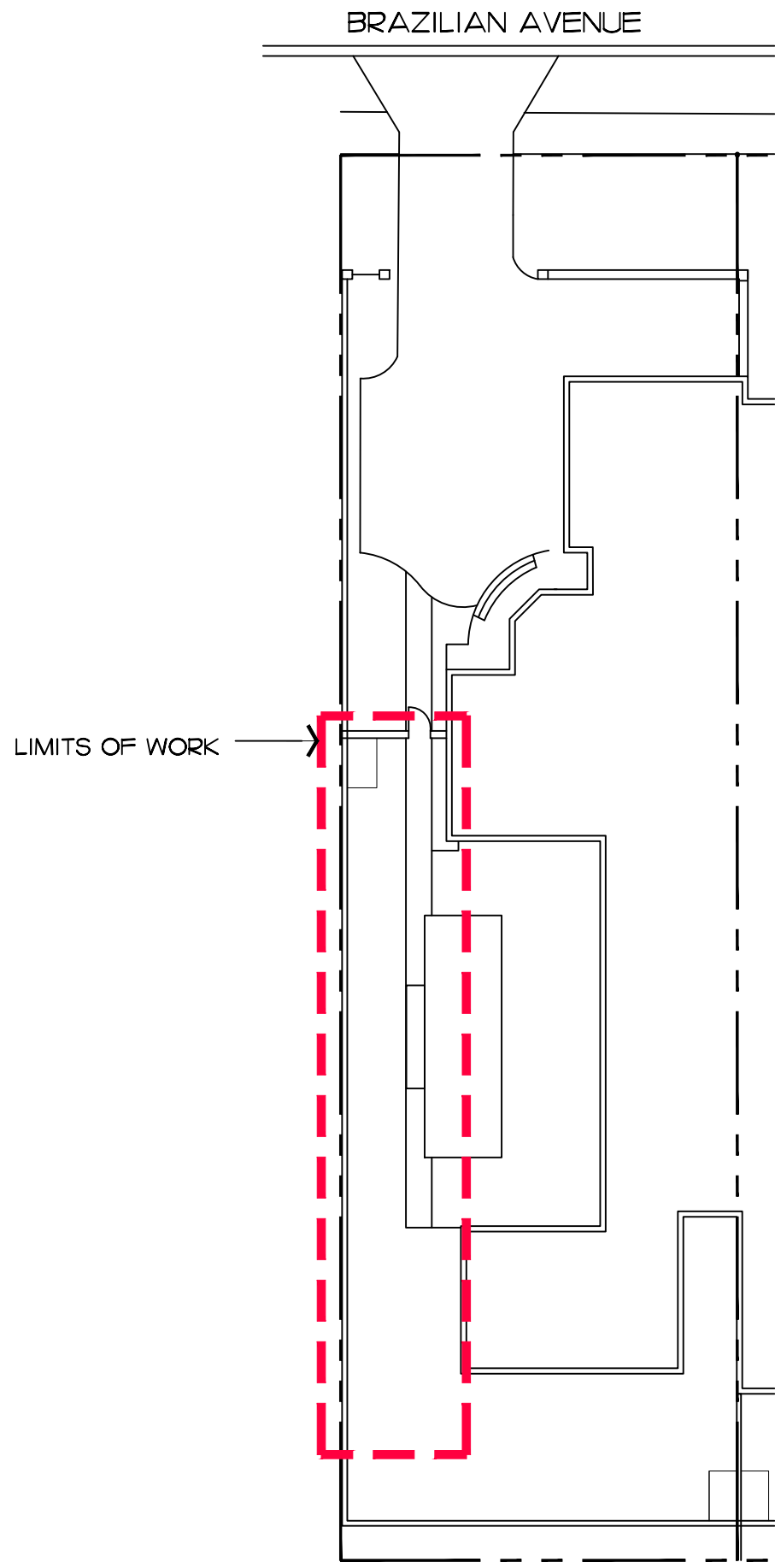
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Landscape Alteration diagram



64 sf.

AREA IN SQ.FT.



Site Plan
LIMITS OF WORK
SCALE 1" = 20'

- (15) SHEFFLERA ARBORICOLA 'TRINETTE'
VARIEGATED SCHEFFLERA
TO BE FILLED IN AS NEEDED
- EXISTING JASMINE MINIMA TO REMAIN
- (16) PODOCARPUS MACROPHYLLUS
PODOCARPUS HEDGE
15 GAL. TO SCREEN EQUIPMENT
- (1) COCOS NUCIFERA
COCONUT PALM
24' CT
- (10) CHRYSOBALANUS ICACO
COCOPLUM
7 GAL
- (5) RAVENALA MADAGASCARIENSIS
TRAVELERS PALMS
15'-16' HT
- EXISTING TRAVELER PALMS
TO REMAIN
- (30) CHRYSOBALANUS ICACO
COCOPLUM
7 GAL
- (35) SHEFFLERA ARBORICOLA 'TRINETTE'
VARIEGATED SCHEFFLERA
TO BE FILLED IN AS NEEDED
- (6) RAVENALA MADAGASCARIENSIS
TRAVELERS PALMS
15'-16' HT

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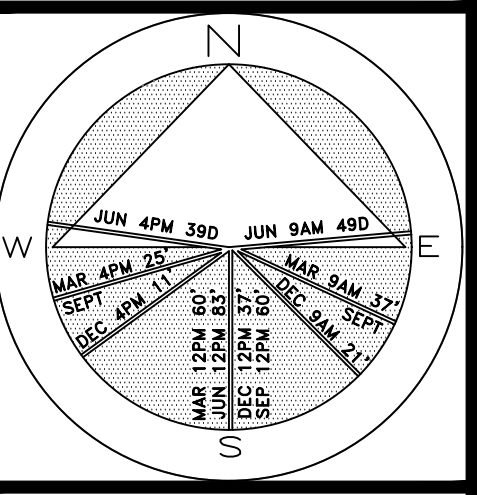
Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	COCOS NUCIFERA COCONUT PALM	I	24' CT	NO
	RAVENALA MADAGASCARIENSIS TRAVELERS PALM	II	15'-16' HT	NO

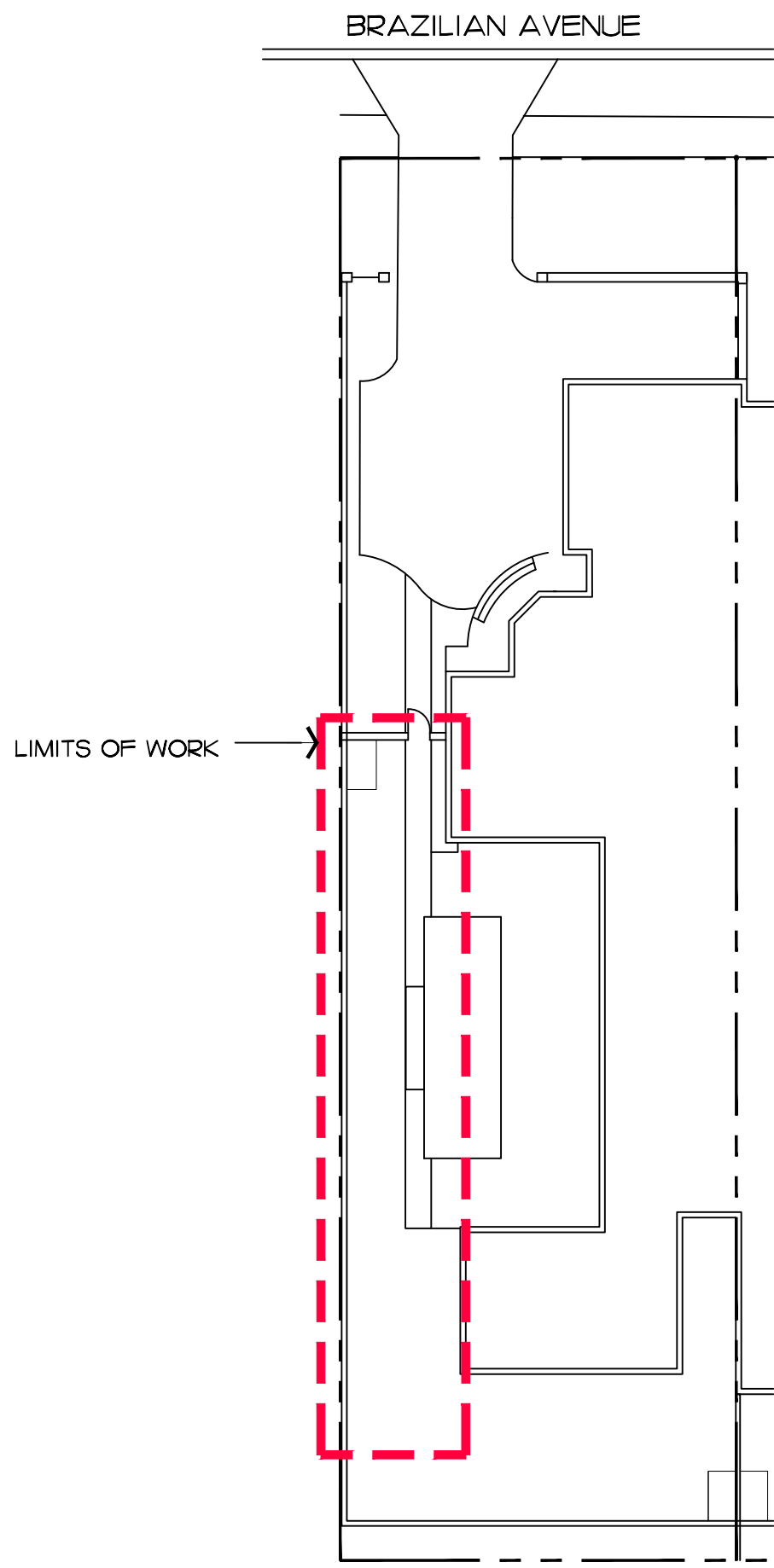
Shrub

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	SHEFFLERA ARBORICOLA 'TRINETTE' VARIEGATED SCHEFFLERA	50	3 GAL	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	16	15 GAL	NO
	CHRYSOBALANUS ICACO COCOPLUM	40	7 GAL	YES
TOTAL TREES:		106		
NATIVE SPECIES:		40 (37.7%)		

Private Residence
230 Brazilian Ave
Town of Palm Beach



JOB NUMBER: # 23134.00 LA
DRAWN BY: Allison Padilla
DATE: 11.20.2023



Site Plan
LIMITS OF WORK
SCALE 1" = 20'



Rendered Plan



Existing Conditions



Proposed Improvements



Existing Conditions



Proposed Improvements

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2023
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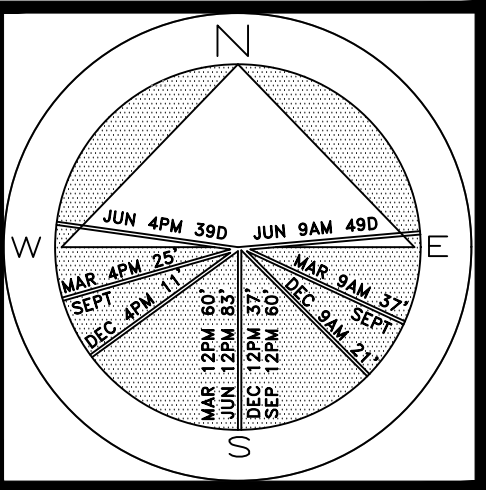
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Landscape Renderings

NOT TO SCALE

**ENVIRONMENT
DESIGN
GROUP**
139 North County Road 5920-8 Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. P.L.A. #6666784
Dustin@environmentdesigngroup.com

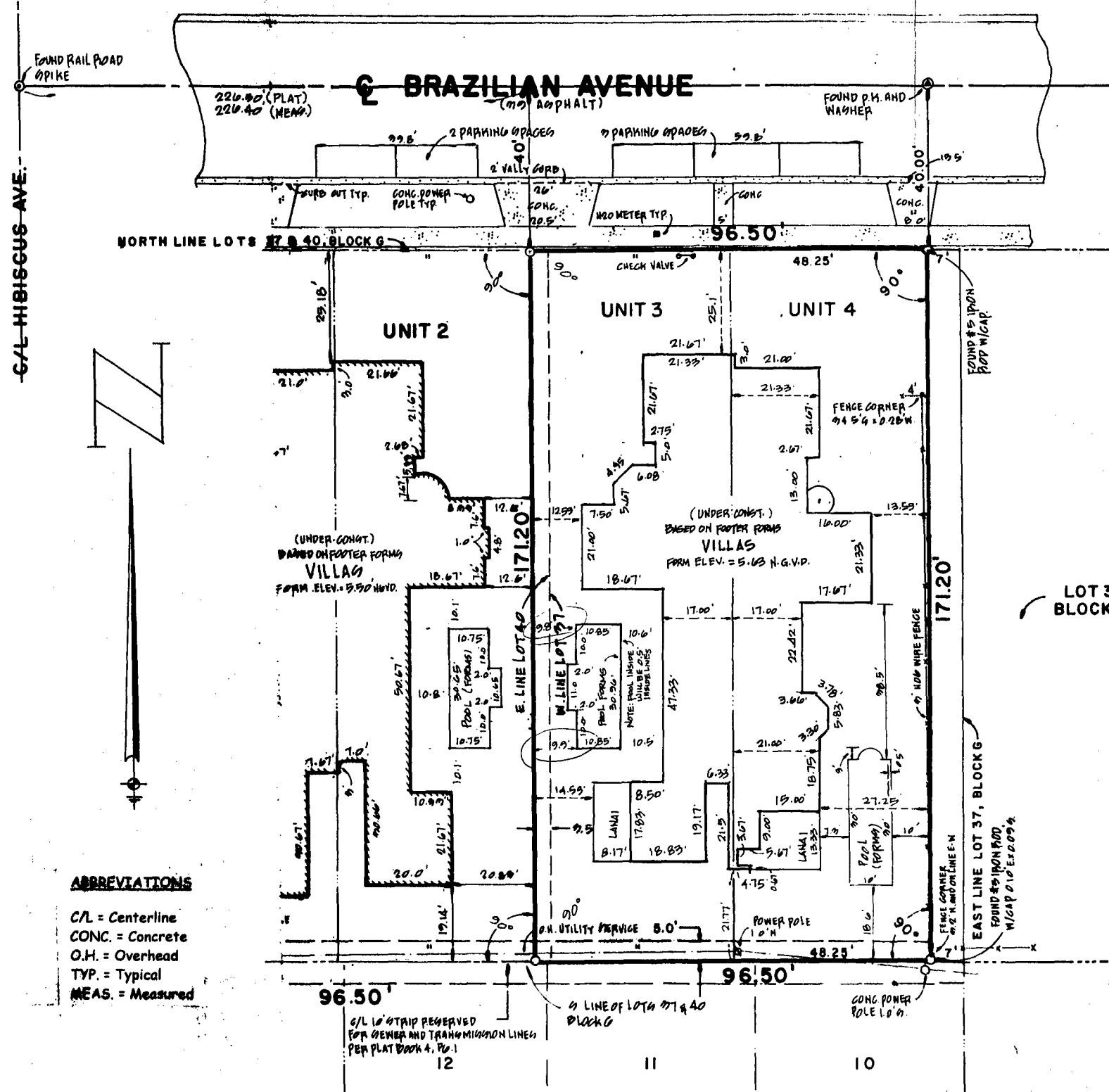
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DATE: 11.20.2023

SHEET L4.0

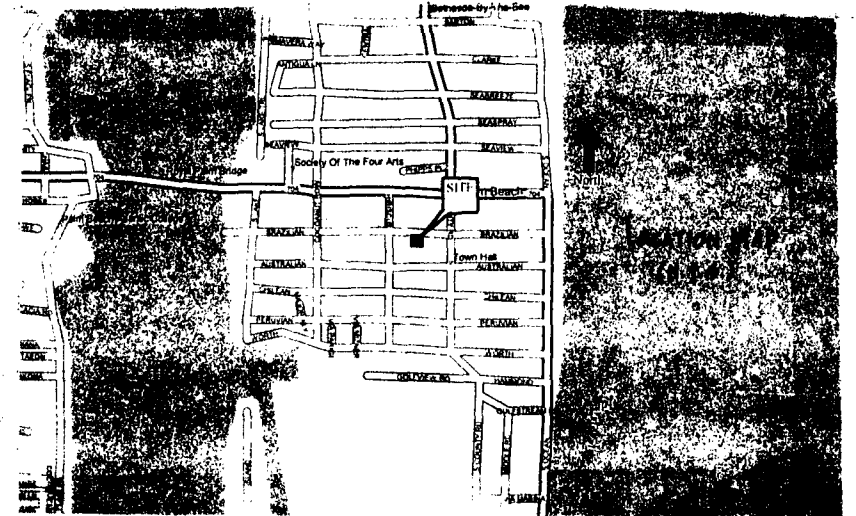
Permit # 8018917 9/97
8016632



ABBREVIATIONS

C/L = Centerline
CONC. = Concrete
O.H. = Overhead
TYP. = Typical
MEAS. = Measured

BLOCK G, REVISED MAP OF ROYAL PARK ADDITION
TO PALM BEACH, FLORIDA, PLAT BOOK 4, PAGE 1



LEGAL DESCRIPTION

UNIT 3

THE EAST 3.50 FEET OF LOT 40, BLOCK G AND THE WEST 44.75 FEET OF LOT 37, BLOCK G, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

UNIT 4

THE EAST 48.25 FEET OF THE WEST 93.00 FEET OF LOT 37, BLOCK G, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SUREYOR'S CERTIFICATION

BOUNDARY SURVEY
CERTIFIED TO: Brazilian Avenue Villas of Palm Beach

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Professional Surveyors and Mappers in Chapter 61A, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

NOTE: 1. Not Valid without the signature and the original raised seal of a Florida licensed surveyor and mapper

Donald D. Daniels, Inc. is a State of Florida licensed surveying & mapping business under Certificate No. 184165, effective date: August 1, 1996.

1. Restrictions, dedications and easements on plat of Revised Map of Royal Park Addition to Palm Beach, Florida in Plat Book 4, Page 1. "This item does affect subject property and is plotted hereon".

2. Easements contained in Deed Book 59, Page 183, Deed Book 74, Page 81 and Deed Book 48, Page 474. "These items are restrictions and set backs for property, however are only in full force and effect until Jan. 1st 1935, and therefore are not plotted hereon".

3. There are no other recorded restrictions, rights-of-ways or easements indicated by this title search.

This Instrument was prepared by:
DONALD D. DANIELS
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATE NO. 28008

REF. 4-1	Donald D. Daniels, Inc.	SCALE 1" = 20'
OFFICE DEP	PROFESSIONAL LAND SURVEYORS	NO. 96-1061
DATE 5-14-97	725 N. A1A • Suite C-111 • Jupiter, FL 33477 • 407-747-0004	SHT 1 OF 1

RECEIVED
APR 13 1998
TOWN OF PALM BEACH
BUILDING & ZONING
58