

REVIEWED

By yfigueroa at 10:36 am, Dec 08, 2023

Design Team/Consultants

Landscape Architects

ENVIRONMENT DESIGN GROUP

139 NORTH COUNTY ROAD SUITE 20B

PALM BEACH, FL 33480

561.832.4MATCH600

WWW.ENVIRONMENTDESIGNGROUP.COM

Private Residence 334 Chilean Avenue Palm Beach

D

ARC-24-004 ZON 24-014 Second Submittal Projected Hearing Date: 01/24/24

Sheet Index

Cover Sheet

Survey

SITE: 334 CHILEAN AVENUE TOWN OF PALM BEACH

-1/4 MILE RADIUS

VIA BETHESDA

PENDLETON LN. PENDLETON AVENUE

PRIVATE | AVENUE

SEAVIEW

ROYAL PALM WAY

AUSTRALIAN

CHILIAN

PERUVIAN

GOLF RD.

Vicinity/Location Map

GULFSTREAM F

ROAD BRILLO

ANTIGUA LN.

WATERWAY

INTRACOASTAL

Site Civil Plan (Grading and Drainage Plan)

L1.0 Comparison Site Plan

L1.1 Open Space Diagram

L1.2 Site Calculations Graphics

L1.3 Site Pictures - Existing Conditions
L1.4 Site Pictures - Existing Conditions

L2.1 Rendered Landscape Plan Rendering

L2.0 Landscape Plan

L3.0 Plant list

L4.0 Rendered Landscape Elevations

L4.1 Rendered Landscape Elevations

L5.0 Lighting Plan

D1a Rendered Gate Elevations

D1 Gate Details

D2 Gate Details

D3 Site Wall Details

D3.1 Site Wall Details (Variance Diagrams)

D3.2 Site Wall Details

D4 Site Wall Details (Variance Diagrams)

D5 Yard Section Diagram

Blank sheet

Previously Approved Street Elevation

Previously Approved Building Materials

Previously Approved Landscape Set

Landscape Legend

| Property Address: | 334 Chilean Aver | nue |
|-----------------------|----------------------|----------------|
| Lot Area: | 9,379 <i>s</i> .f. | |
| | Required/Allowed | Proposed |
| Landscape ○pen∫pace: | 4,220 JF (45%) | 4,227 (45.06%) |
| LQ/ to be altered | N/A | A/A |
| Perimeter LQ/ | • | 2,738 ∕ F |
| Front Yard LQ/ | 750 / F (40%) | 1,328 (45.2%) |
| Native Trees | 30% | 38% |
| Native Shrubs & Vines | 30% | 33% |
| Native Groundcover | 30% | 72% |



Aerial View

LEGEND

```
= ARC LENGTH
         = AIR CONDITIONING
         = ACCESS EASEMENT
         = ALSO KNOWN AS
         = ASPHALT
BLDG.
         = BUILDING
         = BENCHMARK
         = BACK OF CURB
         = BACK OF WALK
B.O.W.
         = CALCULATED
CATV
         = CABLE ANTENNA TELEVISION
C.B.
         = CHORD BEARING
         = CONCRETE BLOCK STRUCTURE
C.C.C.L.
         = COASTAL CONSTRUCTION CONTROL LINE
         = CHORD
C.L.F.
         = CHAIN LINK FENCE
         = CLEAR
         = CORRUGATED METAL PIPE
         = CONCRETE
CONC.
         = DESCRIPTION DATUM
         = DEED BOOK
         = DRAINAGE EASEMENT
D.E.
         = DRILL HOLE
D.H.
         = DRIVEWAY
         = ELEVATION
         = ENCROACHMENT
         = EDGE OF PAVEMENT
E.O.P
E.O.W.
         = EDGE OF WATER
ESM'T
         = EASEMENT
         = FINISH FLOOR
FND.
         = FOUND
F.O.C.
         = FACE OF CURB
         = INSIDE DIAMETER
         = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
         = LIMITED ACCESS EASEMENT
         = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
         = FIELD MEASUREMENT
         = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
         = MEAN LOW WATER LINE
         = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D.= NORTHERN PALM BEACH COUNTY
            IMPROVEMENT DISTRICT
         = NOT TO SCALE
         = OVERALL
         = OUTSIDE DIAMETER
         = OVERHEAD UTILITY LINE
         = OFFICIAL RECORD BOOK
         = OFFSET
O/S
         = PLAT DATUM
         = PLAT BOOK
         = PALM BEACH COUNTY
         = POINT OF CURVATURE
         = POINT OF COMPOUND CURVATURE
P.C.P.
         = PERMANENT CONTROL POINT
PG.
         = PAGE
         = POINT OF INTERSECTION
         = PART OF
 P/O
P.O.B.
        = POINT OF BEGINNING
        = POINT OF COMMENCEMENT
         = POINT OF REVERSE CURVATURE
         = PERMANENT REFERENCE MONUMENT
         = PROPOSED
PROP.
         = POINT OF TANGENCY
P.T.
PVM'T
         = PAVEMENT
          = RADIAL
         = RADIUS
         = RANGE
R.P.B.
         = ROAD PLAT BOOK
         = RIGHT OF WAY
         = SURVEY DATUM
         = SETBACK
SEC.
         = SECTION
S/D
         = SUBDIVISION
         = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER
            MANAGEMENT DISTRICT
S.I.R.W.C.D= SOUTH INDIAN RIVER WATER
            CONTROL DISTRICT
         = STATE ROAD
         = STATION
STA.
STY.
         = STORY
         = SIDEWALK
         = TOP OF BANK
T.O.B.
T.O.C.
         = TOP OF CURB
 TWP.
         = TOWNSHIP
TYP.
         = TYPICAL
         = UNDER CONSTRUCTION
U.E.
         = UTILITY EASEMENT
         = UNRECORDED
U.R.
         = WITNESS CORNER
        = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
        = WATER MANAGEMENT TRACT
W.M.T.
          = BASELINE
         = CENTERLINE
         = CENTRAL ANGLE/DELTA
         = CONCRETE MONUMENT FOUND (AS NOTED)
         = CONCRETE MONUMENT SET (LB #4569)
         = ROD & CAP FOUND (AS NOTED)
         = 5/8" ROD & CAP SET (LB #4569)
         = IRON PIPE FOUND (AS NOTED)
         = IRON ROD FOUND (AS NOTED)
         = NAIL FOUND
         = NAIL & DISK FOUND (AS NOTED)
```

= MAG NAIL & DISK SET (LB #4569)

= PROPERTY LINE

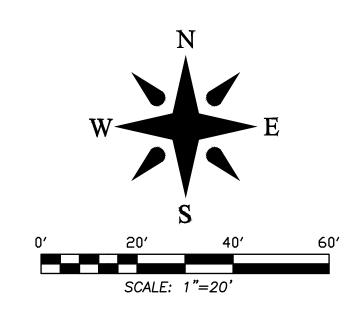
= UTILITY POLE

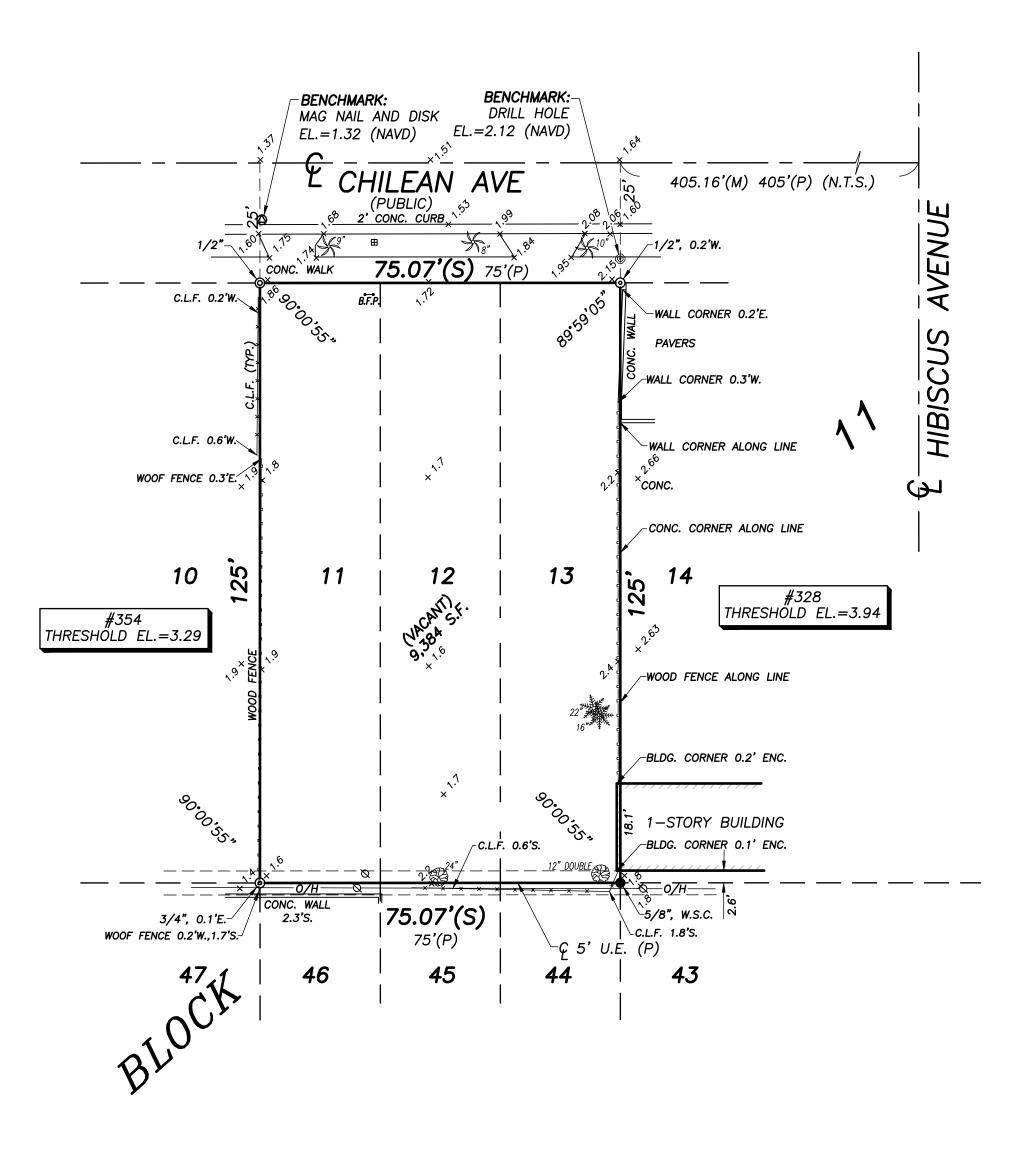
= FIRE HYDRANT

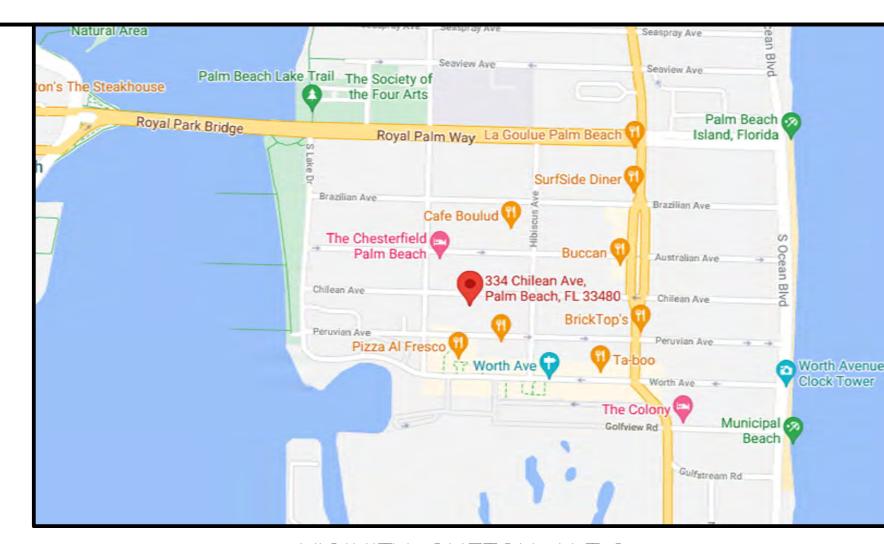
= WATER METER

= WATER VALVE

= LIGHT POLE







VICINITY SKETCH N.T.S.

BOUNDARY SURVEY FOR: G.W. PURUCKER HOMES

This survey is made specifically and only for the following parties for the purpose of design on the surveyed property.

G.W. Purucker Homes J.V., M&T Bank, First American Title Insurance Company, Alley, Maas, Rogers Lindsay, P.A. Horizon Title Services, Inc.

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated

PROPERTY ADDRESS: 334 Chilean Avenue Palm Beach, FL 33480

Lots 11, 12 and 13, Block 11 of REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, according to the Plat thereof as recorded in Plat Book 4, Page(s) 1, of the Public Records of PALM BEACH County, Florida.

| | | T | | | | |
|----------------------|--------------|---|---------------------------|--------------------------------------|-----------------------|-------------------------|
| CLIENT: 334 Chilian, | | COMMITMENT NO.: 1062-5230253 | DATE: 02/20/2021 | | | |
| imited liability com | | 100 110 1015 01 | | | | |
| WED BY: Craig Wal | lace | JOB NO.: 07-1045.34 | | | | |
| B2 ITEM NO. | DOCUMENT | DESCRIPTION | AFFECTS AND PLOTTED | AFFECTS AND NOT PLOTT- ABLE | DOES NOT AFFECT | NOT A SURVE MATTE |
| 1 - 8 | N/A | Standard Exceptions | | | | • |
| 9 | PB 4 PG 1 | Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). | • | | | |
| 10 | DB 22 PG 113 | Easement | | | • | |

TREE LEGEND

=COCONUT PALM

₩ =FICUS TREE

=ROYAL PALM

This property is located in Flood Zone AE (EL. 6) according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0389F, dated 10/05/2017.

- 1. All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1062-5230253, issued by First
- American Title Insurance Company, dated February 10, 2021. This office has made no search of the Public Records. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x
- 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted. 3. Description furnished by client or client's agent.
- 4. Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- 8. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- 9. Revisions shown hereon do not represent a "survey update" unless otherwise noted. 10. All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- 11. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- 12. It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make
- 13. The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the
- 14. The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027,

DATE OF LAST FIELD SURVEY: 02/12/2021

Florida Statutes, effective September 1, 1981.

Professional Surveyor and Mapper Florida Certificate No. 3357

4/08/17 SURVEY AND TIE-IN UPDATE WITH CROWN OF ROAD ELEVATIONS AND TREE LOCATIONS J.C./M.B. 07-1045.2 PB239/35 12/07 SPOT ELEVATIONS, B.M./K.S. PB85/64 07-1045.1 **BOUNDARY SURVEY FOR:**

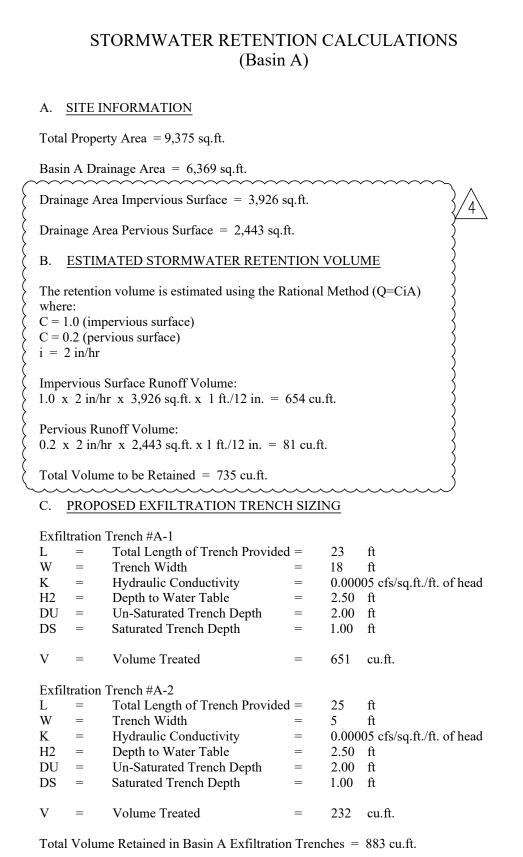
4/27/21 ADD NEIGHBORING F.F. ELEVATIONS & TITLE REVIEW B.M./S.W. 07-1045.4 PB309/65 2/12/21 SPOT ELEVATIONS, SURVEY AND TIE-IN UPDATE B.M./S.W. 07-1045.3 PB307/38

02/21 CONVERT TO 24x36 M.B. 07-1045.5

G.W. PURUCKER HOMES



5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551 JOB NO.: 07-1045 F.G. F.B. PB87 PG. 26 OFFICE: DWG. NO. 07-1045 2/22/07 C'K'Dı REF: 07-1045.DWG C.W.



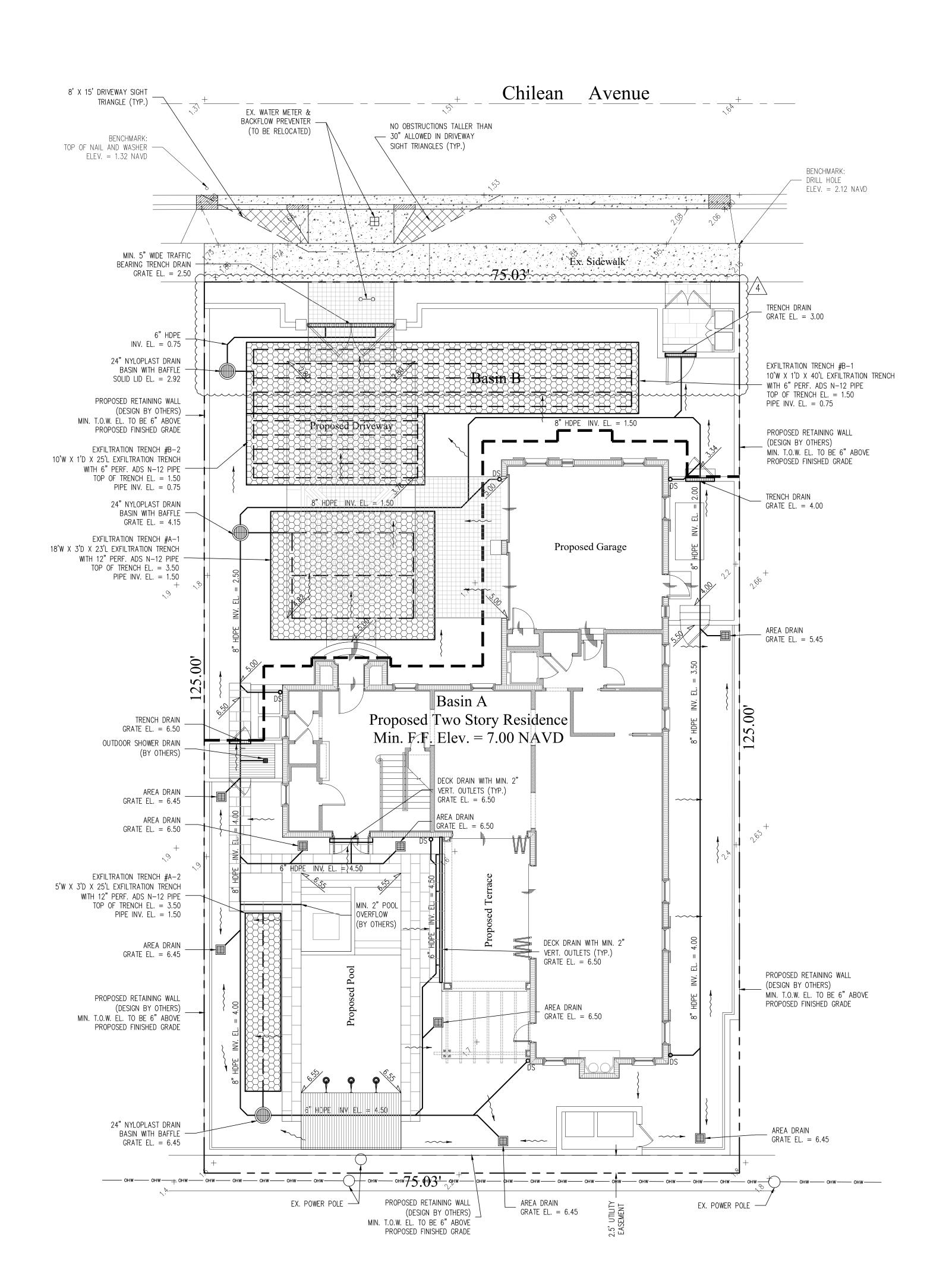
STORMWATER RETENTION CALCULATIONS (Basin B)

A. <u>SITE INFORMATION</u>

```
Basin B Drainage Area = 3,006 sq.ft.
 Drainage Area Impervious Surface = 1,230 sq.ft.
Drainage Area Pervious Surface = 1,776 sq.ft.
B. ESTIMATED STORMWATER RETENTION VOLUME
The retention volume is estimated using the Rational Method (Q=CiA)
C = 1.0 (impervious surface)
C = 0.2 (pervious surface)
i = 2 in/hr
Impervious Surface Runoff Volume:
1.0 \times 2 \text{ in/hr} \times 1,230 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 205 \text{ cu.ft.}
Pervious Runoff Volume:
0.2 \times 2 \text{ in/hr} \times 1,776 \text{ sq.ft.} \times 1 \text{ ft./}12 \text{ in.} = 59 \text{ cu.ft.}
Total Volume to be Retained = 264 cu.ft.
 C. PROPOSED EXFILTRATION TRENCH SIZING
Exfiltration Trench #B-1 & B-2
L = Total Length of Trench Provided = 65
W = Trench Width
                                        = 0.00005 cfs/sq.ft./ft. of head
K = Hydraulic Conductivity
          Depth to Water Table
                                       = 1.00 \text{ ft}
DU = Un-Saturated Trench Depth
                                      = 0.00 \text{ ft}
DS = Saturated Trench Depth
                                      = 1.00 ft
V = Volume Treated
                                        = 23 cu.ft.
```

Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- 4) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 5) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 6) Video inspection of storm drainage system required prior to installation of sod.

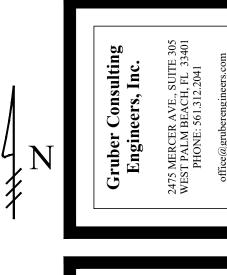




Location Map

N.T.S.





| Project Information | formation |
|---------------------|--------------|
| Project No. | 2017-0111 |
| Issue Date | 05/06/2021 |
| Scale | 1/8" = 1'-0" |
| Drawn By | KM |
| Checked By | SO |
| | |

esidence

Legend

EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)

PROPOSED ELEVATION (NAVD-88)

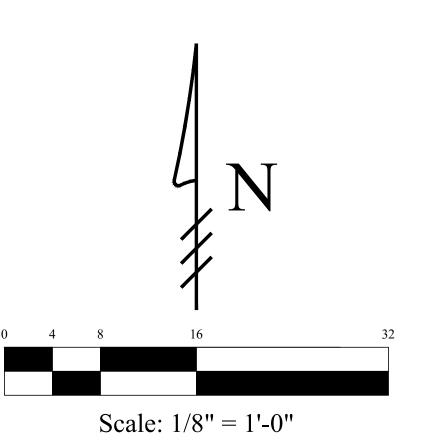
---7.00--- PROPOSED ELEVATION CONTOUR (NAVD-88)

FLOW DIRECTION

EXFILTRATION TRENCH

AREA DRAIN

24" NYLOPLAST DRAIN BASIN



12/08/21 UPDATE PLAN FOR BUILDING PERMIT

12/19/22 UPDATE PLAN BACKGROUND; REVISE

PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS /4\ 12/05/23 UPDATE PLAN BACKGROUND; REVISE

PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS

FL P.E. No. 57466

1 12/08/2021

2 12/19/2022

4 12/05/2023

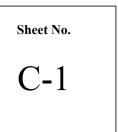
Chad M. Gruber

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

> Plan Background from Hardscape Plan by Environment Design Group Received 11/30/23

ARC-24-004 ZON-24-014

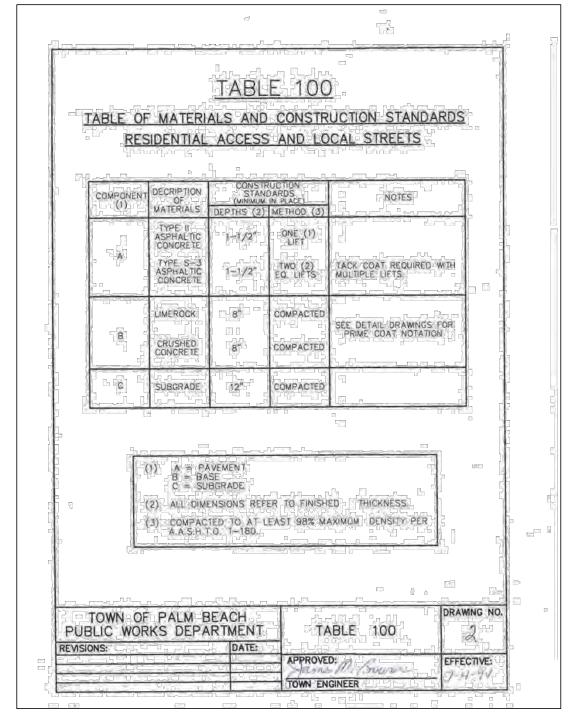
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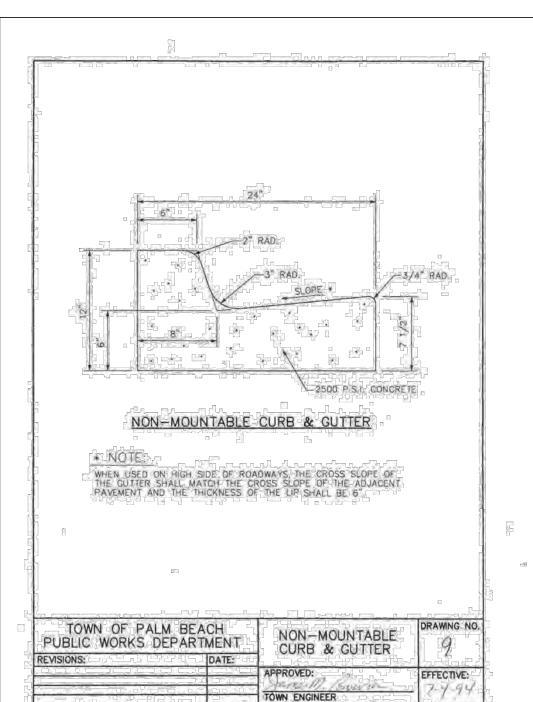


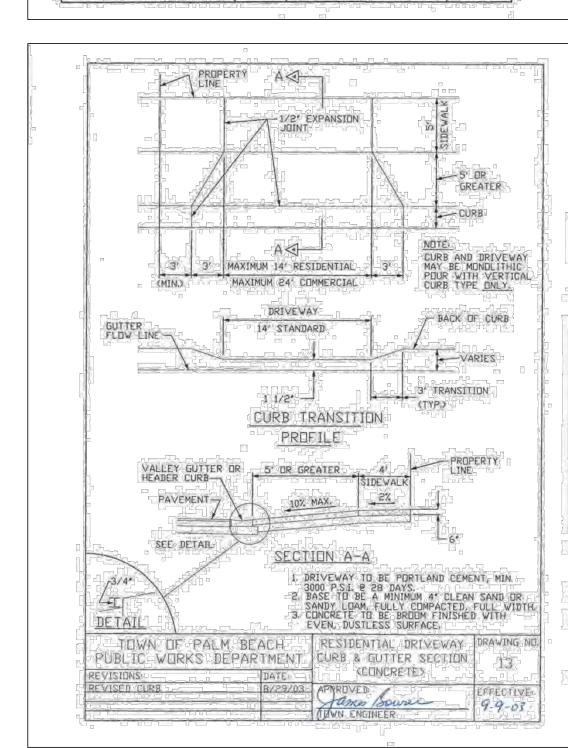
General Notes & Specifications:

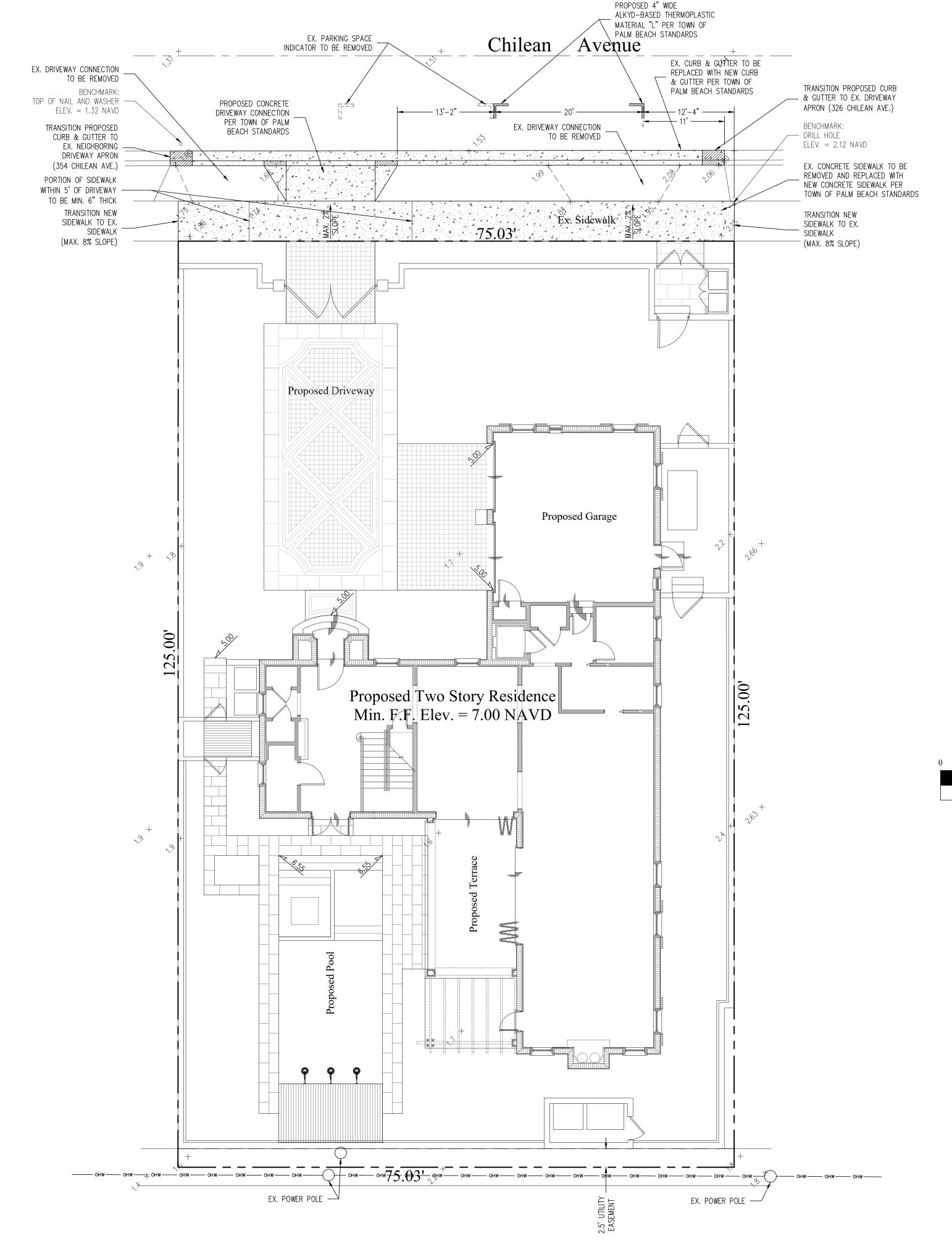
- 1) The contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify the engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in the specifications or mentioned in the specifications and not shown on the drawings, shall be of like effect as if shown or mentioned in both.
- 2) Figure marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall in general, govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, the contractor shall adjust such dimensions as conditions may require.
- 3) If the contractor, in the course of the work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexprected conditions requiring additional work by the contractor, it shall be his duty to immediately inform the engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- 4) If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at once report to the engineer any discrepancies between the executed work and the drawings.
- 5) The engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. The contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing or removal of portions of the finished work
- 6) All debris shall be removed from the area and legally disposed.

 Debris may be burned upon obtaining proper burning permit but any unburned remains are to be disposed of as directed by the owner or his representatives.
- 7) The contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims of damage. The contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalk, lawns, utilities and other items damaged by this construction activity.
- 8) The contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by the engineer. Should any test fail to meet specification as shown herein, the contractor shall, at his expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- 9) All work shall be performed in a workman like manner and shall conform with all applicable City, County, State and Federal regulations and/or Codes. The contractor shall obtain all permits and licenses required to begin work.
- 10) The contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed and/or relocated which may be required in order to complete the work.
- 11) The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect the completed work.
- 12) The contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at the contractor's expense
- 13) All work shall be accomplished in a safe and workmanlike manner. The contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury or property damage.
- 14) Minimum Construction Inspection Checkpoints: 1) Prior to any major deviation from the approved plans 2) Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved 3) Upon completion of subgrade compacting 4) At the time of delivery of base material 5) Upon completion of the base and prior to priming 6) Immediately prior to and upon the first and second applications of the plant mixed wearing course 7) Upon completion of construction, a final inspection will be made with project representative
- 15) All unsuitable material such as muck, marl and debris shall be removed from the limits of construction and legally disposed. At the engineer's direction, muck may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement or repairs within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- 17) The contractor shall complete "as-built" information relative to pipe lengths, materials and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.









48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.

Location Map





| rroject III | rroject imormation | |
|-------------|--------------------|--|
| Project No. | 2017-0111 | |
| Issue Date | 11/09/2022 | |
| Scale | 1/8" = 1'-0" | |
| Drawn By | KM | |
| Checked By | SO | |
| | | |
| | | |
| | | |

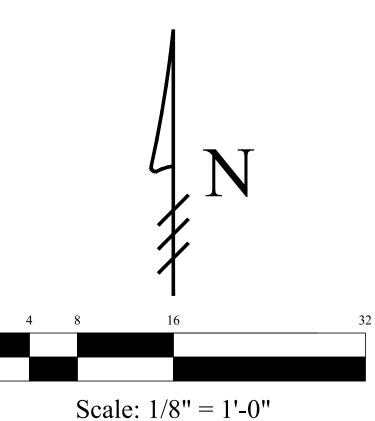
esidence

X

Legend

EXISTING ELEVATION PER
WALLACE SURVEYING CORP. (NAVD-88)

PROPOSED ELEVATION (NAVD-88)



| | Revisions |
|----|------------|
| 1 | |
| 2 | 12/19/2022 |
| 3 | 03/16/2023 |
| 4 | 12/05/2023 |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

12/19/22 UPDATE PLAN BACKGROUND

03/16/23 ADD EXISTING AND PROPOSED
ON-STREET PARKING PER TOWN OF
PALM BEACH COMMENT

12/05/23 UPDATE PLAN BACKGROUND

Chad M. Gruber

FL P.E. No. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

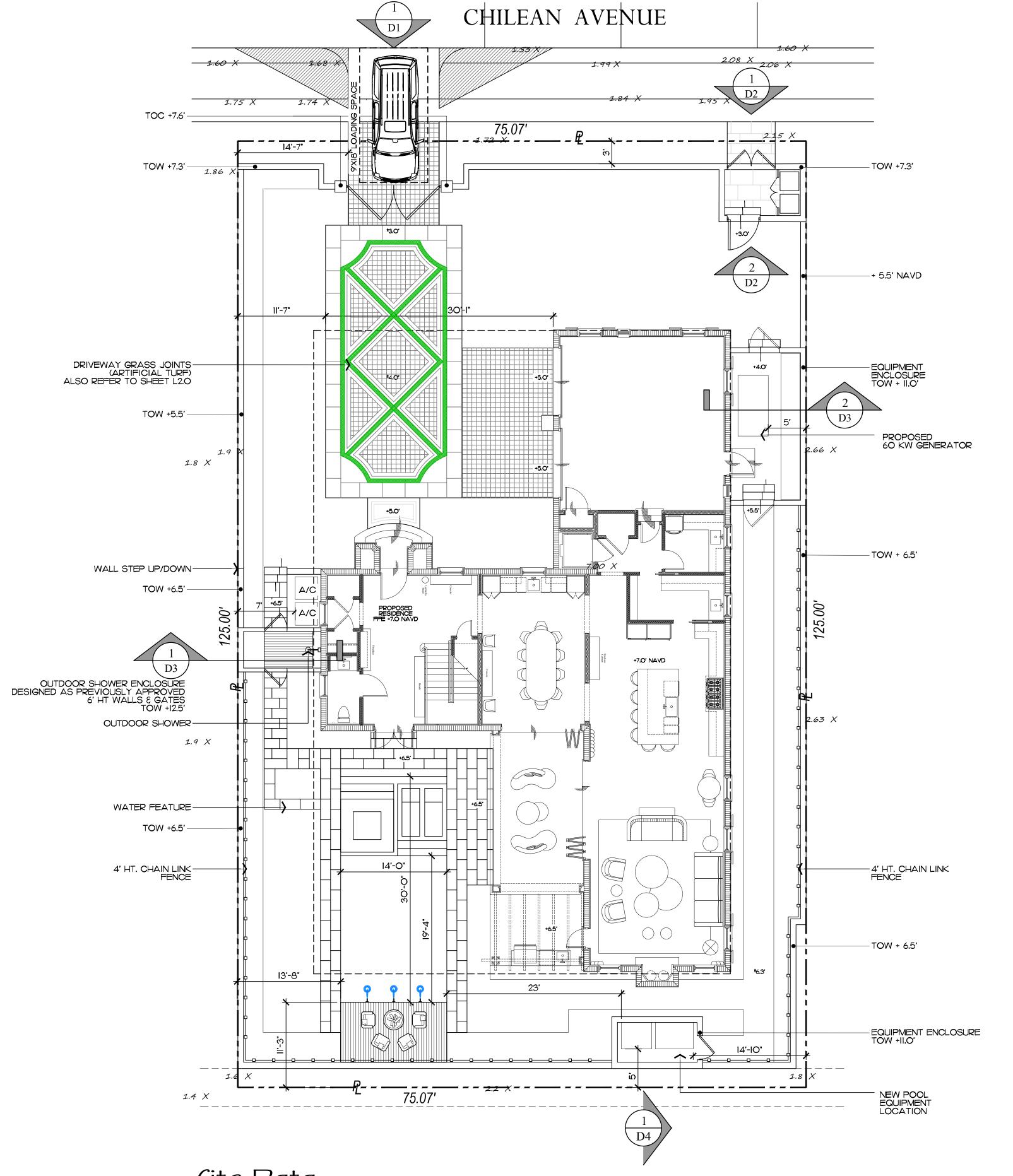
Plan Background from Hardscape Plan by Environment Design Group Received 11/30/23

ARC-24-004 ZON-24-014

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Sheet No.

CB-1



Hardscape Materials:



DRIVEWAY FIELD SIERRA BLACK BASALT



DRIVEWAY ACCENT BAND AND POOL DECK BIANCO LUNA BRUSHED LIMESTONE





POOL EQUIPMENT ENCLOSURE

| JUN 4PM WAR APM 25 SEPT APM 11 | MAR. 12PW 60°. JUN 12PW 65°. DEC 12PW 65°. SEP 12PW 60°. SEP 1 |
|--------------------------------|--|
| JOB NUMBER: | # 22180.00 LA |
| DRAWN BY: | Alex Bugrii |
| | Grace Walton |
| DATE: | 09.14.2022 |
| | 04.03.2023 10.16.2023 |
| | 10.10.2020 |

11.02.2023

DE/IGM GROUP

Landscape Architecture Land Planning

Landscape Management

Dustin M. Mizell, MLA RLA #6666784 Dustin@environmentdesigngroup.com

∫ite Data

| LOT ZONE | R-C - MEDIUM DENSITY RESIDENTIAL | | | | | |
|------------------------|----------------------------------|------------|----------|-------------|----------|---------------|
| LOT AREA | 9,379 S.F. (10,000 S.F. MINIMUM) | | | | | |
| DESCRIPTION | REQUIR | ED | PREVIOUS | Y SUBMITTED | CURRENTL | Y PROPOSED |
| OPEN / PERMEABLE SPACE | MINIMUM 45% | 4,220 S.F. | 45.06% | 4,227 S.F. | 45.06% | 4,227.81 S.F. |
| FRONT YARD LANDSCAPE | MINIMUM 40% OF FRONT YARD | 750 S.F. | 73.65% | 1,381 S.F. | 70.83% | 1,328.60 S.F. |
| PERIMETER LANDSCAPE | MINIMUM 50% OF L.O.S. | 2,110 S.F. | N/A | N/A | 64.88% | 2,738 S.F. |

/HEET L1.0 ARC-24-004 ZOM-24-014 Scale in FEET O'

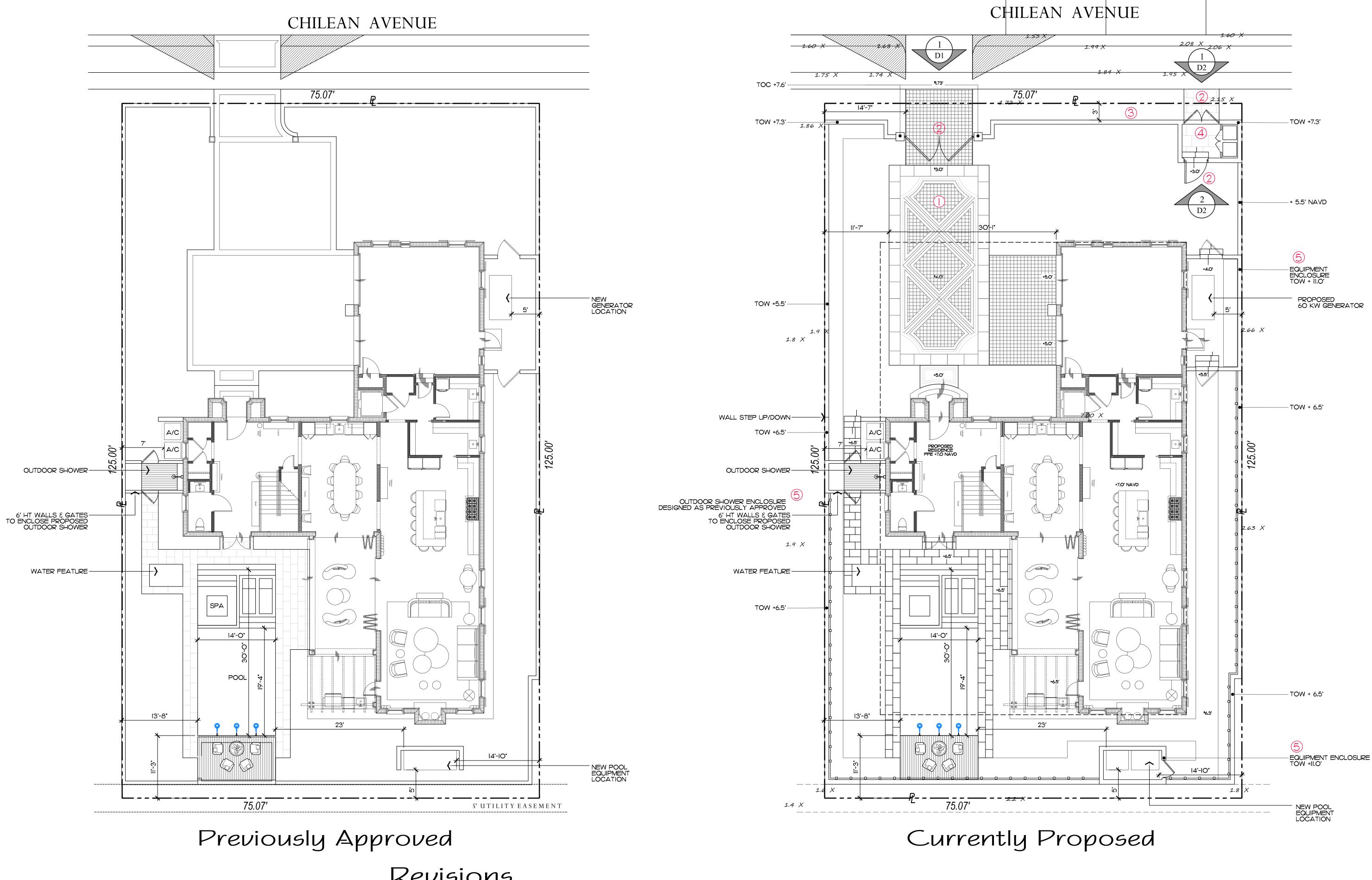
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Revisions

- ① REVIEW DRIVEWAY LAYOUT AND MATERIAL
- 2 SHIFT PROPOSED FRONT SITE WALL 3' AWAY FROM PROPERTY LINE
- 3 PROPOSED GATES (REFER TO SHEETS DI & D2)
- 4 PROPOSED REFUSE AREA
- 5 VARIANCE REQUEST FOR SCREENING ENCLOSURES



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DE/IGN ROUP

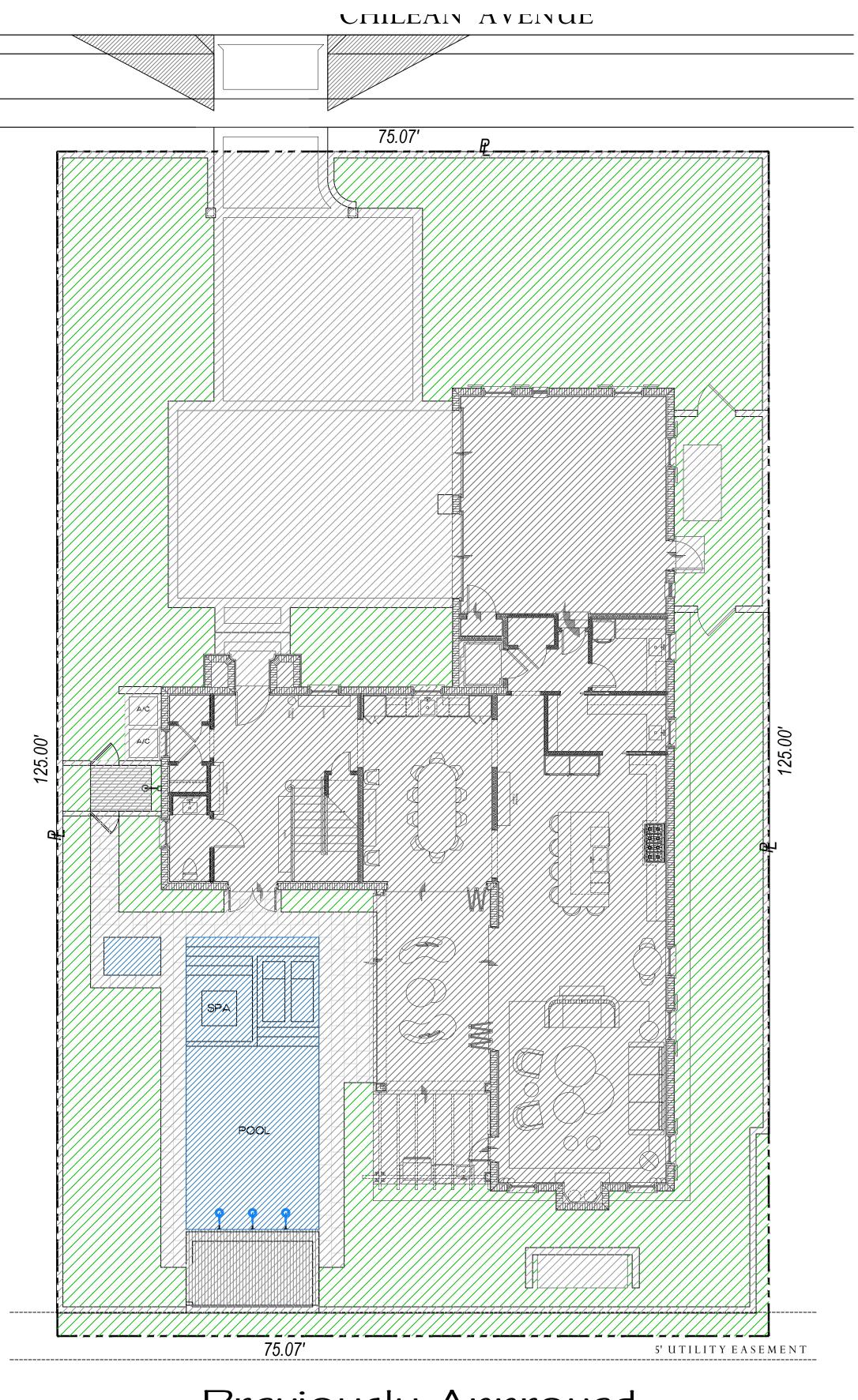
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Landscape Architecture Land Planning

Landscape Management

Dustin M. Mizell, MLA RLA #6666784 Dustin@environmentdesigngroup.com

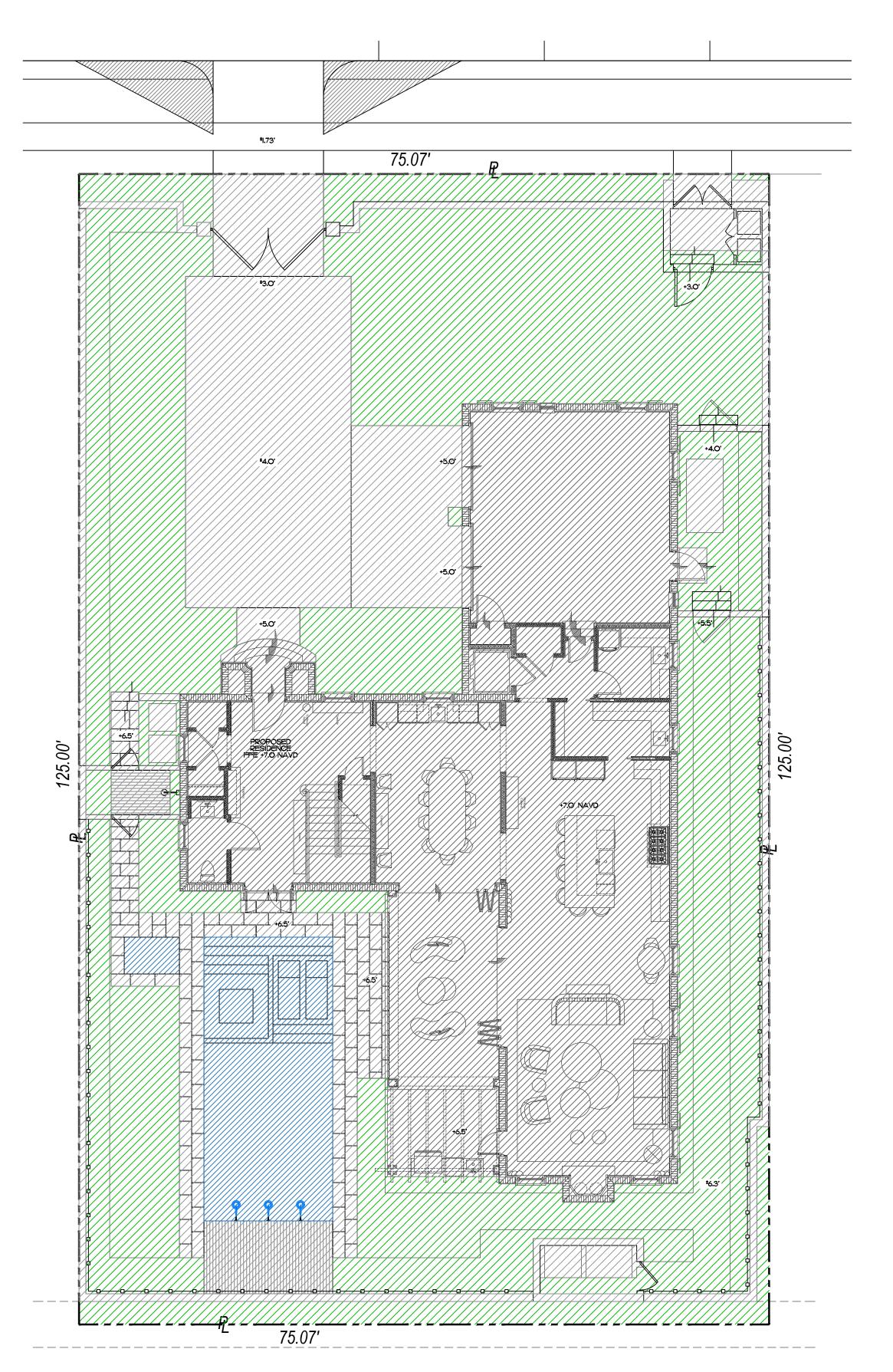
JOB NUMBER: # 22180.00 LA DRAWN BY: Alex Bugrii Alex Bugrii Grace Walton 09.14.2022 04.03.2023 10.16.2023



Previously Approved

∫ite Data

| LOT ZONE | R-C - MEDIUM DENSITY RESIDENTIAL | | | | | |
|------------------------|----------------------------------|------------|----------------------|------------|--------------------|---------------|
| LOT AREA | 9,379 S.F. (10,000 S.F. MINIMUM) | | | | | |
| DESCRIPTION | REQUIRED | | PREVIOUSLY SUBMITTED | | CURRENTLY PROPOSED | |
| OPEN / PERMEABLE SPACE | MINIMUM 45% | 4,220 S.F. | 45.06% | 4,227 S.F. | 45.06% | 4,227.81 S.F. |
| FRONT YARD LANDSCAPE | MINIMUM 40% OF FRONT YARD | 750 S.F. | 73.65% | 1,381 S.F. | 70.83% | 1,328.60 S.F. |
| PERIMETER LANDSCAPE | MINIMUM 50% OF L.O.S. | 2,110 S.F. | N/A | N/A | 64.88% | 2,738 S.F. |

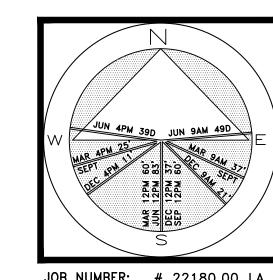


Currently Proposed

SCALE IN FEET O'

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22100.00 L Alex Bugrii Grace Walton 04.03.2023 10.16.2023 11.02.2023

/HEET L1.2 Site Calculations Graphics

16'

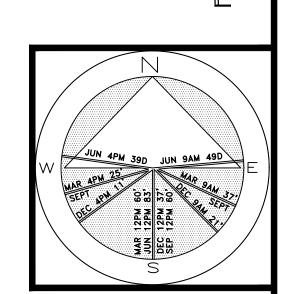
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JOB NUMBER: # 22180.00 LA DRAWN BY: Alex Bugrii

DATE: 10.26.2023 11.02.2023

✓HEET L2.1

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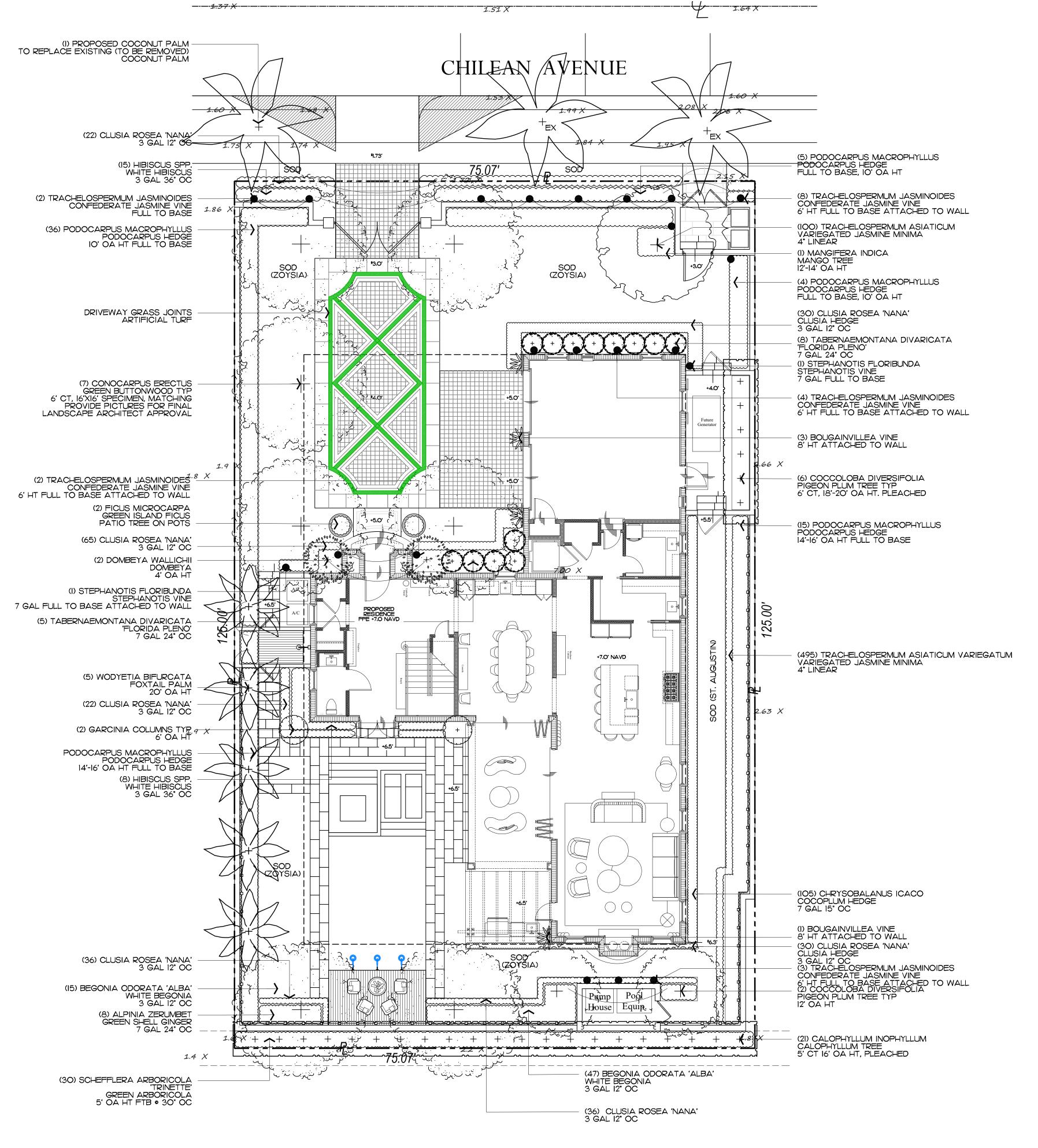
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Rendered Landscape Plan
scale in FEET:NTS



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NVIRONMENT

DE/IG/I

ROUP 139 North County Road S#20-B Palm Beach, FI 3348

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Landscape Architecture

Landscape Management

Dustin@environmentd"signgroup.com

Dustin M. Mizell, MLA RLA #6666784

Land Planning

JOB NUMBER: # 22180.00 LA DRAWN BY: Alex Bugrii " Alex Bugrii Grace Walton 04.03.2023 10.16.2023 11.02.2023

/HEET L2.C

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Trees & Palms

| PLANT NAME | | QTY. | DESCRIPTION | NATIVE |
|--|----------------------|----------------|---|--------|
| CONOCARPUS ERECTUS GREEN BUTTONWOOD | | 7 | 6' CT, 16'X16' SPECIMEN MATCHING | YES |
| CALOPHYLLUM INOPHYLLUM CALOPHYLLUM TREE | | 21 | PROVIDE PICTURES FOR APPROVAL 5' CT 16' OA HT, PLEACHED | NO |
| COCCOLOBA DIVERSIFOLIA PIGEON PLUM TREE | | 2 | 12' OA HT | YES |
| MANGIFERA INDICA MANGO TREE | | 1 | 12'-14' OA HT | NO |
| COCCOLOBA DIVERSIFOLIA PIGEON PLUM TREE | | 5 | 6' CT 19' OA HT PLEACHED | YES |
| WODYETIA BIFURCATA FOXTAIL PALM | | 3 | 20' OA HT | NO |
| COCO NUCIFERA COCONUT PALM | | 1 | REPLACE TO REMOVED PALM ALONG RIGHT-OF-WAY HEIGHT TO MATCH EXISTING | NO |
| | AL TREES VE TREES | 36 14 - 38% | | |

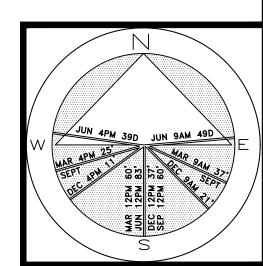
Groundcover

| PLANT NAME | | QTY./ SF. | DESCRIPTION | NATIVE |
|--|-----------------|------------------|--------------|--------|
| CLUSIA ROSEA 'NANA' CLUSIA | | 161 (161) | 3 GAL 12" OC | YES |
| TRACHELOSPERMUM ASIATICUM VARIEGATED JASMINE MINIMA | | 495 (60) | 4" LINEAR | NO |
| | TOTAL NATIVE | 221 161 - 72% | | |

Shrubs & Vines

| HIBISCUS SPP. WHITE HIBISCUS PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE 10' OA FULL TO BASE 16'-18' OA HT | |
|---|----|
| PODOCARPUS HEDGE 9 10' OA FULL TO BASE |) |
| | |
| FICUS MICROCARPA 2 PATIO TREE IN POTS NC GREEN ISLAND FICUS |) |
| CHRYSOBALANU ICAO COCOPLUM HEDGE 105 7 GAL 15" OC YE | :S |
| DOMBEYA WALLICHI 2 4' OA HT NC |) |
| TABERNAEMONTANA DIVARICATA 13 7 GAL 24" OC NC |) |
| GARCINIA COLUMNS 2 6' OA HT NC |) |
| BEGONIA ODORATA 'ALBA' WHITE BEGONIA 62 3 GAL 12" OC NO |) |
| SCHEFFLERA ARBORICOLA 'TRINETTE' 30 5 HT FULL TO BASE NC UNDERNEATH PLEACHED TREES |) |
| TRACHELOSPERMUM JASMINOIDES 19 6' HT FULL TO BASE NC ATTACHED TO WALL |) |
| STEPHANOTIS FLORIBUNDA 2 7 GAL FULL TO BASE ATTACHED TO WALL NO |) |
| BOUGAINVILLEA VINE 4 8' HT ATTACHED TO WALL NO |) |

TOTAL 316 NATIVE | 105 - 33%



JOB NUMBER: # 22180.00 LA
DRAWN BY: Alex Bugrii
Sean Twomey

DATE: 05.03.2023
11.02.2023

SHEET L3.0 ARC-24-004 ZOM-24-014 Plant List

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Dustin M. Mizell, MLA RLA #6666784 Dustin@environmentdesigngroup.com

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Sean Twomey
DATE: 11.02.2023

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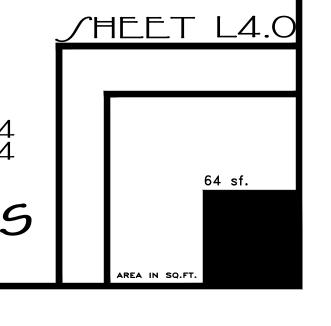
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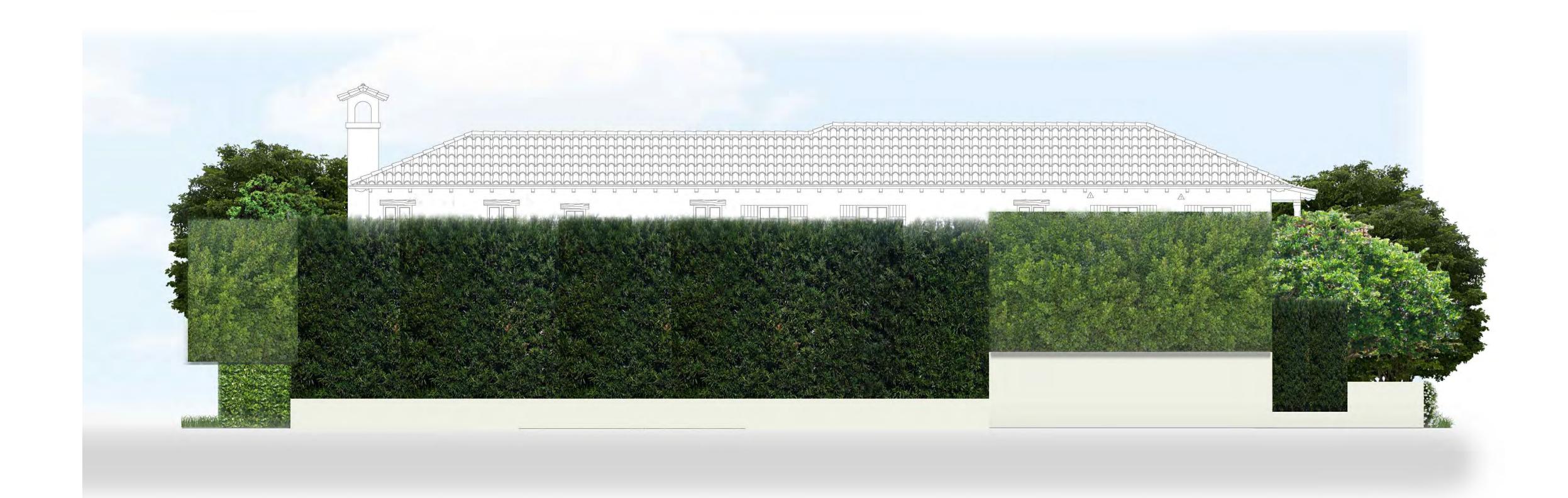
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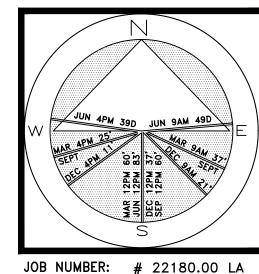
ARC-24-004 ZOM-24-014 Rendered Landscape Elevations







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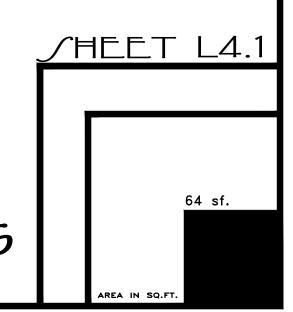
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ARC-24-004 ZOM-24-014 Rendered Landscape Elevations





| SYMBOL | DESCRIPTION | QT` |
|--------|---|-----|
| ▲ UL | <u>UPLIGHT</u> - AURORALIGHT - HSLI6-R TELLURIDE BRASS - 9 WATTS - LED 2700 K | - |
| O WL | <u>WELL LIGHT</u> - AURORALIGHT - LWL5 LIGHTHAUS BRASS FINISH - 9 WATTS - LED 2700K | - |
| ₱ PL | <u>PATH LIGHT</u> - AURORALIGHT - LPL8 - CORONA BRASS FINISH - 4.5 WATTS - LED 2700K | - |



JOB NUMBER: # 22180.00 LA DRAWN BY: Alex Bugrii DATE: 11.02.2023



UP LIGHT

PATH LIGHT



WELL LIGHT

ARC-24-004 ZOM-24-014 Lighting Plan SCALE: NTS

∫ĦEET L5.0

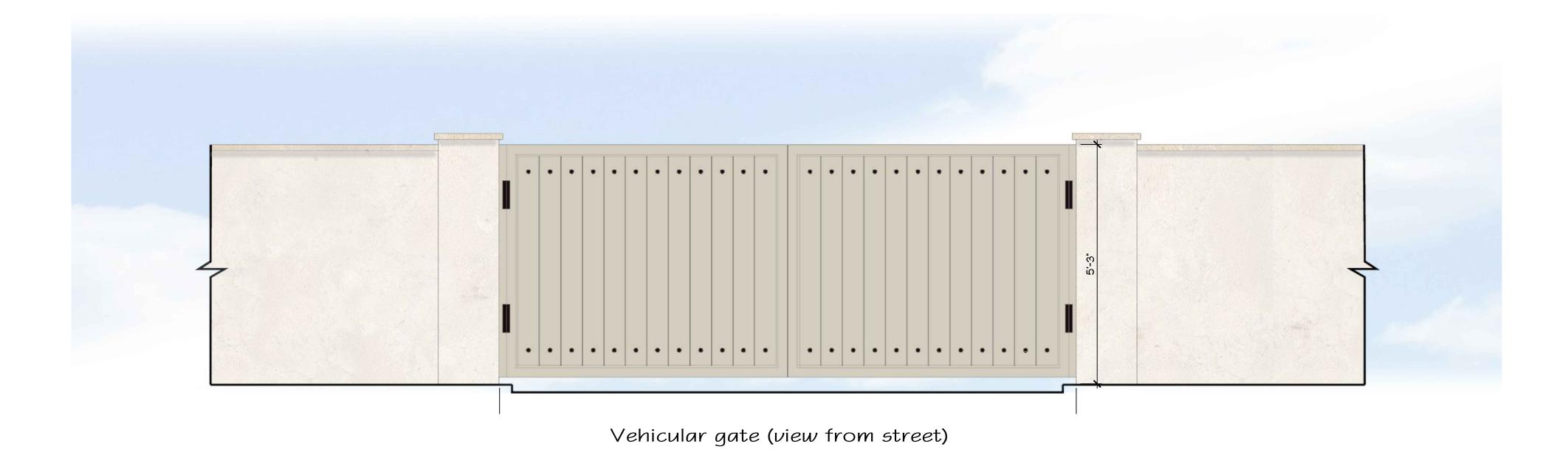
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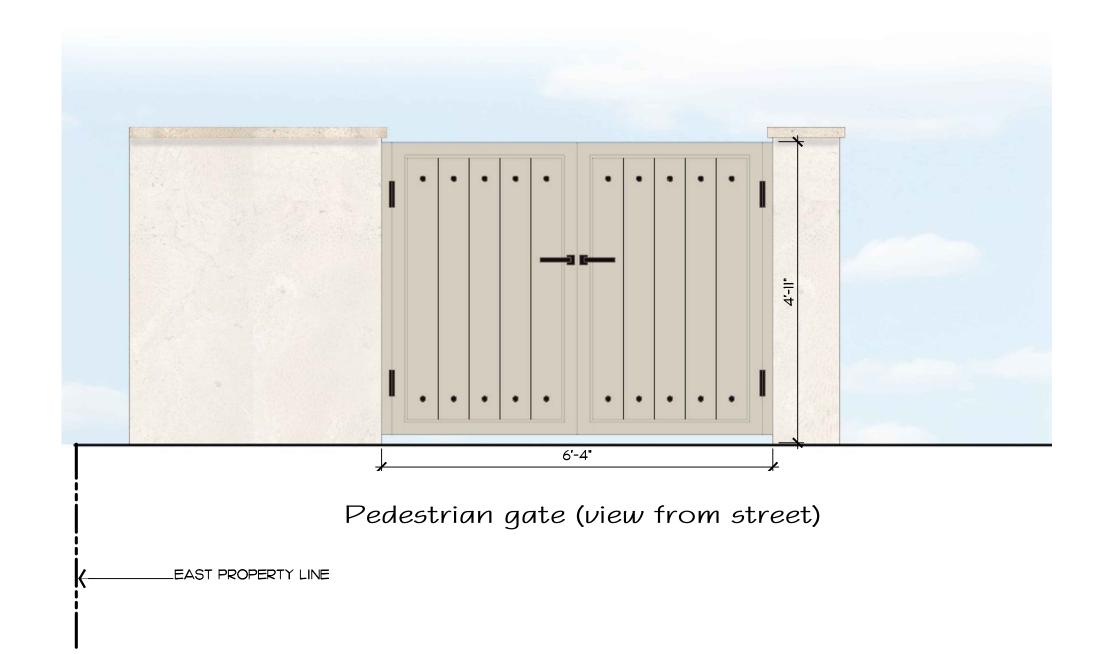
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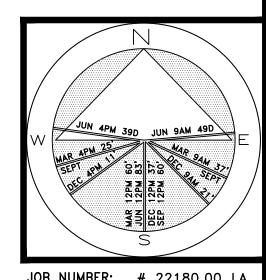








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JOB NUMBER: # 22180.00 LA DRAWN BY: Alex Bugrii # 22160.00 EA Alex Bugrii Grace Walton 04.03.2023 10.16.2023 10.31.2023

SHEET D1a

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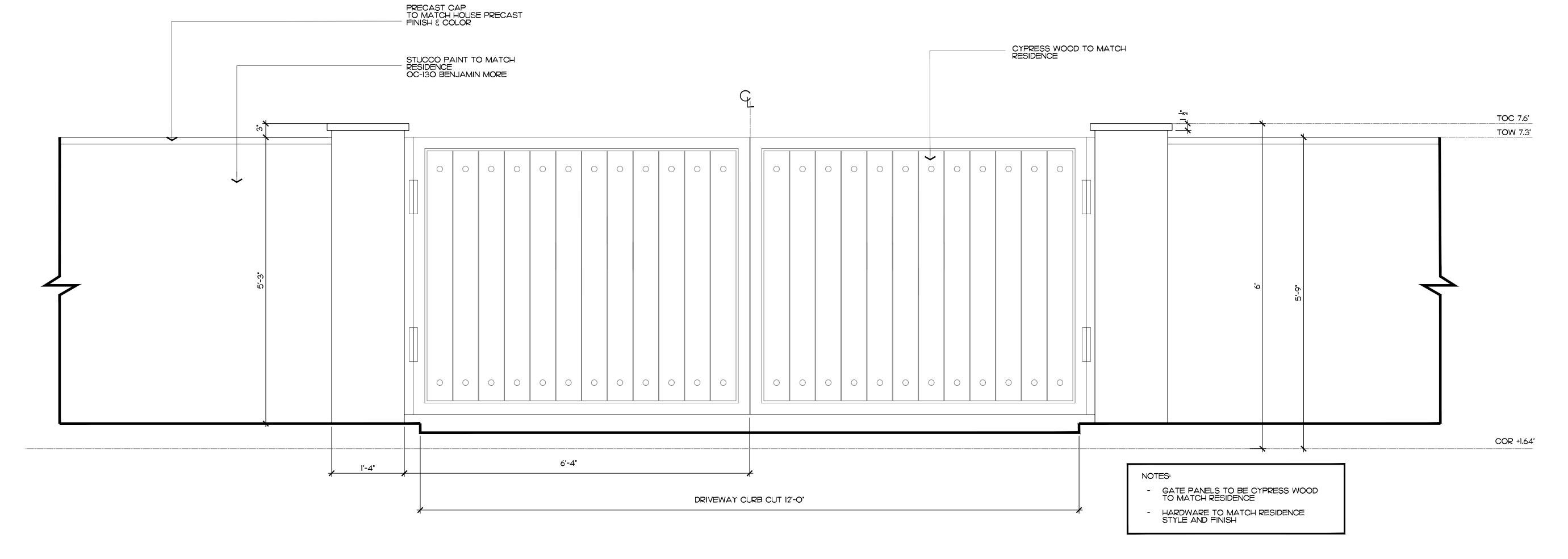
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JOB NUMBER: # 22180.00 LA
DRAWN BY: Alex Bugrii
Grace Walton DATE: 04.03.2023 10.16.2023



Vehicular gate (view from street)

SCALE: |"=|'-0"

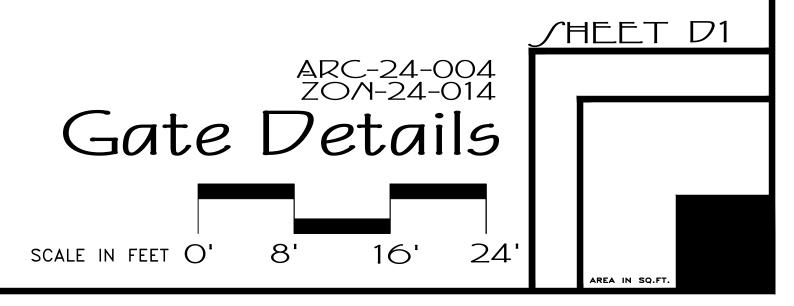
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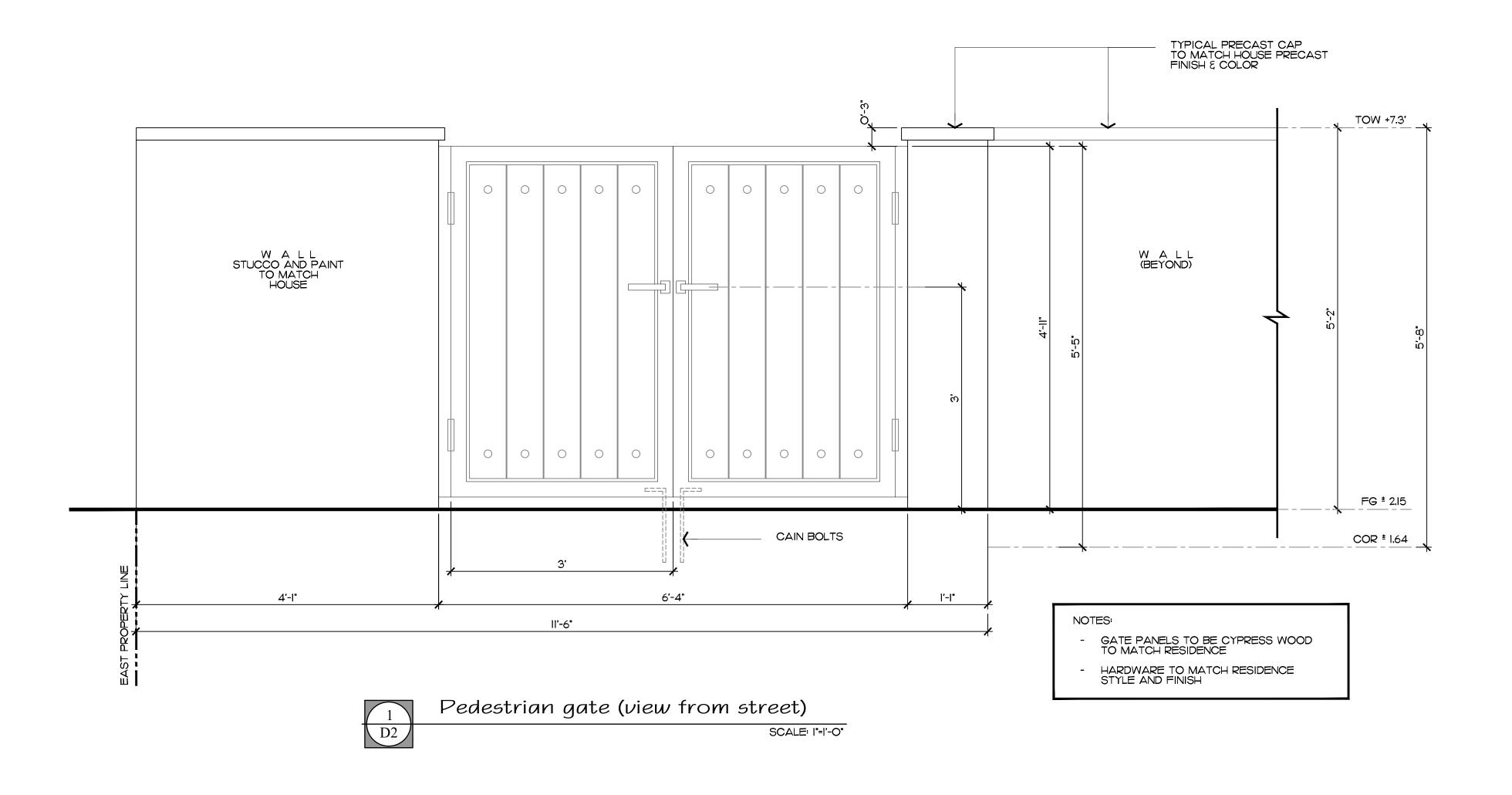
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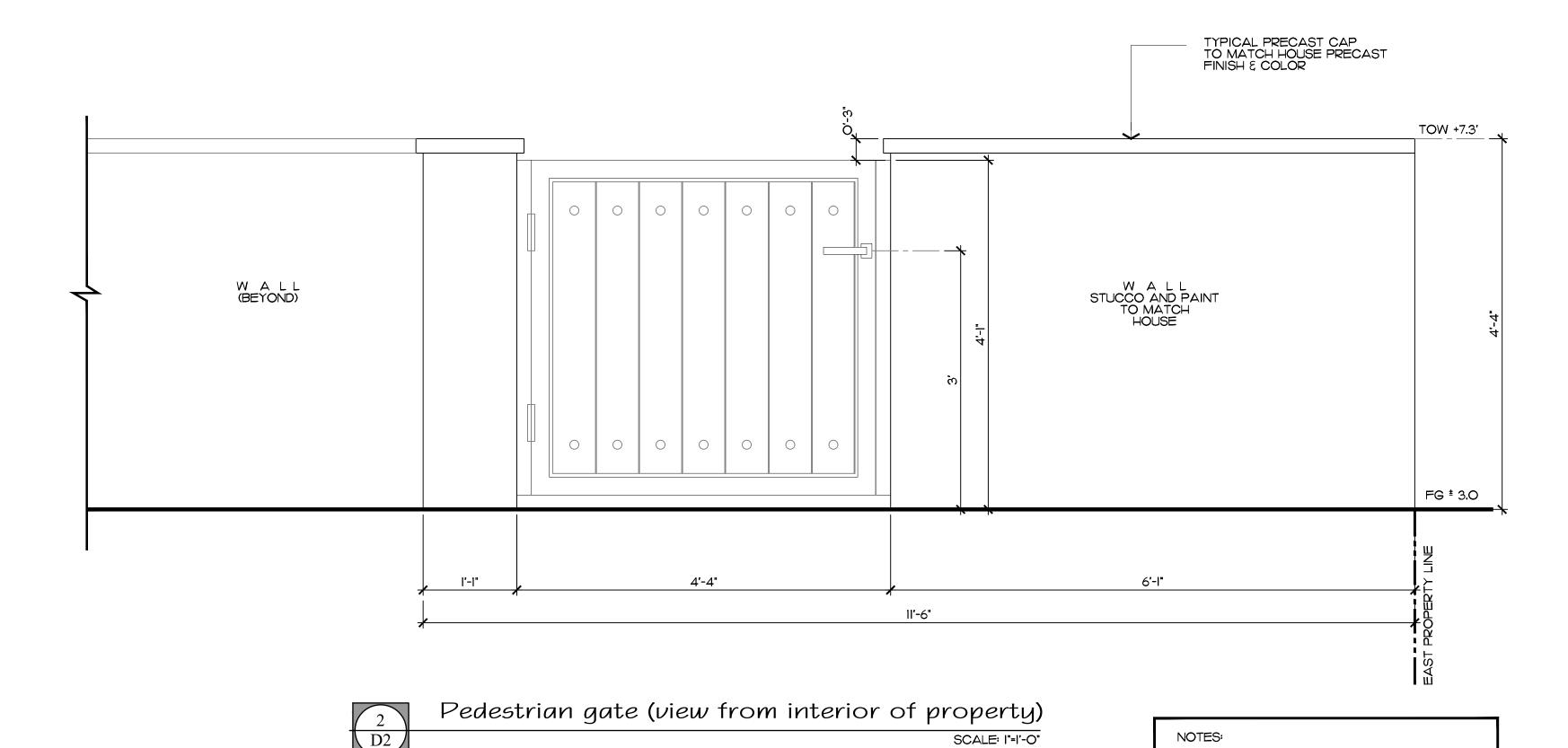
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GATE TO BE CYPRESS WOOD TO MATCH RESIDENCE

HARDWARE TO MATCH RESIDENCE STYLE AND FINISH

/HEET D2 ARC-24-004 ZON-24-014 Gate Details SCALE IN FEET O'

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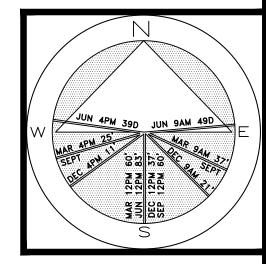
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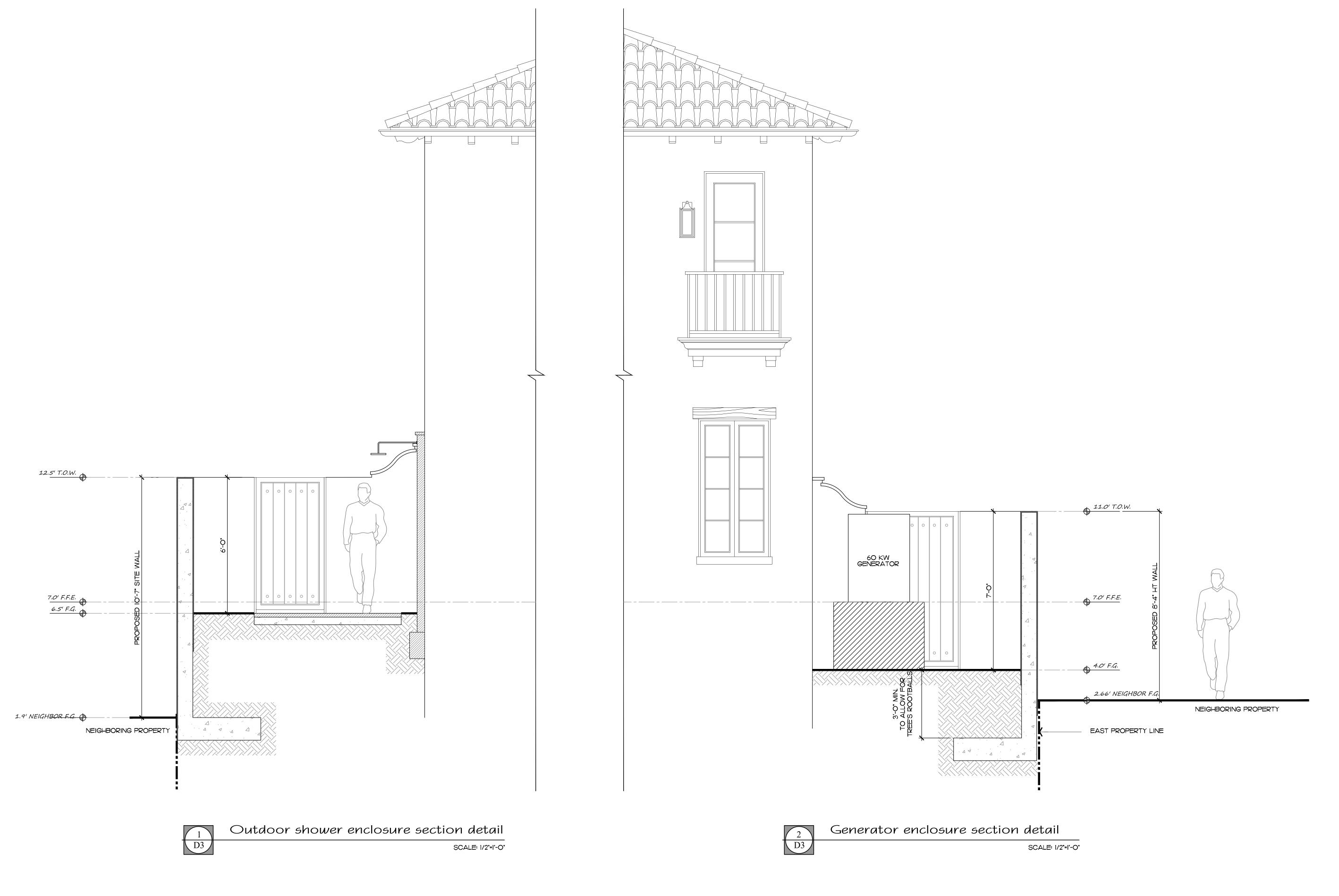
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Landscape Management

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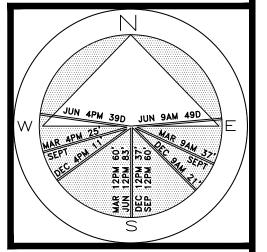


JOB NUMBER: # 22180.00 LA DRAWN BY: Alex Bugrii WN BY: Alex Bugrii Grace Walton DATE: 04.03.2023 10.16.2023



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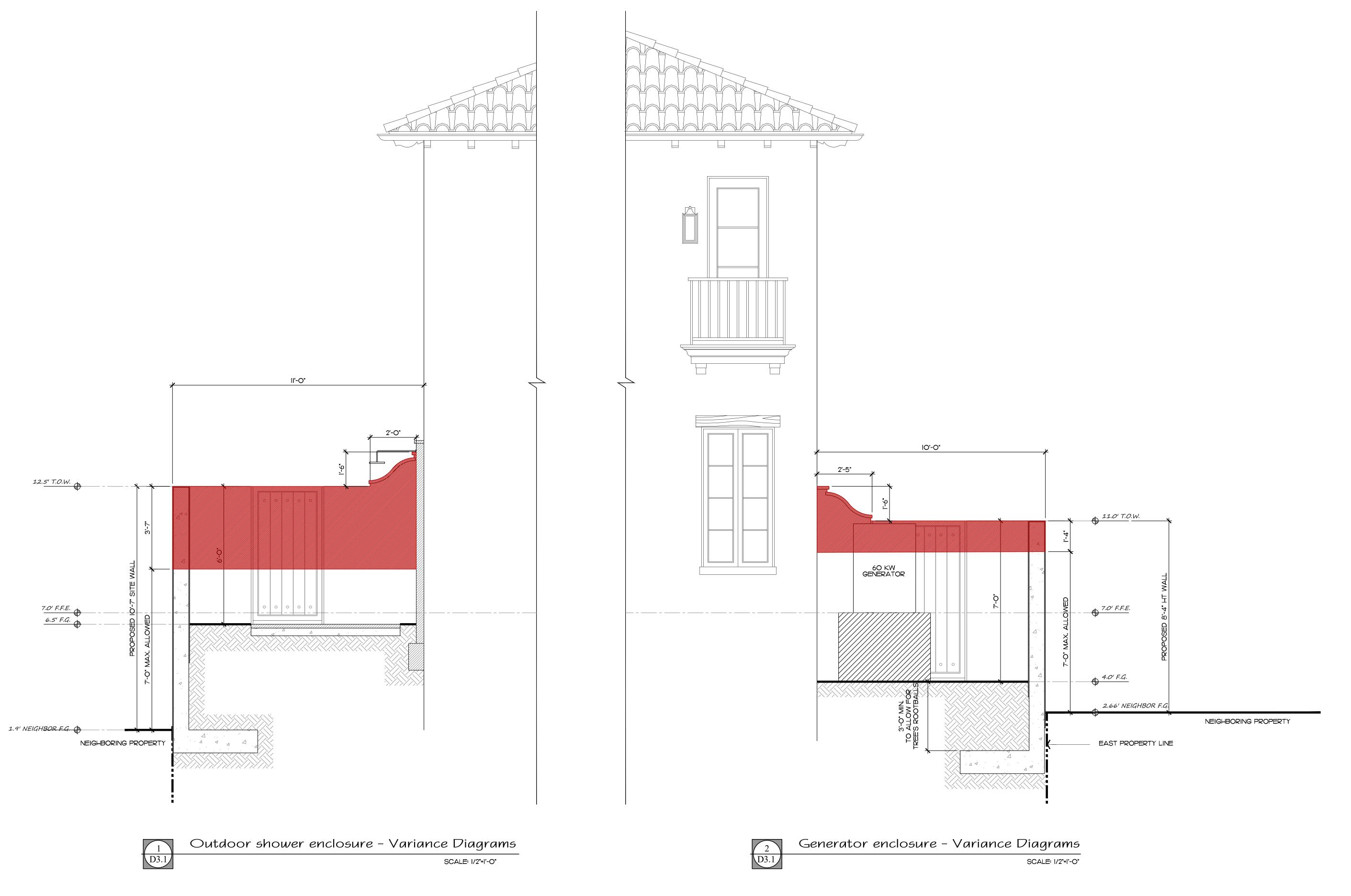
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ARC-24-004 ZOM-24-014 Site Wall Details SCALE IN FEET: AS SHOWN



/HEET D3.1 ARC-24-004 ZOM-24-014 Site Walls Details SCALE IN FEET: AS SHOWN

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Landscape Architecture Land Planning

Landscape Management

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JOB NUMBER: # 22180.00 LA
DRAWN BY: Alex Bugrii
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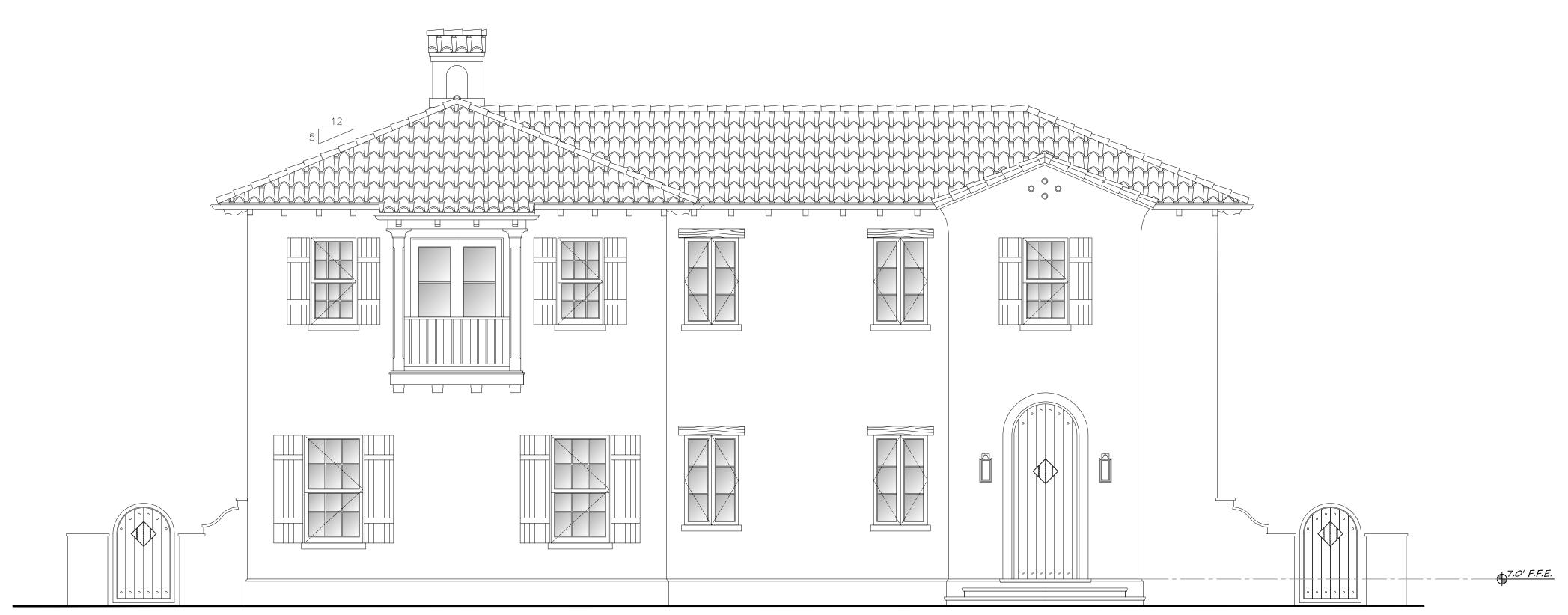
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SCALE: 1/4"=1'-0"



North Elevation (currently approved)

SCALE: 1/4"=1'-0"

ARC-24-004 ZOM-24-014 Site Walls Details SCALE IN FEET: AS SHOWN

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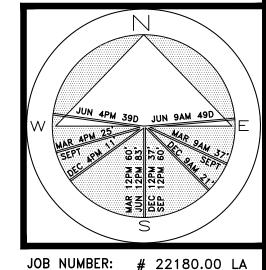
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/HEET D3.2

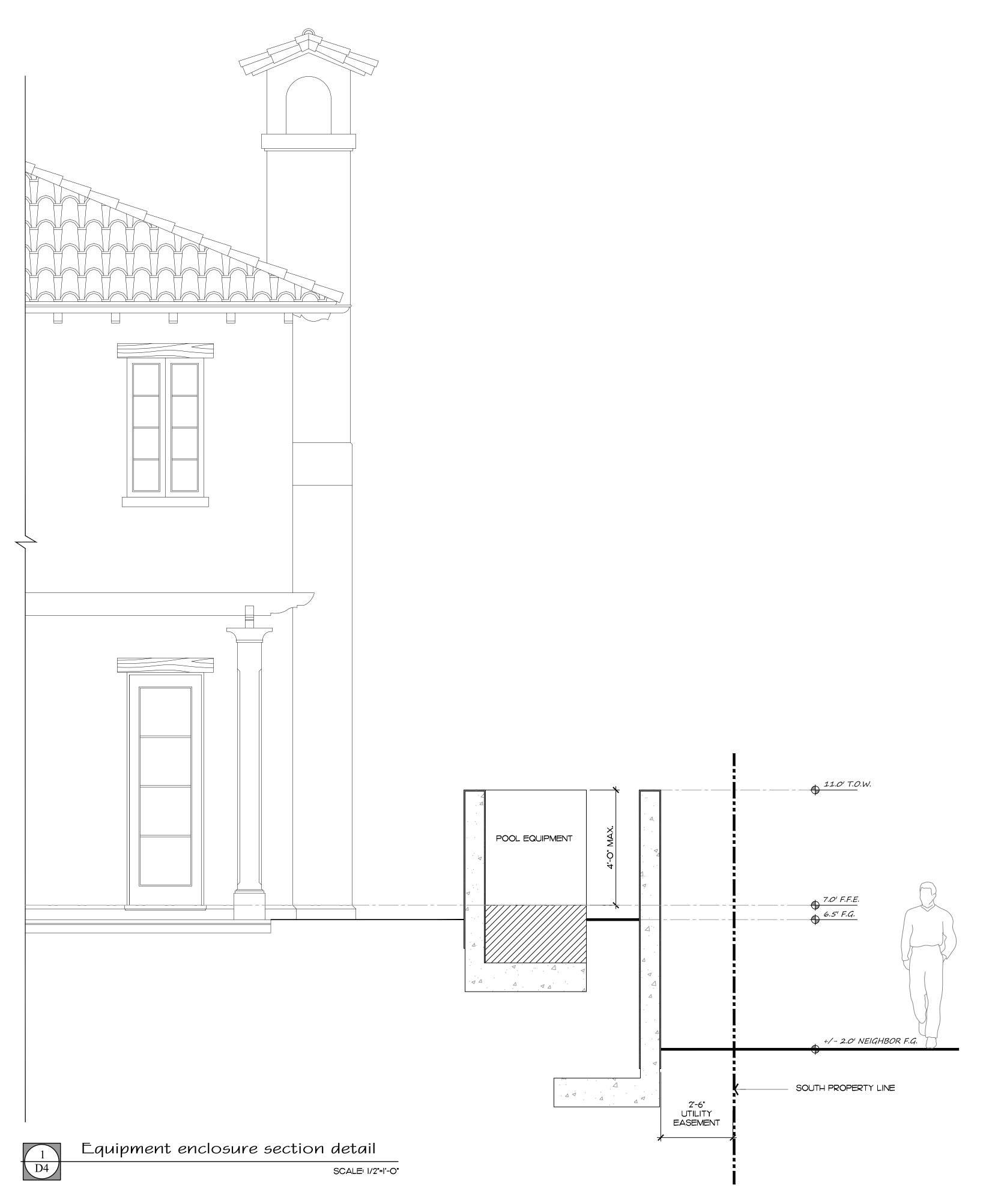
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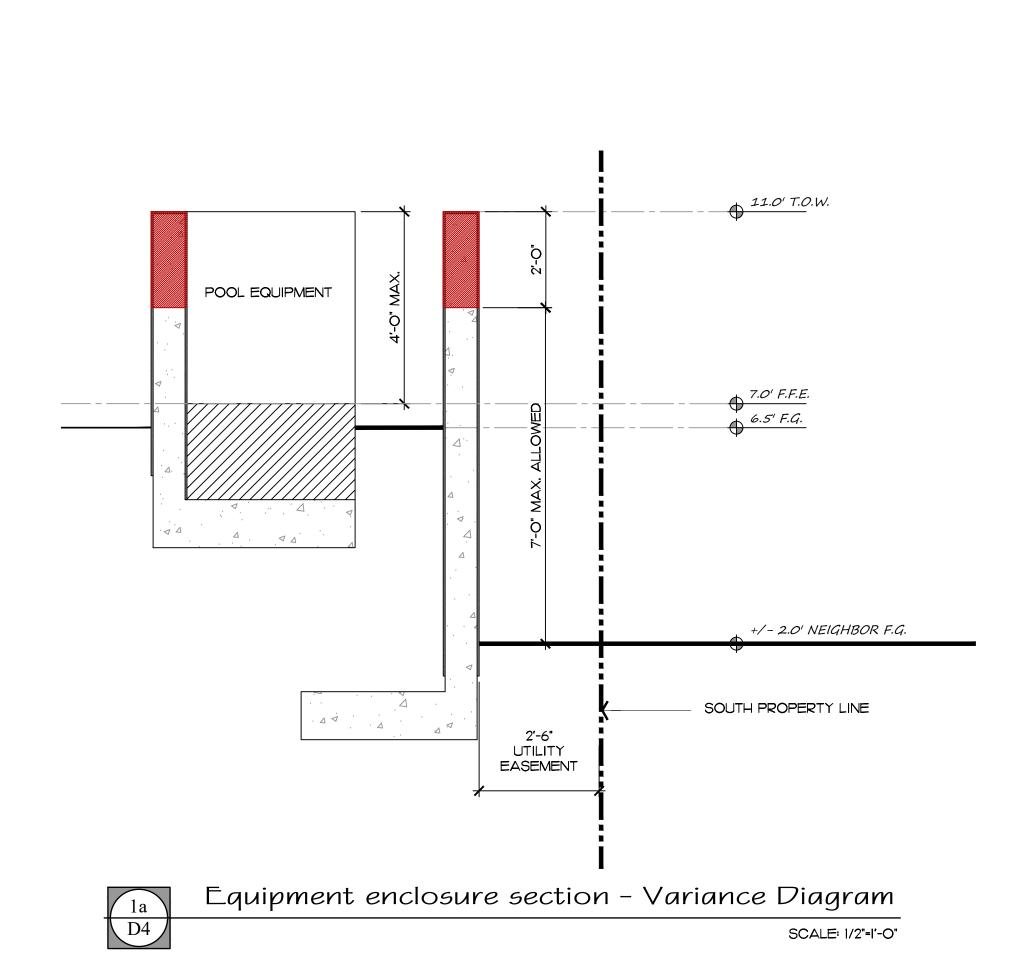
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Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on—site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING CALL TOLL FREE 1-800-432-4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.





DE/IG/I GROUP

139 North County Road S#20-B Palm Beach, FI 33480 Phone 561.832.4600 Mobile 561.313.4424

Landscape Architecture Land Planning

Landscape Management

Dustin M. Mizell, MLA RLA #6666784 Dustin@environmentdesigngroup.com

JOB NUMBER: # 22180.00 LA
DRAWN BY: Alex Bugrii
Grace Walton

DATE: 04.03.2023
10.16.2023

/HEET D4

ARC-24-004 ZOM-24-014 Site Wall Details SCALE IN FEET: AS SHOWN

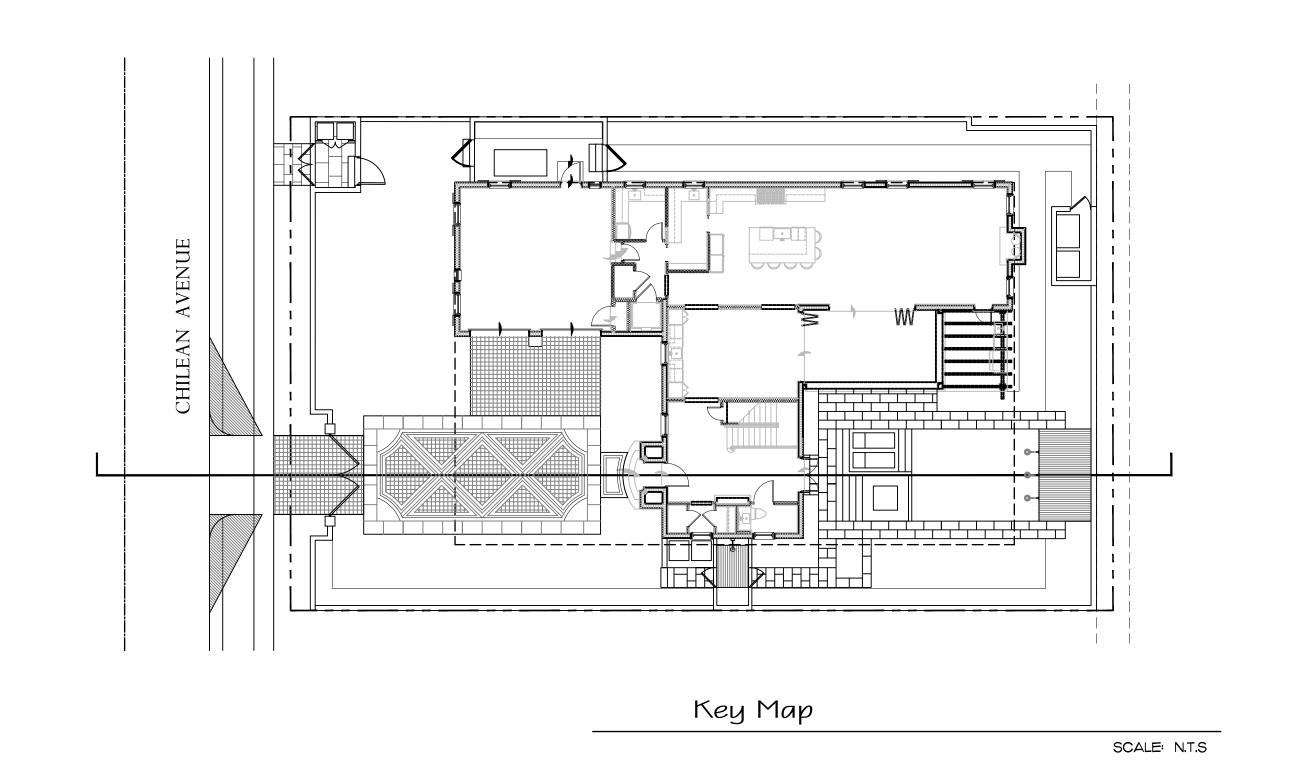
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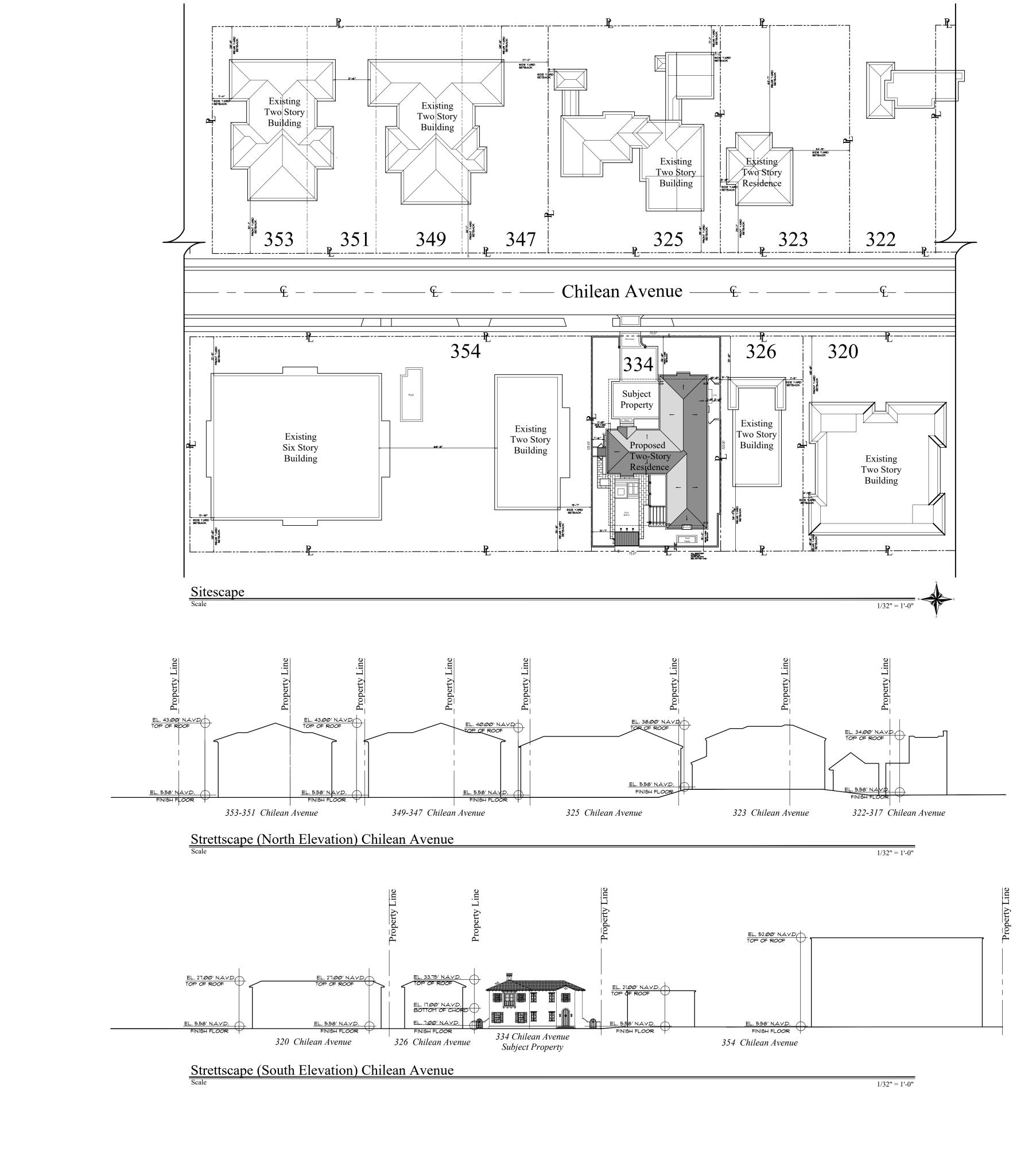
48 HOURS BEFORE DIGGING CALL TOLL FREE 1-800-432-4770

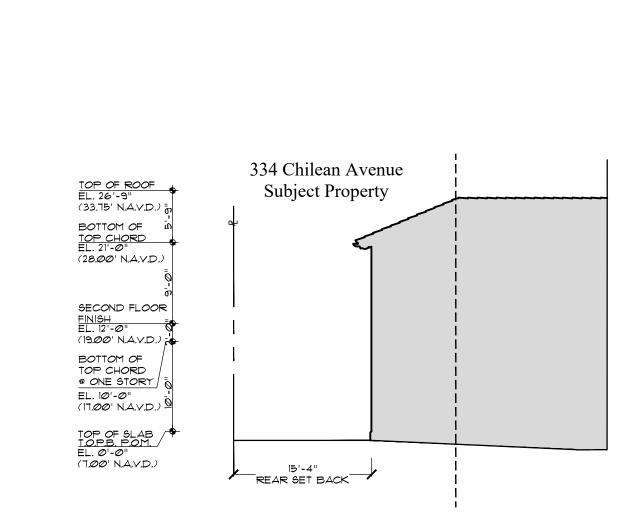
ARC-24-004 ZOM-24-014 Yard Section Diagram
SCALE IN FEET: AS SHOWN

DE/IG/I GROUP 139 North County Road S#20−B Palm Beach, FI 33480 Phone 561.832.4600 Mobile 561.313.4424 Landscape Architecture Land Planning Landscape Management Dustin M. Mizell, MLA RLA #6666784 Dustin@environmentdesigngroup.com

/HEET D5







Proposed Rear Height Plane Diagram
Scale
3/32" = 1'-0"

COMM NO. 2213 DATE 11-09-2023

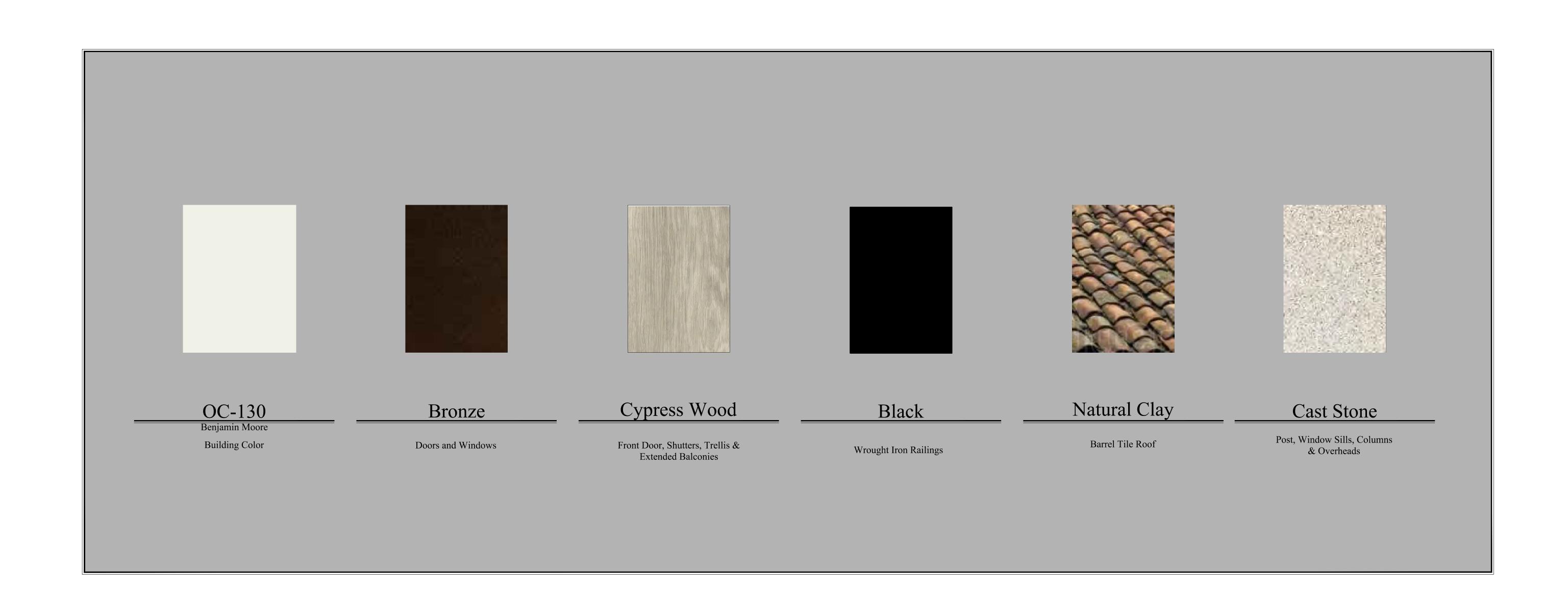
REVISIONS

Angelo Davila R.A. florida reg. arch. #AR0016639

SHEET NO. A001

SHEET NO.

Colors





BAHAMA WILD

COFFEE











ALUMINUM EDGING;

NEIGHBOR'S 12' OA FICUS HEDGE

FENCE LINE

TRIM BACK NEIGHBOR'S 8' OA FICUS HEDGE TO







RETAINING WALL

(BY OTHERS)



Z-21-00361

(3) EX. COCONUT PALM STREET TREES

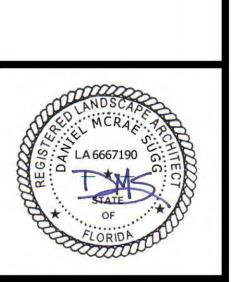
NEIGHBOR'S EX.

NEIGHBOR'S EX. WOOD FENCE

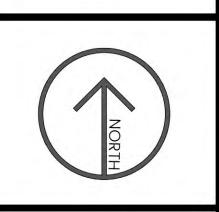
SITE WALL

TO REMAIN

Avenue Florida



Landscape Plan Graphic



| PECICNED | DMS |
|----------------|---------------------------|
| DESIGNED DRAWN | DMS |
| APPROVED | DM |
| DATE | 4/28/202 |
| REVISIONS | 5/12/202 |
| | ADDED LANDSCAPE LIGHT |
| 7/16/2021 | REVISED PER ARCOM COMMENT |

PIGEON PLUM











SINGLE



DOUBLE



TRIPLE, 8 X15 DRIVEWAY SIGHT TRIANGLE

ALLOWED IN SITE TRIANGLE -TYP.

-NO OBSTRUCTIONS TALLER THAN 30"H-

RETAINING WALL

ALEXANDER PALM PRINCESS PALM

STONE

DRIVEWAY

GUEST

PARKING

FLORIDA SILVER PALM PLEATED LICUALA CHILEAN AVE.



BUCCANEER PALM

COONTIE

LADY PALM



WHITE ANGEL

BEGONIA



CLUSIA



CERIMAN



GOLDEN BEACH ASIATIC JASMINE





BROMELIAD







CRUSHED GRANITE

CREEPING FIG ON WALL EXAMPLE

LANDSCAPE DATA

| PCN | 50-43-43-23-05-011 | | |
|--|--------------------|---------|--|
| ZONING | | R- | |
| | REQUIRED | PROPOSE | |
| TOTAL SITE AREA | 10,000 | 9,384 | |
| LANDSCAPE OPEN SPACE (%) | 45% | 45% | |
| LANDSCAPE OPEN SPACE (SF) | 4,223 | 4,223 | |
| FRONT YARD (SF) | 1,875 | 1,875 | |
| LANDSCAPE OPEN SPACE WITHIN FRONT YARD (%) | 40% | 56% | |
| LANDSCAPE OPEN SPACE WITHIN FRONT YARD (SF) | 750 | 1,052 | |
| LANDSCAPE OPEN SPACE WITHIN 10' OF PROPERTY LINE (%) | 50% OF LOS | 70% | |
| LANDSCAPE OPEN SPACE WITHIN 10' OF PROPERTY LINE (SF | 2,111 | 2,964 | |
| SOD (%) | 60% (MAX) | 34% | |
| SOD (SF) | 2,534 | 1,455 | |
| PROPOSED MODERATELY DROUGHT TOLERANT TREES (%) | 33% | 93% | |
| PROPOSED MODERATELY DROUGHT TOLERANT SHRUBS | 33% | 88% | |
| PROPOSED NATIVE VEGETATION COVERAGE (%) | 25% | 31% | |
| | | | |

LOCUST BERRY

LIGHTING LEGEND

BURLE MARX

LED UP LIGHT - 25 COASTAL SOURCE; MR16 BULLET UPLIGHT, WITH GROUND STAKE, VINTAGE BRASS COLOR

PHILODENDRON CREEPER

LED PATH LIGHT - 4 COASTAL SOURCE; DOUBLE TIERED HAT VINTAGE BRASS COLOR

DI ANIT LICT

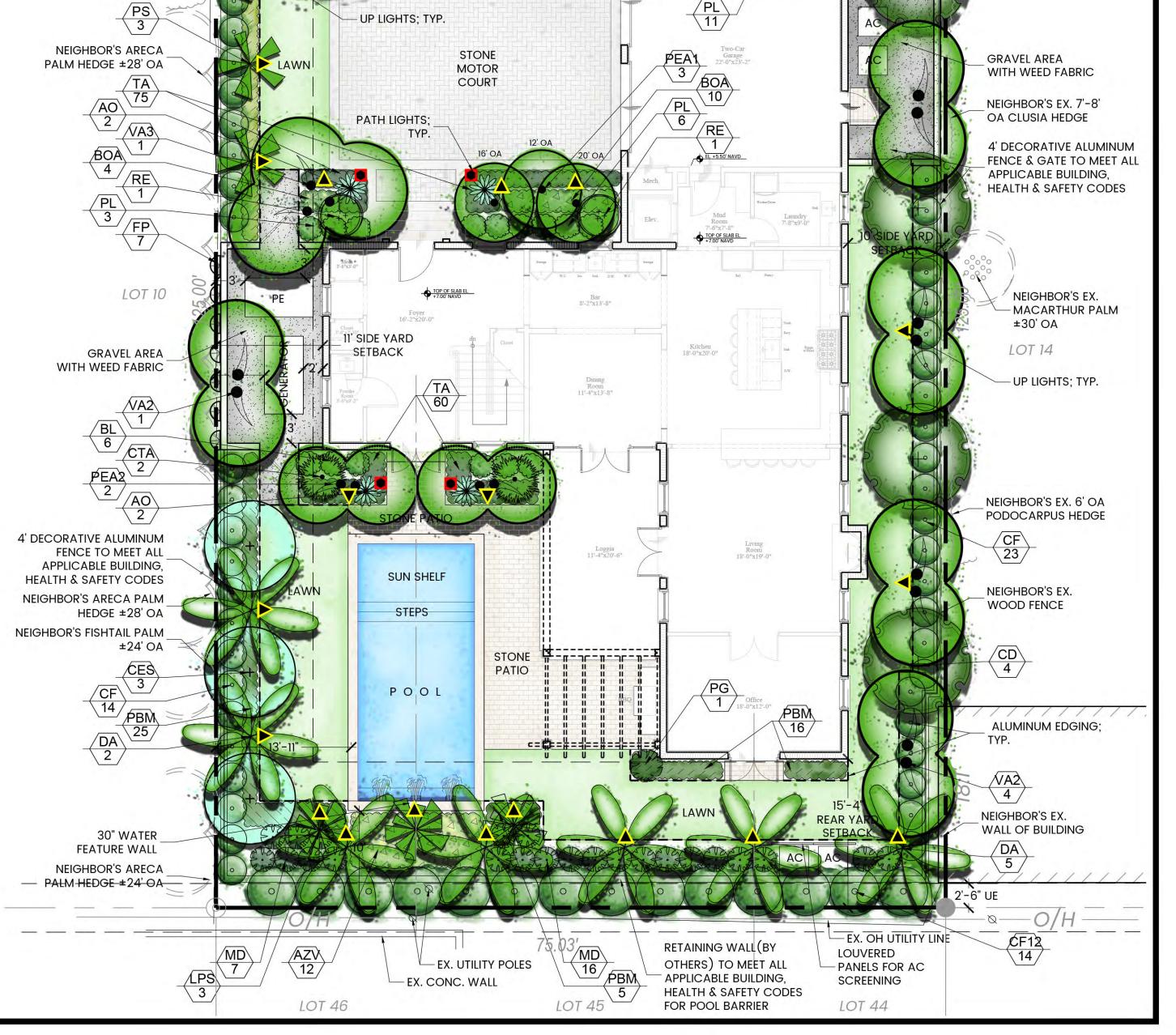
PROPOSED NATIVE VEGETATION COVERAGE (SF)

| Key | Qty | Scientific Name | Common Name | Size | Spacing |
|---------|--------|----------------------------------|----------------------------|--------------------------------|---------|
| TREES 8 | & PALM | S | | | |
| CD* | 4 | Coccoloba diversifolia | Pigeon Plum | 4" CAL., 14'x 7' | AS |
| CES* | 3 | Conocarpus erectus 'Sericeus' | Silver Buttonwood | 2" CAL., 14'x 6', matching, FF | AS |
| CG | 1 | Caesalpinia granadillo | Bridalveil Tree | 16' OA, character | AS |
| CS* | 2 | Cordia sebestena | Orange Geiger | 2" CAL., 12'x 6', matching, FF | AS |
| CTA* | 4 | Coccothrinax argentata | Florida Silver Palm | 5' OA | AS |
| DA | 7 | Dictyosperma album | Princess Palm | 14' OA, matching, FF, single | AS |
| LPS | 3 | Licuala peltata sumawongii | Pleated Licuala | 6' OA, matching | AS |
| PEA1 | 3 | Ptychosperma elegans | Alexander Palm, single | height as marked, FF, single | AS |
| PEA2 | 2 | Ptychosperma elegans | Alexander Palm, double | 20' OA, FF, double, matching | AS |
| PEA3 | 2 | Ptychosperma elegans | Alexander Palm, triple | 20' OA, FF, triple, matching | AS |
| PS* | 3 | Pseudophoenix sargentii | Buccaneer Palm | 8' OA, matching | AS |
| RE | 3 | Rhapis excelsa | Lady Palm | 6' OA, full to base | AS |
| VA2 | 5 | Veitchia arecina 'Montgomeryana' | Montgomery Palm, double | 22' OA, double | AS |
| VA3 | 1 | Veitchia arecina 'Montgomeryana' | Montgomery Palm, triple | 26' OA, triple | AS |
| SHRUBS | & GRO | UNDCOVERS | | | |
| AO | 4 | Alcantarea odorata | Odorata Bromeliad | 22"x 22" | AS |
| AZV | 12 | Alpinia zerumbet 'Variegata' | Variegated Shell Ginger | 40" OA | 30" OC |
| BG | 1 | Brunfelsia grandiflora | Yesterday, Today, Tomorrow | 6', multi, full | AS |
| BL* | 6 | Byrsonima lucida | Locust Berry | 7g, 30"x 24" | 30" OC |
| BOA | 41 | Begonia odorata 'Alba' | White Angel Begonia | 3g, 18"x 18" | 24" OC |
| CF | 62 | Clusia flava | Small Leaf Clusia | 6' OA, full to base | 36" OC |
| CF4 | 14 | Clusia flava | Small Leaf Clusia | 4' OA, full to base | 36" OC |
| CF12 | 14 | Clusia flava | Small Leaf Clusia | 12' OA, low branched, dense | 48" OC |
| EL* | 169 | Ernodea littoralis | Golden Beach Creeper | 1g, 12"x 16" | 18" OC |
| FP | 7 | Ficus pumila | Creeping Fig | 3' trellis, attach to wall | AS |
| MD | 23 | Monstera deliciosa | Ceriman | 7g, 30"x 30" | 30" OC |
| PBM | 46 | Philodendron 'Burle Marx' | Burle Marx Philodendron | 3g, 15"x 15" | 18" OC |
| PG | 1 | Philodendron giganteum | Giant Philodendron | 7g, 30"X 30" | AS |
| PL* | 20 | Psychotria ligustrifolia | Bahama Wild Coffee | 7g, 30"x 24" | 30" OC |
| TA | 310 | Trachelospermum asiaticum | Asiatic Jasmine Minima | 1g, 6"x 12", full pots | 12" OC |
| ZP* | 3 | Zamia pumila | Coontie | 15g, 30"x 30" | AS |

*DENOTES FLORIDA NATIVE PLANT MATERIAL ALL PLANT MATERIAL SHALL BE MINIMUM FLORIDA #1 GRADE PER THE FLORIDA GRADES & STADARDS FOR NURSERY PLANTS 2015 EDITION

1,455 SF SOD - ZOYSIA EMPIRE (EST. SF) 360 SF CRUSHED GRANITE WITH WEED FABRIC (EST. SF) ALUMINUM EDGING, BLACK WITH STAKES (EST. LF) 355 LF

PREVIOUSLY APPROVED PLAN





NORTH ELEVATION

SCALE: 3/16" =1'



SOUTH ELEVATION

SCALE: 3/16" =1'

PREVIOUSLY APPROVED PLAN



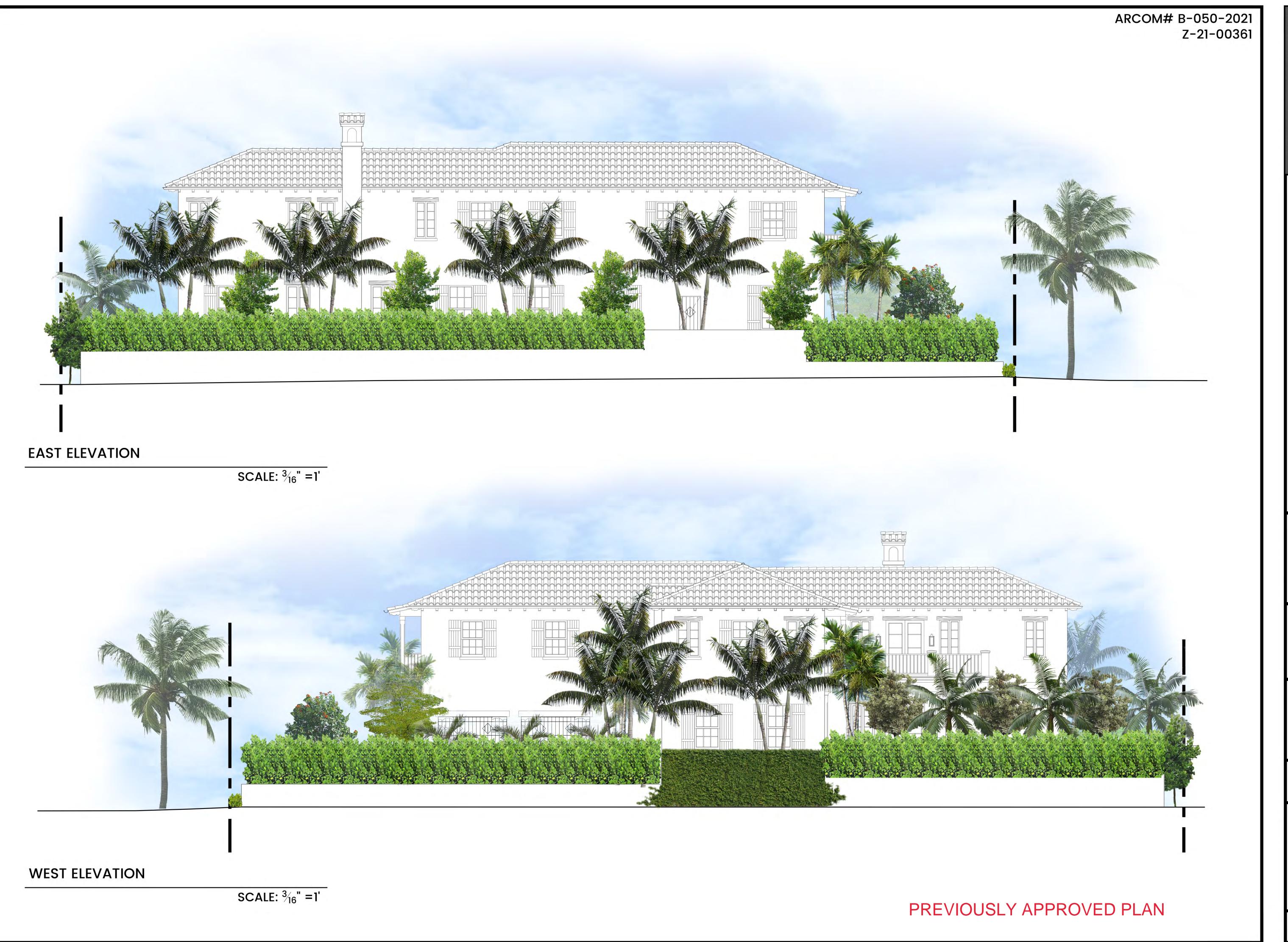
A New Residence



Landscape Elevations

| ESIGNED | DMS |
|-----------|----------------------------|
| RAWN | DMS |
| | DMS |
| ATE | 6/11/2021 |
| EVISIONS_ | 7/30/2021 |
| | REVISED PER ARCOM COMMENTS |
| | |
| | |
| | |
| | |
| | |
| | |

SHEET le1 of 2





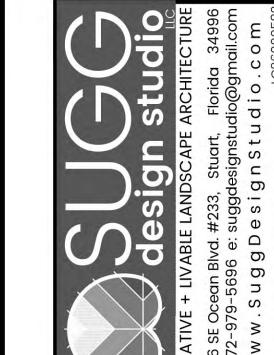
New Residence



Landscape Elevations

DESIGNED DMS
DRAWN DMS
APPROVED DMS
DATE 6/11/2021
REVISIONS 7/30/2021
REVISED PER ARCOM COMMENTS

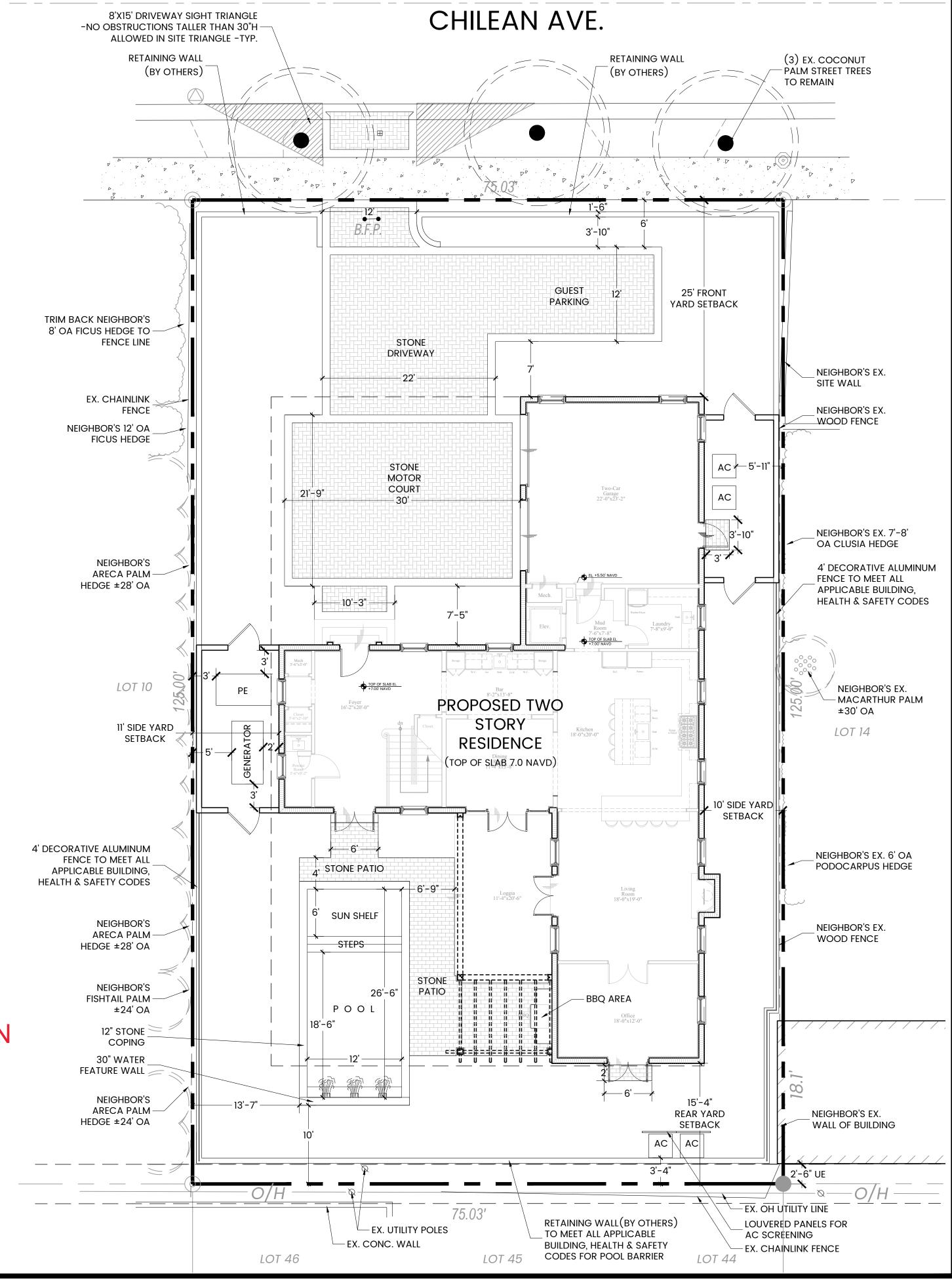
SHEET le2 OF 2





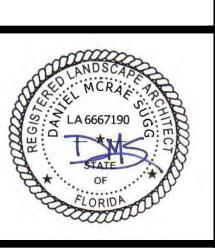
Section

SHEET SS1 OF 1

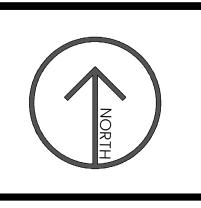


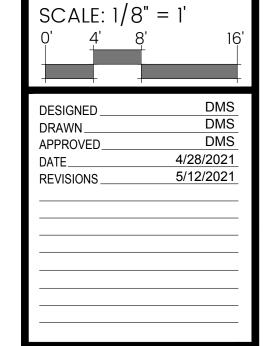
SEATIVE + LIVABLE LANDSCAPE ARCHITECTURE 336 SE Ocean Blvd. #233, Stuart, Florida 34996 : 772-979-5696 e: suggdesignstudio@gmail.com

A New Residence



Hardscape Plan





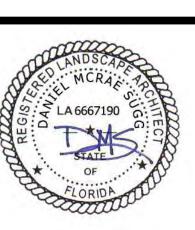
SHEET hp1 OF 1

PREVIOUSLY APPROVED PLAN

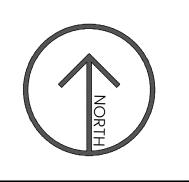
SITE DATA

| | % | SF |
|--|------------------|-----------------------|
| TOTAL SITE AREA RESIDENCE | 100% | 9,384 |
| (SF NUMBER PROVIDED BY ARCHITECT) | 30.0% | 2,815 |
| HARDSCAPE (DRIVEWAY, POOL, WALKS) (EQUIPMENT PADS, SITE WALLS) | 25% 24% 1% | 2,346 2,241 105 |
| LANDSCAPE | 45% | 4,223 |





Landscape Demolition Plan



| 0' 4 | ' 8' | 16 |
|-------------------|------|------------------|
| | | |
| DESIGNED DRAWN | | DMS DMS |
| APPROVED DATE |) | DMS 4/28/2021 |
| REVISIONS | | 5/12/2021 |

SHEET IP1 OF 3

CHILEAN AVE. 8'X15' DRIVEWAY SIGHT TRIANGLE -NO OBSTRUCTIONS TALLER THAN 30"H-(3) EX. COCONUT **RETAINING WALL** ALLOWED IN SITE TRIANGLE -TYP. PALM STREET TREES (BY OTHERS) TO REMAIN

LANDSCAPE DATA

50-43-43-23-05-011-0110 ZONING PROPOSED REQUIRED TOTAL SITE AREA 10,000 9,384 LANDSCAPE OPEN SPACE (%) 45% 4,223 LANDSCAPE OPEN SPACE (SF) 4,223 1,875 1,875 FRONT YARD (SF) LANDSCAPE OPEN SPACE WITHIN FRONT YARD (%) LANDSCAPE OPEN SPACE WITHIN FRONT YARD (SF) LANDSCAPE OPEN SPACE WITHIN 10' OF PROPERTY LINE (%) 50% OF LOS LANDSCAPE OPEN SPACE WITHIN 10' OF PROPERTY LINE (SF 2,111 SOD (SF) PROPOSED MODERATELY DROUGHT TOLERANT TREES (%) PROPOSED MODERATELY DROUGHT TOLERANT SHRUBS

LIGHTING LEGEND

LED UP LIGHT - 25 COASTAL SOURCE; MR16 BULLET UPLIGHT, WITH GROUND STAKE, VINTAGE BRASS COLOR

LED PATH LIGHT - 4 COASTAL SOURCE; DOUBLE TIERED HAT VINTAGE BRASS COLOR

PLANT LIST

PROPOSED NATIVE VEGETATION COVERAGE (%)

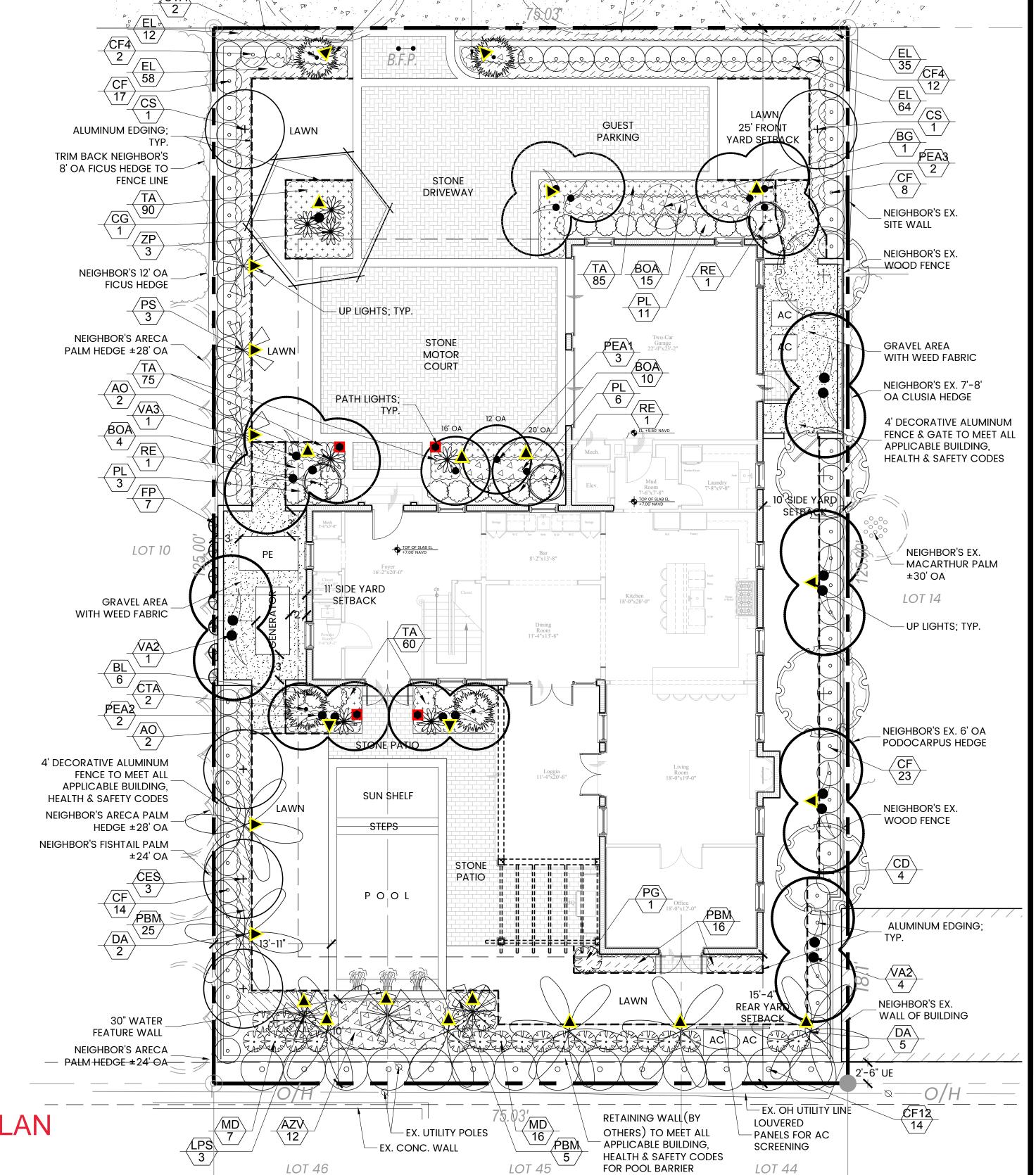
| Key | Qty | Scientific Name | Common Name | Size | Spacing |
|---------|--------|----------------------------------|----------------------------|--------------------------------|---------|
| TREES 8 | & PALM | S | | | |
| CD* | 4 | Coccoloba diversifolia | Pigeon Plum | 4" CAL., 14'x 7' | AS |
| CES* | 3 | Conocarpus erectus 'Sericeus' | Silver Buttonwood | 2" CAL., 14'x 6', matching, FF | AS |
| CG | 1 | Caesalpinia granadillo | Bridalveil Tree | 16' OA, character | AS |
| CTA* | 4 | Coccothrinax argentata | Florida Silver Palm | 5' OA | AS |
| DA | 7 | Dictyosperma album | Princess Palm | 14' OA, matching, FF, single | AS |
| LPS | 3 | Licuala peltata sumawongii | Pleated Licuala | 6' OA, matching | AS |
| PEA1 | 3 | Ptychosperma elegans | Alexander Palm, single | height as marked, FF, single | AS |
| PEA2 | 2 | Ptychosperma elegans | Alexander Palm, double | 20' OA, FF, double, matching | AS |
| PEA3 | 2 | Ptychosperma elegans | Alexander Palm, triple | 20' OA, FF, triple, matching | AS |
| PS* | 3 | Pseudophoenix sargentii | Buccaneer Palm | 8' OA, matching | AS |
| RE | 3 | Rhapis excelsa | Lady Palm | 6' OA, full to base | AS |
| VA2 | 5 | Veitchia arecina 'Montgomeryana' | Montgomery Palm, double | 22' OA, double | AS |
| VA3 | 1 | Veitchia arecina 'Montgomeryana' | Montgomery Palm, triple | 26' OA, triple | AS |
| SHRUBS | & GRO | OUNDCOVERS | | | |
| AO | 4 | Alcantarea odorata | Odorata Bromeliad | 22"x 22" | AS |
| AZV | 12 | Alpinia zerumbet 'Variegata' | Variegated Shell Ginger | 40" OA | 30" OC |
| BG | 1 | Brunfelsia grandiflora | Yesterday, Today, Tomorrow | 6', multi, full | AS |
| BL* | 6 | Byrsonima lucida | Locust Berry | 7g, 30"x 24" | 30" OC |
| BOA | 41 | Begonia odorata 'Alba' | White Angel Begonia | 3g, 18"x 18" | 24" 00 |
| CF | 62 | Clusia flava | Small Leaf Clusia | 6' OA, full to base | 36" OC |
| CF4 | 14 | Clusia flava | Small Leaf Clusia | 4' OA, full to base | 36" OC |
| CF12 | 14 | Clusia flava | Small Leaf Clusia | 12' OA, low branched, dense | 48" OC |
| EL* | 122 | Emodea littoralis | Golden Beach Creeper | 1g, 12"x 16" | 18" OC |
| FP | 7 | Ficus pumila | Creeping Fig | 3' trellis, attach to wall | AS |
| LM | 86 | Liriope muscari 'Super Blue' | Liriope | 3g, 18"x 18" | 18" OC |
| MD | 23 | Monstera deliciosa | Ceriman | 7g, 30"x 30" | 30" OC |
| РВМ | 30 | Philodendron 'Burle Marx' | Burle Marx Philodendron | 3g, 15"x 15" | 18" OC |
| PG | 1 | Philodendron giganteum | Giant Philodendron | 7g, 30"X 30" | AS |
| PL* | 20 | Psychotria ligustrifolia | Bahama Wild Coffee | 7g, 30"x 24" | 30" OC |
| TA | 225 | Trachelospermum asiaticum | Asiatic Jasmine Minima | 1g, 6"x 12", full pots | 12" 00 |
| ZP* | 3 | Zamia pumila | Coontie | 15g, 30"x 30" | AS |

1,297

1,056

*DENOTES FLORIDA NATIVE PLANT MATERIAL ALL PLANT MATERIAL SHALL BE MINIMUM FLORIDA #1 GRADE PER THE FLORIDA GRADES & STADARDS FOR NURSERY PLANTS 2015 EDITION PREVIOUSLY APPROVED PLAN

1,455 SF SOD - ZOYSIA EMPIRE (EST. SF) CRUSHED GRANITE WITH WEED FABRIC (EST. SF) 360 SF 355 LF ALUMINUM EDGING, BLACK WITH STAKES (EST. LF)

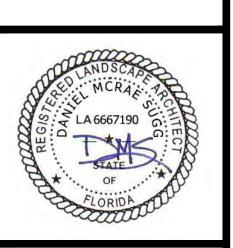


RETAINING WALL

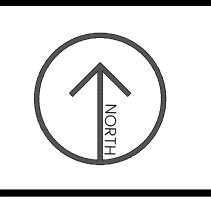


Avenue Florida Q334

<



Landscape Plan



SCALE: 1/8" = 1'

| DESIGNED | DMS |
|-----------|----------------------------|
| | DMS |
| | DMS |
| DATE | 4/28/2021 |
| REVISIONS | = / 4 0 / 0 0 0 4 |
| 6/21/2021 | ADDED LANDSCAPE LIGHTS |
| 7/16/2021 | REVISED PER ARCOM COMMENTS |
| | |
| | |
| | |
| | |
| | |
| | |
| SHEET | lp2 ∘ 3 |

SHEET Ip3 OF

3" MULCH PLACE TOP OF ROOT BALL 2" ABOVE FINISHED GRADE FORM SAUCER WITH 3" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE BACK FILL AROUND ROOT BALL WITH STANDARD PLANTING MIX. ELIMINATE AIR POCKETS. PLANTING PIT DEPTH SHALL BE 4"-6" GREATER THAN ROOT BALL. PLANTING PIT WIDTH SHALL BE TWICE

SHRUB/GROUNDCOVER PLANTING DETAIL

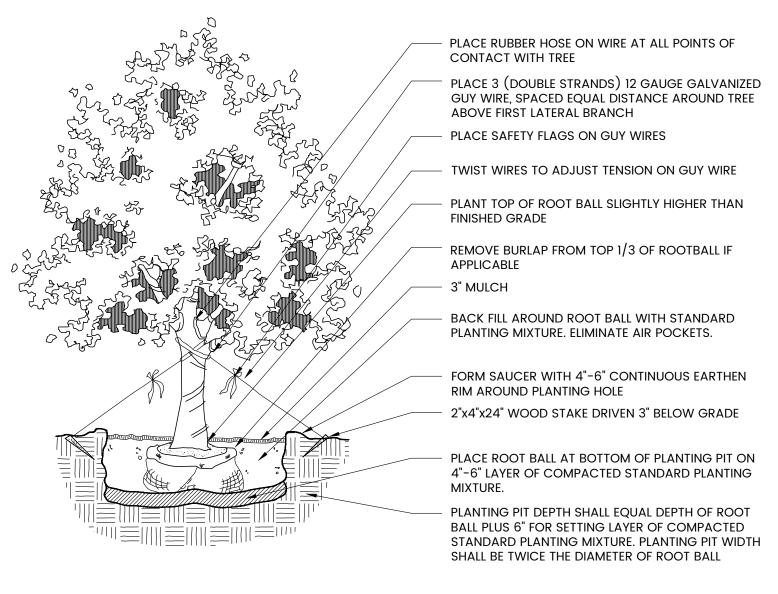
NITS

THE DIAMETER FOR ROOT BALLS 2' AND UNDER OR 2'

PLACE ROOT BALL AT BOTTOM OF PLANTING PIT ON

4"-6" LAYER OF COMPACTED STANDARD PLANTING

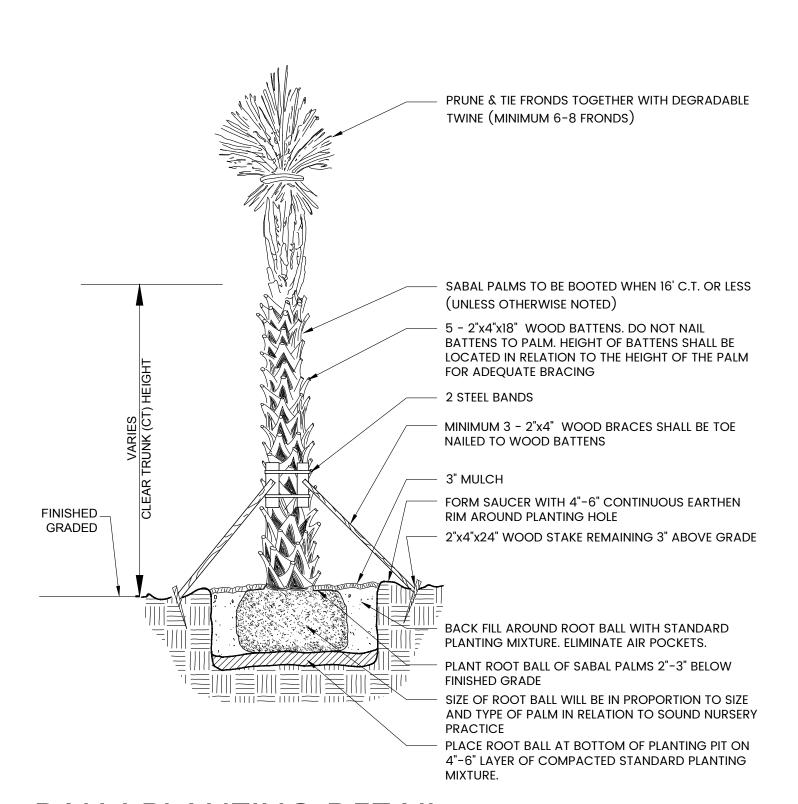
LARGER IN DIAMETER FOR ROOT BALLS OVER 2'.



LARGE TREE PLANTING DETAIL

NTS

NTS



PALM PLANTING DETAIL

LANDSCAPE SPECIFICATIONS

1. GENERAL LANDSCAPE REQUIREMENTS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING.

PLANT SIZE AND QUALITY

TREES, PALMS, SHRUBS, GROUNDCOVERS:

PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS, NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND IT IS OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES AND PALMS FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

MULCH SHALL BE SHREDDED CYPRESS MULCH.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD.

FERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASSIUM.

FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

| PLANT SIZE | 16-7-12 | AGRIFORM TABLETS (2 | 21 GRAM) |
|---------------|-------------------|---------------------|----------|
| 1.041 | 1/4 LB. | 1 | |
| 1 GAL. | • | I . | |
| 3 GAL. | 1/3 LB. | 3 | |
| 7-15 GAL. | 1/2 LB. | 6 | |
| 1"-6" CALIPER | 2 LBS./1" CALIPER | 2 PER 1" CALIPER | |
| 6" AND LARGER | 3 LBS./1" CALIPER | 2 PER 1" CALIPER | |
| | | | |

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF $\frac{1}{2}$ LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK.

CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT.

THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT.

ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE BAR.

THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.

THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR

DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE PROMPTLY CORRECTED BY THE LANDSCAPE CONTRACTOR.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THE SIX (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

ALL LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK REPRESENTED IN THIS PLAN SET

LANDSCAPE SPECIFICATIONS (cont.)

2. PLANTING TREES

EXCAVATE PIT AS PER PLANTING DETAILS. COMPACT LAYER OF TOPSOIL IN PIT WITH A SLIGHTLY DISHED GRADE TO CENTER.

BACKFILL AROUND BALL WITH TOPSOIL AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF TOPSOIL BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT)

PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER.

GUY AND STAKE TREE IN ACCORDANCE WIT THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS AND 3" DEEPER THAN REQUIRED FOR POSITIONING AT PROPER HEIGHT. COMPACT A LAYER OF TOPSOIL IN BOTTOM BEFORE PLACING PLANTS. BACKFILL AROUND PLANTS WITH PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION. APPLY 3" OF MULCH.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

4. PLANTING GROUND COVER

LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILL TO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY. APPLY 3" OF MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH. PURPLE QUEEN GROUNDCOVER, IF SPECIFIED, SHALL ONLY RECEIVE 1" OF MULCH.

DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS NEEDED.

5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING.

LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE MUDDY SOIL CONDITION.

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL.

LAY SOD STRIPS WITH TIGHT JOINTS, DO NOT OVERLAP, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED SOIL MIX INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

6. MISCELLANEOUS LANDSCAPE WORK

LANDSCAPE MAINTENANCE

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL.

PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.

PLANTING BED PREPARATION

AND SOD AREAS.

ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING. PLANTING AREAS, INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPENS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS PROVISION.

GENERAL NOTES

ALL LANDSCAPE WORK SHALL CONFORM TO THE LOCAL REQUIREMENTS OF THE LANDSCAPE CODE.

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR CHANGES WITHOUT THE AUTHORIZATION OF THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE PLANS AND VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND AVOID ALL CONFLICTS.

THE LANDSCAPE CONTRACTOR BE RESPONSIBLE FOR ALL PERMITS RELATING TO HIS/HER WORK. PERIMETER LANDSCAPING SHRUBS SHALL BE A MIN. OF THREE FEET IN HEIGHT AND TWO FEET IN WIDTH IMMEDIATELY UPON PLANTING, AND SHALL BE SPACED AT A MAX. OF 2'-6" ON CENTER. THE PLANTS SHALL BE OF TYPE CAPABLE OF ATTAINING A HEIGHT OF FIVE FEET WITHIN ONE YEAR OF PLANTING.

TREES AT ENTRANCEWAY SHALL BE LIMBED UP TO MAXIMIZE SITE DISTANCE. CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 30" AND 8'. TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SITE (AREA) LIGHTING.

PLANT MATERIAL USED SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'GRADE AND STANDARDS' LATEST EDITION.

ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE LOCAL LANDSCAPE CODE IRRIGATION SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO

THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/CUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

CONSTRUCTION. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% OVERLAP COVERAGE TO ALL LANDSCAPE