

DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
LANDMARKS - 11-17-23 - TOWN COUNCIL - 12-13-23

RECEIVED

By yfigueroa at 1:10 pm, Oct 12, 2023



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(O) 561-820-8088
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WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94845
TCRB 60164 BCRB 67675
BB 26001461

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269 PARK AVENUE
PALM BEACH, FLORIDA

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ABBREVIATIONS

ABV	ABOVE	GALV.	GALVANIZED	P.T.	PRESSURE TREATED
AFCI	ARC FAULT CURRENT INTERRUPT	SFCI	GROUND FAULT CURRENT INTERRUPT	PARTN.	PARTITION
AF	ABOVE FINISHED FLOOR	GL.	GLASS	PKT.	POCKET
AHU	AIR HANDLER UNIT	GWB	GYP&UM WALLBOARD	PLYWD.	PLYWOOD
BF	BI FOLD	GYP. BD.	GYP&UM WALLBOARD	FR.	FAIR
B.P.	BI PASS	HGT.	HEIGHT	R.O.	ROUGH OPENING
BLK.	BLOCK	HP&.	HOOPS	R&SH	RACK AND SHELF
BLW.	BELOW	HR	HOUR	S.C.	SOLID CORE
BRG.	BEARING	H&	HORIZONTAL SLIDING	S&D.	SLIDING GLASS DOOR
BTH.	BOTTOM	HV&Z	HIGH VELOCITY HURRICANE ZONE	SF	SQUARE FOOT
CLG.	CEILING	INS.	INSULATION	SH	SINGLE HUNG
CLR.	CLEAR	INT.	INTERIOR	SMS	SHEET METAL SCREWS
CMU	CONCRETE MASONRY UNITS	LG.	LONG	SS.	STAINLESS STEEL
COL.	COLUMN	LIN.	LINEN	ST.	STIRRUPS
CONC.	CONCRETE	L.T.	LIGHT	STL.	STEEL
CBMT.	CABINET	L.T.	LAUNDRY TUB	SW	SWITCH
DBL.	DOUBLE	M.C.	MEDICINE CABINET	SWOT.	SHEARWALL OVERTURNING FORCE
DIA.	DIAMETER	M.E.	MATCH EXISTING	TEMP.	TEMPERED
DISP.	DISPOSAL	MURH.	MEAN ROOF HEIGHT	T.B.	THROUGH BOLT
DP	DESIGN PRESSURE	M.T.	METAL THRESHOLD	T.O.	THROUGH OUT
DR.	DOOR	MAX.	MAXIMUM	T.O.B.B.	TOP OF MASONRY BOND BEAM
DW	DISH WASHER	MFR.	MANUFACTURER	T.O.F.L.	TOP OF WOOD PLATE
E.E.	EACH END	MICRO.	MICROWAVE	T.O.T.B.	TOP OF TIE BEAM
ELEC.	ELECTRICAL	MIN.	MINIMUM	TYP.	TYPICAL
ELEV.	ELEVATION	M.O.	MASONRY OPENING	U.O.N.	UNLESS OTHERWISE NOTED
E.S.	EACH SIDE	MONO.	MONOLITHIC	UL	UNDERWRITERS LABORATORIES
EXT.	EXTERIOR	MTL.	METAL	U.C.	UNDER COUNTER
F.B.C.	FLORIDA BUILDING CODE	N.I.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD
F.R.	FIRE RATED	O.H.D.	OVER HEAD DOOR	W.	WEDGE ANCHORS
FR	FRENCH DOOR	OVC	ON CENTER	W.	WITH
FIN.	FINISHED	P.L.F.	POUNDS PER LINEAR FOOT	WC	WATER CLOSET
FL.	FLOOR	P.S.F.	POUNDS PER SQUARE FOOT	WD.	WOOD
G.T.	GIRDER TRUSS	P.S.I.	POUNDS PER SQUARE INCH		
GA.	GAUGE				

FLORIDA BUILDING CODE 2020

W/ NFPA 70 2014 EDITION, NATIONAL ELECTRIC CODE • FLORIDA
STATUTES
WIND SPEED • 110 MPH V (ULT), 132 MPH V (ASD)
WIND IMPORTANCE FACTOR • 1.0
R3, RENOVATION LEVEL 2
EXPOSURE D
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - Gcpi • 0.18
MEAN ROOF HEIGHT • 28'-0"

PROJECT INDEX

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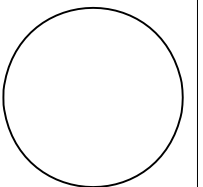
PROJECT TEAM

SURVEYOR: WALLACE SURVEYING
ARCHITECT: BRASSEUR AND DROBOT ARCHITECTS, P.A.
CONTRACTOR: T.B.D.

SCOPE OF WORK

CONSTRUCTION OF (2) DORMERS ON THE EAST AND (2) DORMERS ON THE WEST SIDE OF THE EXISTING 3RD FLOOR ROOF.
AN INTERIOR REMODEL TO THE HOUSE AND IN THE EXISTING 3RD FLOOR ATTIC / STORAGE SPACE WITH AN EXISTING BATHROOM REMODEL
AND STAIR BEING RELOCATED. AN ADDITION OF A DUTCH COLONIAL GABLE ENTRY FEATURE TO MATCH THE REMOVED ORIGINL FROM 1923.
THE PROPOSED GABLE ENTRY FEATURE WILL HAVE A BALCONY AT THE 2ND FLOOR.

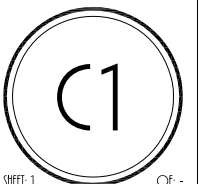
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☐ JASON P. DROBOT - BR 94845



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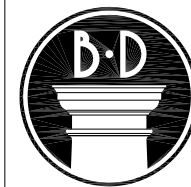
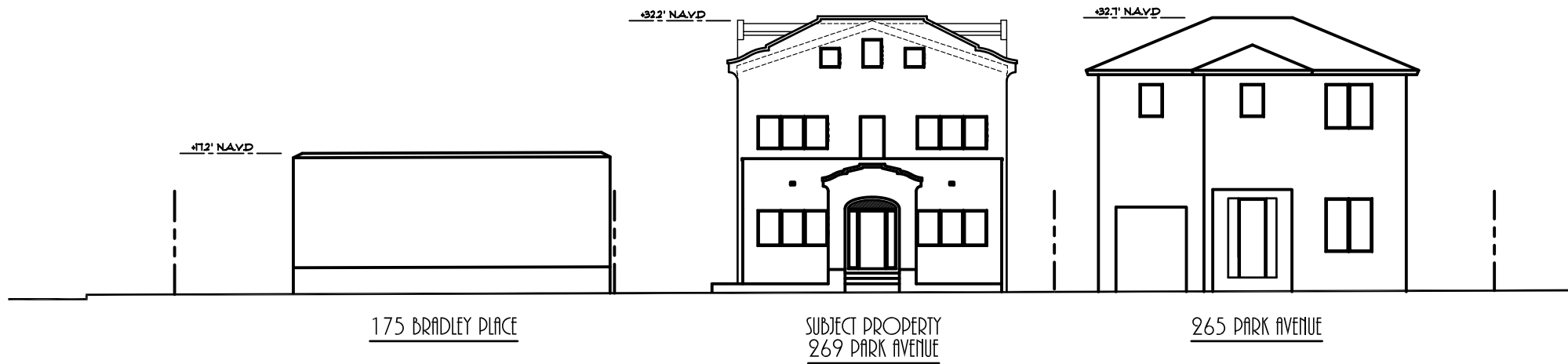
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SHEET: 1 OF: -

COVER SHEET



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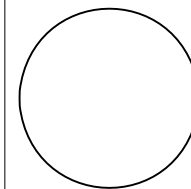
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1/PH1 - SOUTH ELEVATION ELEVATION SUBJECT PROPERTY



2/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



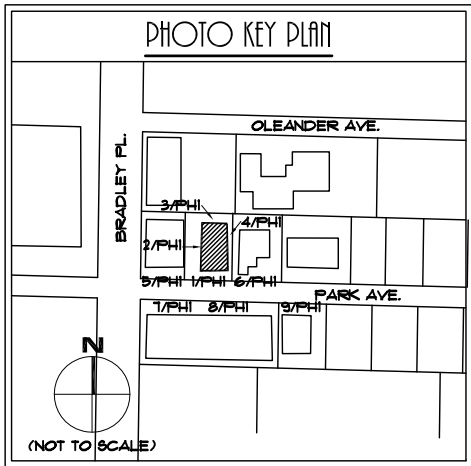
3/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



4/PH1 - WEST ELEVATION ELEVATION SUBJECT PROPERTY



5/PH1 - 175 BRADLEY PLACE



6/PH1 - 265 PARK AVENUE



7/PH1 - 165 BRADLEY PLACE



8/PH1 - 165 BRADLEY PLACE PARKING



9/PH1 - 262 PARK AVENUE

PHOTO SHEET

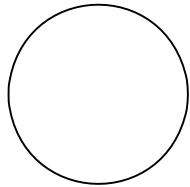


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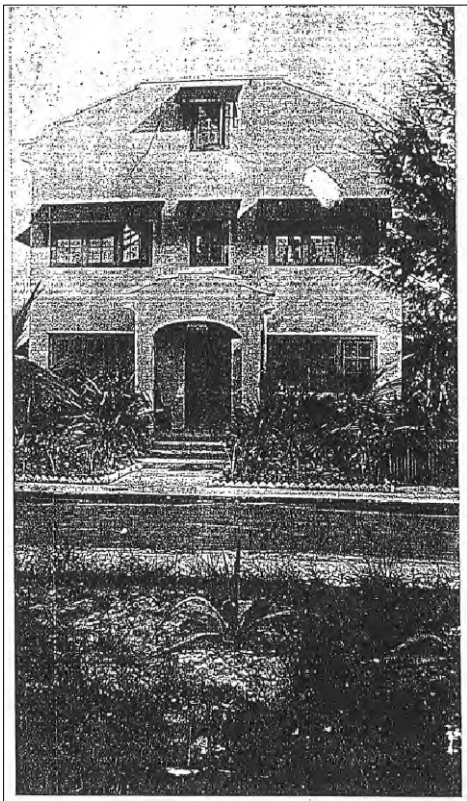
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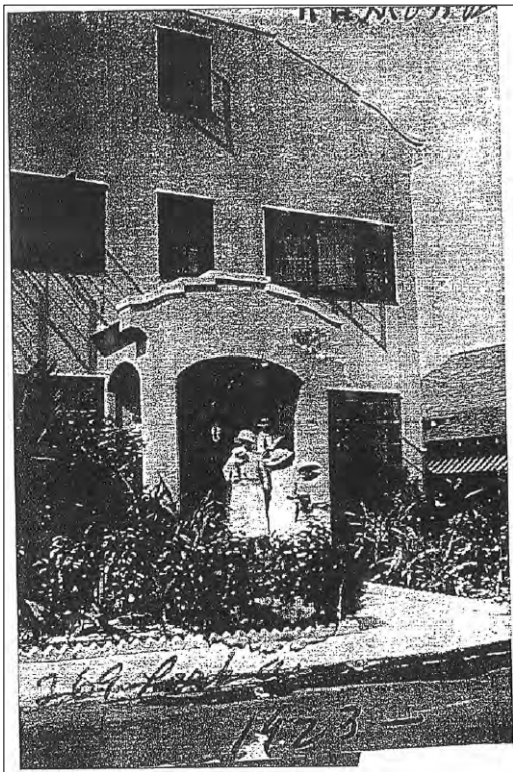
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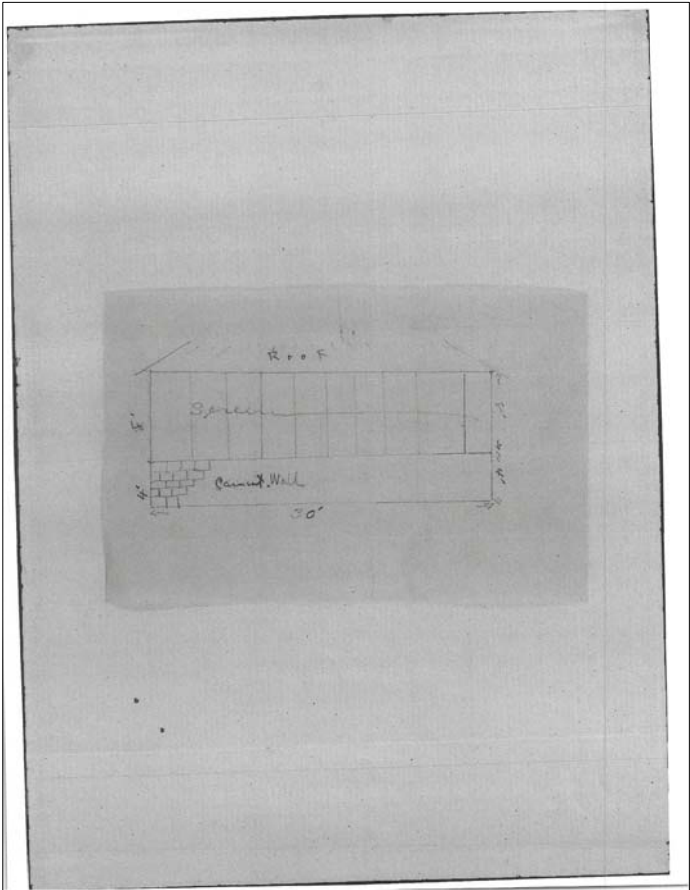




ORIGINAL SOUTH ELEVATION



ORIGINAL SOUTH ELEVATION - CA. 1923



1927 PERMIT - 1-STORY - ADDITION ELEVATION

No. 18354 Palm Beach, Florida May 28 1954

TO THE BUILDING INSPECTOR
OF PALM BEACH, FLORIDA

The undersigned requests that you grant a permit to
Mr. Paul Brown
TO CONSTRUCT Alter interior partitions create apartments on
CLASS OF ZONE Business first floor.
as per plans and specifications submitted with this application.
Class of Building Apartment Hotel Size of Addition No Addition
Material Frame Roofing None this permit
Located on Lot Block Addition
On 269 Park Avenue Street Between Bradley Place and N. County Road
Owner's Name Mrs. Pearl C. Brown Address
Builder's Name Owner Address
Architect Lawrence S. Funke
Approximate Cost 2500.00 Height Story on first
Now, therefore, in consideration of this permit, the owner and builder agree to undertake said
work in full compliance with the ordinances of the Town of Palm Beach, Florida, and further
agree that no work shall be undertaken prior to securing a building permit, issued by the building
inspector.

Signed: Paul C. Brown
Applicant
Off street parking: 2 cars
on property arrangements
for 4 cars across street at
Blair Bros. parking lot.

PLOT PLAN
Before me, the undersigned authority, personally appeared
to me well known, who being duly sworn deposes and says that the foregoing application signed
by applicant is true in point of fact.
Fire damage on rear of
house repaired as part
of this permit.
Sworn to and subscribed before me this _____ day of _____, A. D. 19____
Notary Public State of Florida

1954 PERMIT - 3-STORY - STORAGE

No. 721 Palm Beach, Florida 3 1927

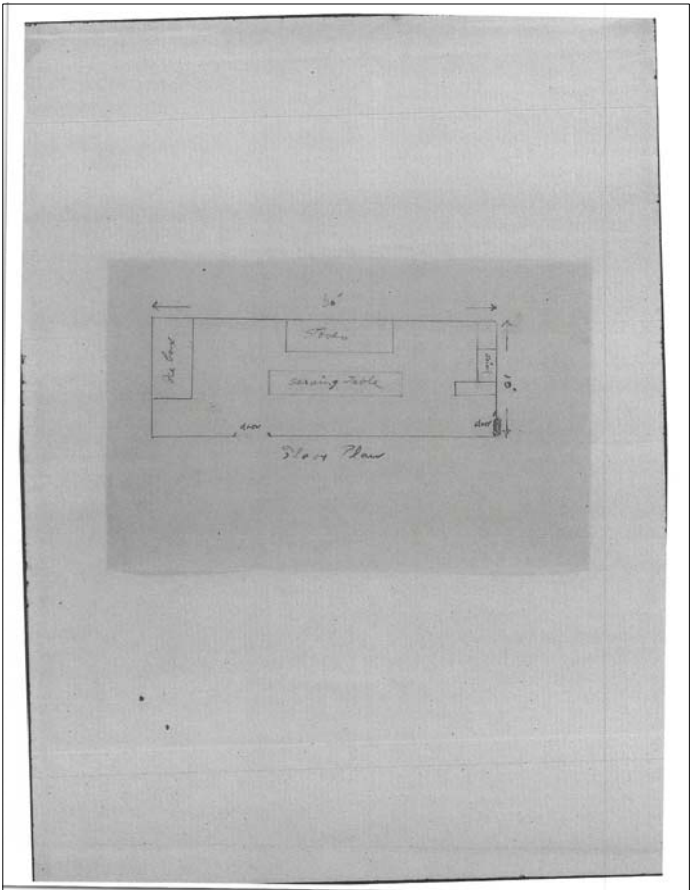
TO THE BUILDING INSPECTOR
OF
PALM BEACH, FLORIDA:

The undersigned requests that you grant a
permit to Mr. Paul Brown
TO CONSTRUCT: Alter interior partitions
CLASS OF ZONE Business
as per plans and specifications submitted with this application.
Class of Building Apartment Hotel Size of Addition 10' x 30'
Material Frame Roofing None
Located on Lot Block Addition None
On 269 Park Avenue Street Between Bradley Place and N. County Road
Owner's Name Mrs. Pearl C. Brown Address 269 Park Ave
Builder's Name Owner Address Same
Approximate Cost 1500.00 Height 2 Story
Now, therefore, in consideration of the granting of this permit, the
owner and builder agree to undertake said work in full compliance
with the ordinances of the Town of Palm Beach, Florida, and further
agree that no work shall be undertaken prior to securing a Building
Permit, issued by the Building Inspector.

Signed: Paul C. Brown
Applicant

State of Florida, }
County of Palm Beach, }
Before me, the undersigned authority, personally
appeared _____ to me well known,
who being duly sworn deposes and says that the foregoing application
signed by applicant, is true in point of fact.
Sworn to and subscribed before me this _____ day of _____
A. D. 1927
Notary Public State of Florida

1927 PERMIT - 1-STORY - ADDITION



1927 PERMIT - 1-STORY - ADDITION PLAN

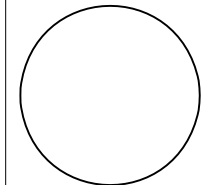


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EXISTING 3RD STORY STORAGE AREA



EXISTING 3RD STORY TOILET ROOM



EXISTING 3RD STORY STORAGE AREA



EXISTING 3RD STORY BATHROOM



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

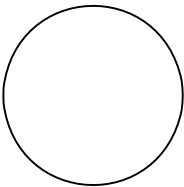


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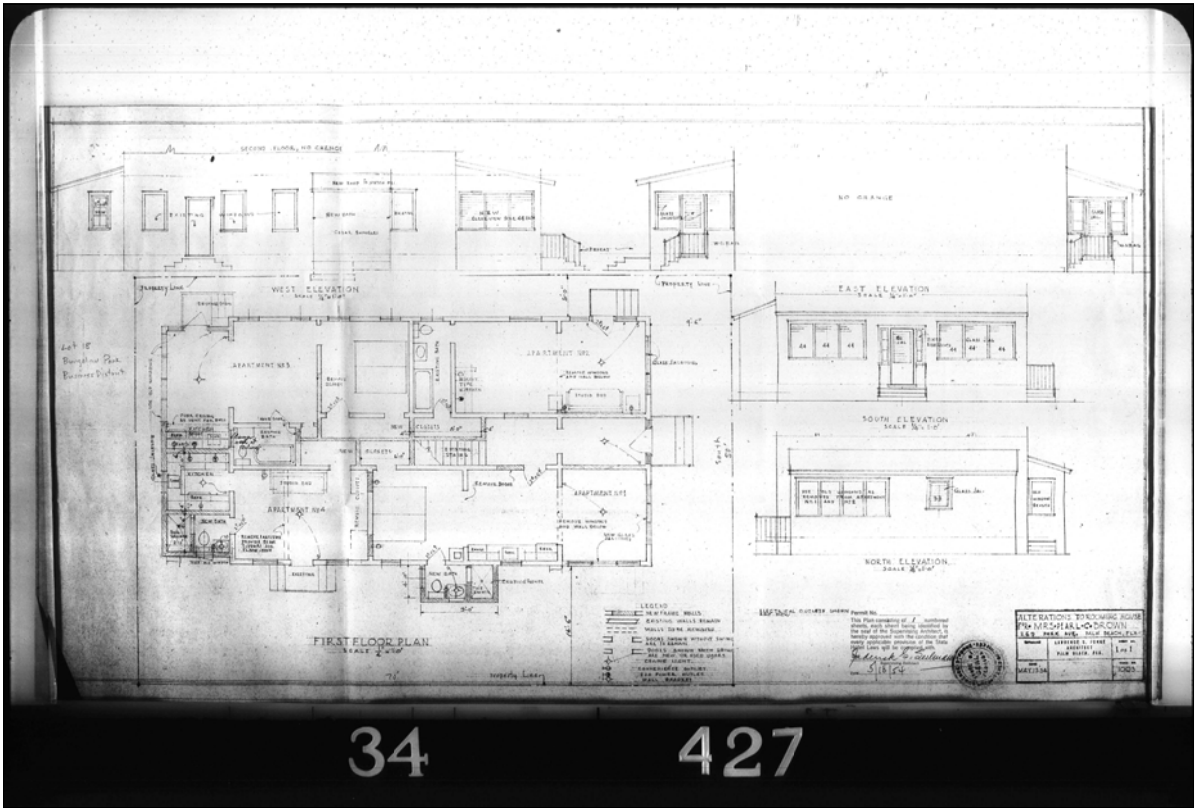
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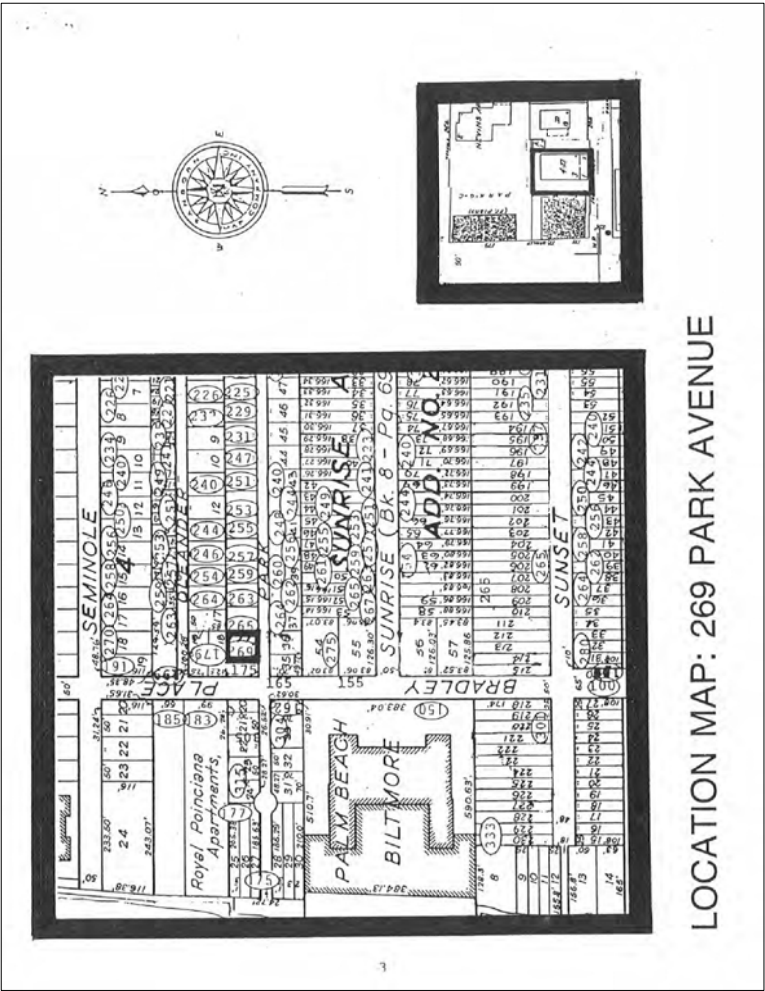


PH3
SHEET: 4 OF: -

PHOTOGRAPHS



PERMIT DRAWING 1954



HISTORIC TAX MAP W/ FRONT ADDITION



102 SEAVIEW AVENUE



SEASPRAY AVENUE



YATES HOUSE 1730

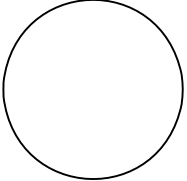


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PHOTOGRAPHS

SITE PLAN NOTE

1. THE ARCHITECTURAL SITE PLAN IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVES, AND SITE FEATURES ONLY. THE OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50% COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SETBACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE THE ARCHITECTURAL SITE PLAN AND SURVEYORS PLAN, THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THE CONFLICTS.

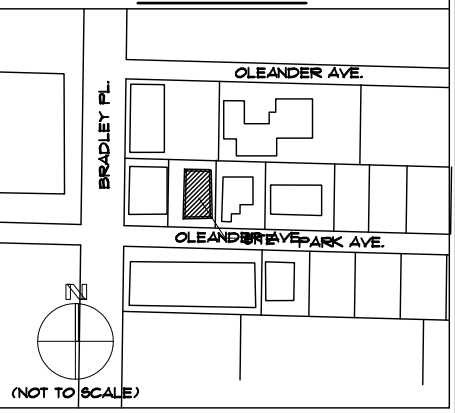
SITE INFORMATION

WALLACE SURVEYING CORP.
LB 14569
5953 VILLAGE BLVD.
WEST PALM BEACH, FL 33407
DATED 1-10-2022

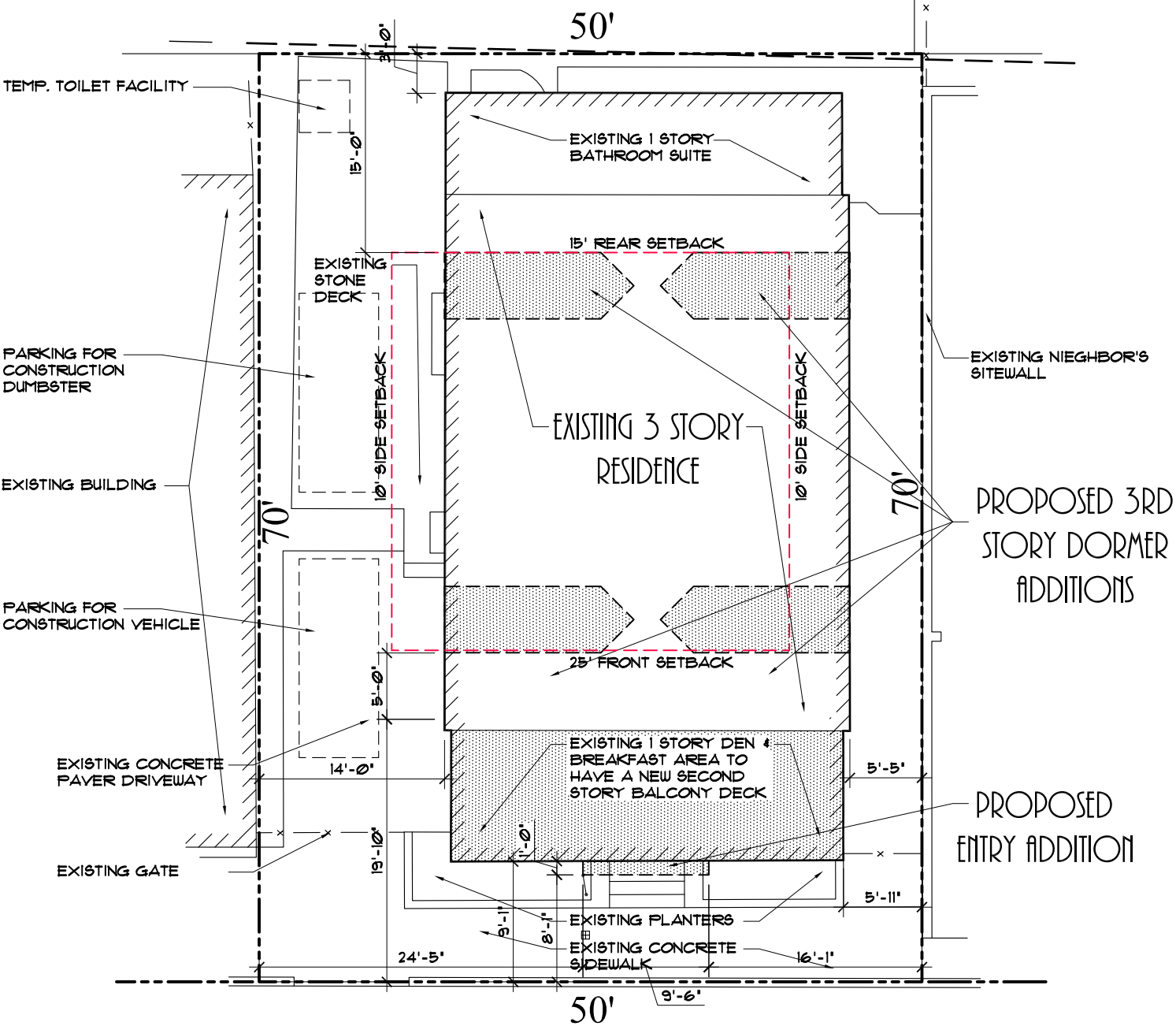
LEGAL DESCRIPTION

MUNICIPALITY: PALM BEACH
PARCEL CONTROL NUMBER: 50-43-43-15-08-000-0100
SUBDIVISION: BUNGALOW PARK ADD IN
OFFICIAL RECORDS BOOK 33055 PAGE: 491
LEGAL DESCRIPTION: BUNGALOW PARK ADD LT 18

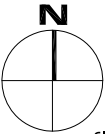
LOCATION PLAN



VICINITY LOCATION MAP



PARK AVENUE



SITE PLAN
SCALE: 3/16" = 1'-0"

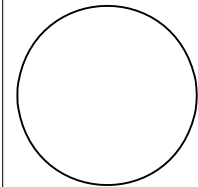


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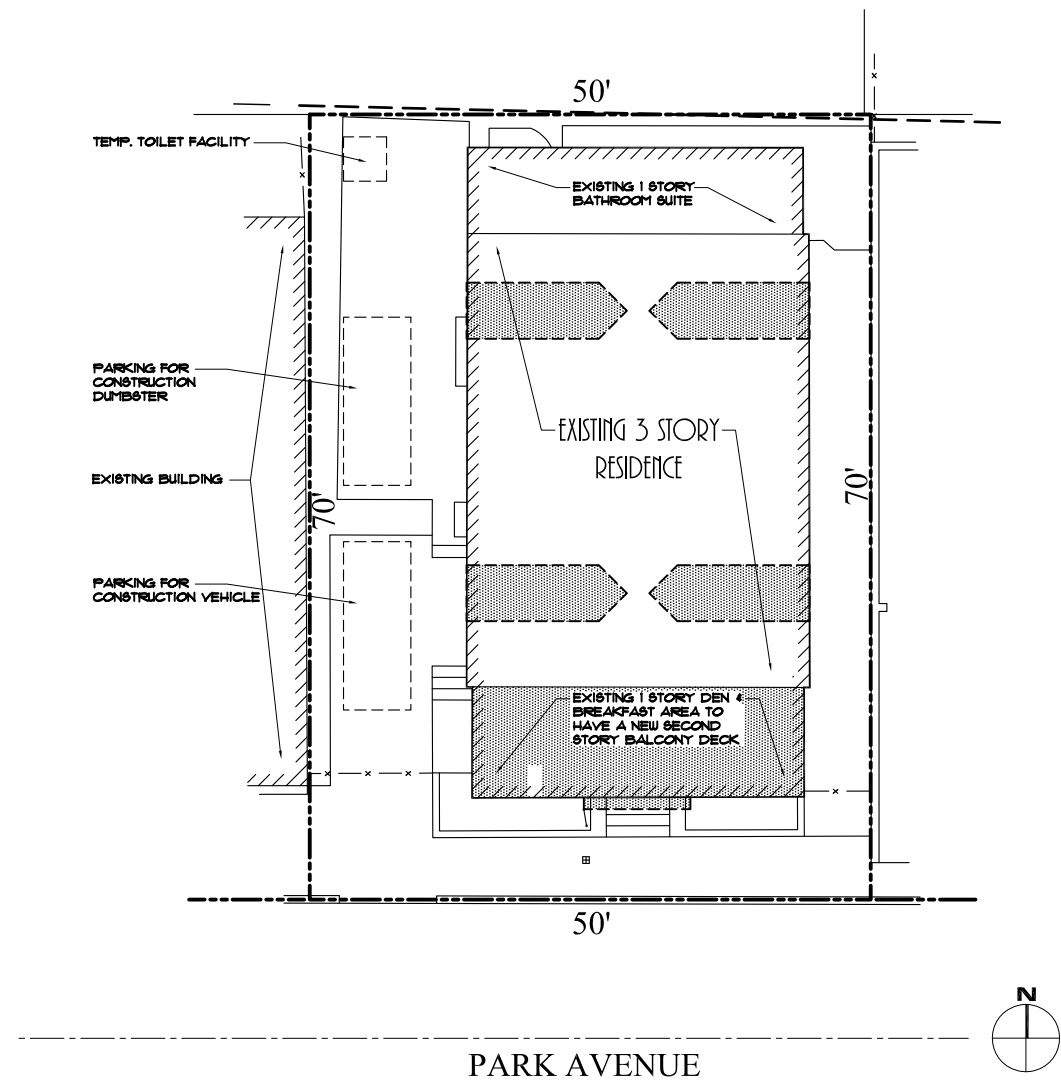
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SCALE: 1/8" = 1'-0"



CONSTRUCTION STAGING PLAN

SCALE: 1/8" = 1'-0"



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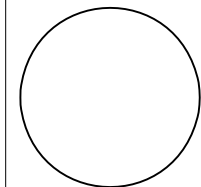
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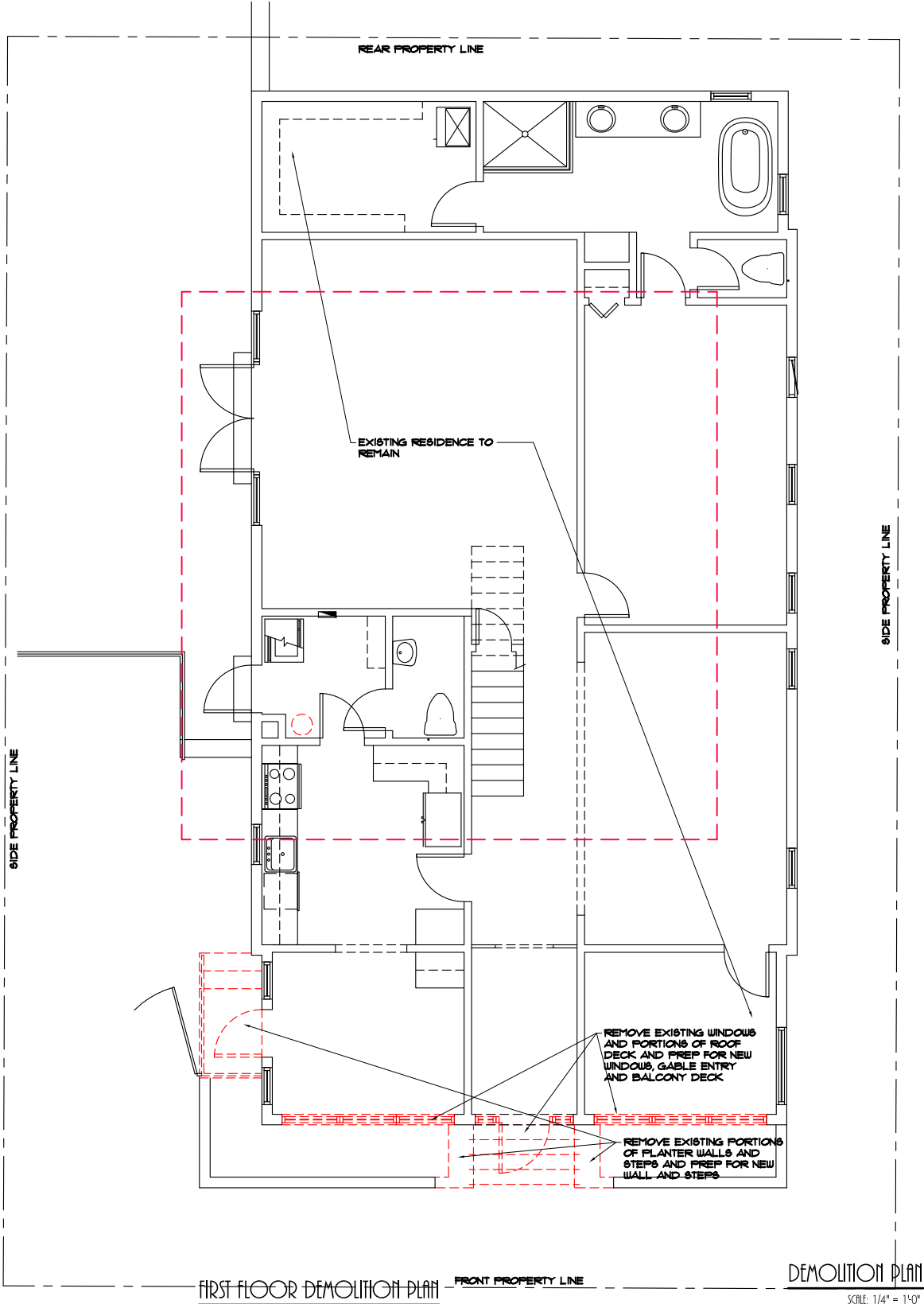
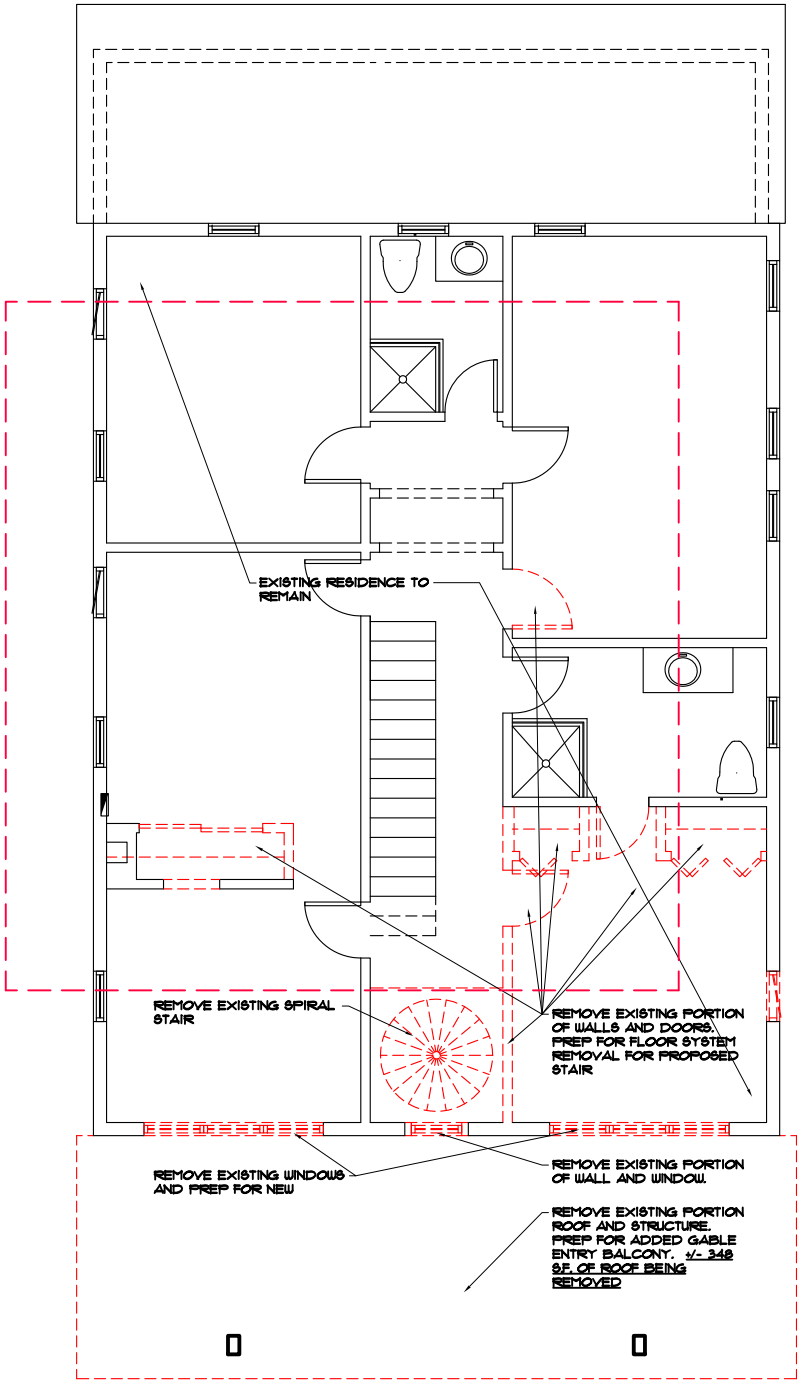
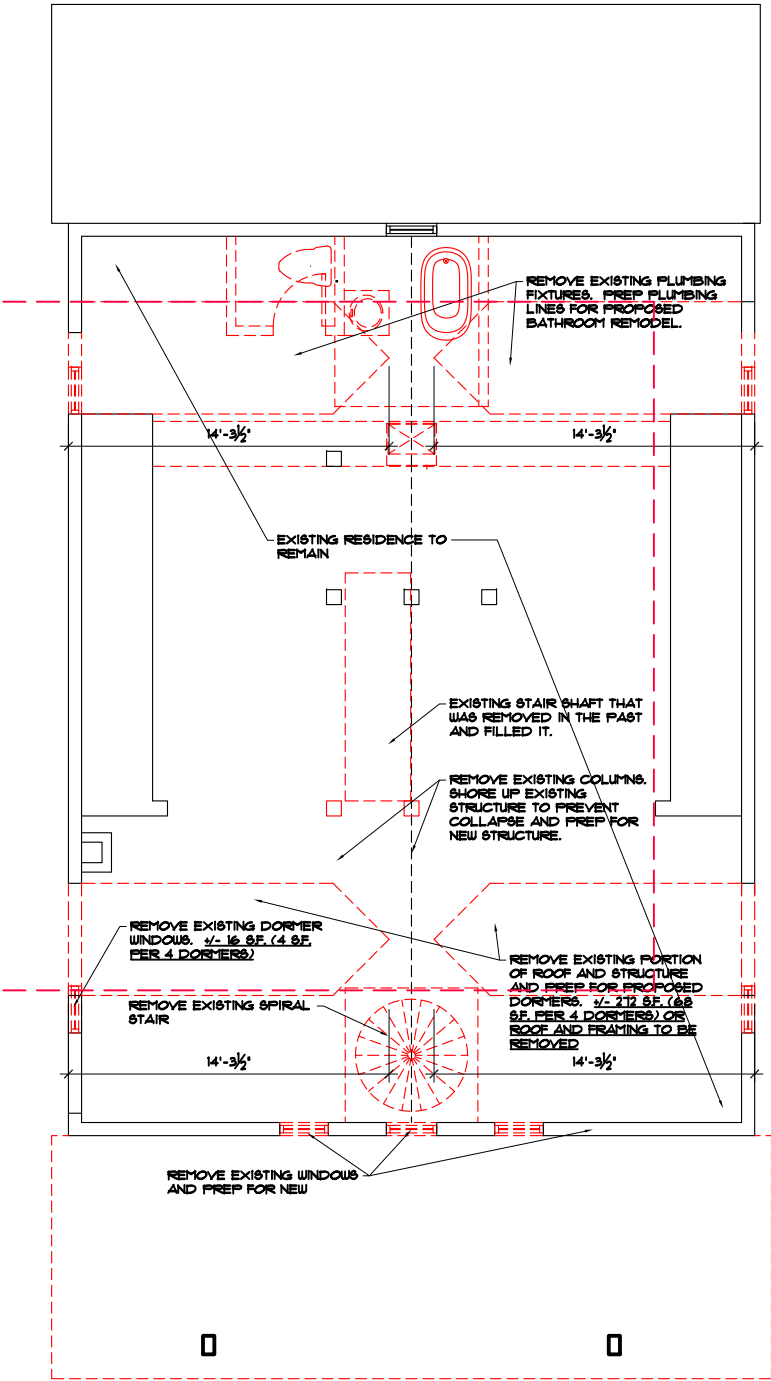
SHEET: 8 OF: -

DEMOLITION NOTES

- 1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.
- 2. PRIOR TO DEMOLITION, THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE OWNER AND ARCHITECT.
- 3. LANDSCAPE AROUND THE BUILDING SHALL BE PROTECTED AND/OR REPAIRED/REPLACED TO ACCOMMODATE NEW CONSTRUCTION. SPECIFICATIONS OF MATERIALS BY OTHERS.
- 4. SALVAGE ITEMS & MATERIALS SHALL REMAIN PROPERTY OF THE OWNER AS PART OF THIS CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS DIRECTED BY OWNER.
- 5. WHEN EXISTING PLUMBING AND PIPING IS TO BE REMOVED AND/OR REPLACED, CARE SHALL BE TAKEN WHEN CUTTING OR DRILLING IS REQUIRED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK TO REMAIN. PATCH ADJACENT WALLS, FLOOR AND CEILING AS REQUIRED TO MATCH EXISTING.
- 6. ELECTRICAL CONTRACTOR IS TO DISCONNECT, CAP AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED. ELECTRICAL IN THE EXISTING RESIDENCE SHALL BE MODIFIED TO MAINTAIN THE INTEGRITY OF THE CIRCUITRY, SUCH AS ALL EXISTING DEVICES, TO REMAIN OPERATIONAL.

DEMOLITION WALL SCHEDULE

SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
=====	EXISTING WALLS TO BE REMOVED	VARIABLE	
=====	EXISTING 4" FRAME PARTITION - TO REMAIN	4", 6" OR 8" NOMINAL	

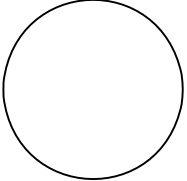


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ICR20 60164 ICR20 67675
BB 26001461

DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE
PALM BEACH, FLORIDA

DESIGNED BY:
JEFFREY D. BRASSEUR - BR 0017698
DRAFTER:
JASON P. DROBOT - BR 94845



JOB #:
DATE:
DESIGNED BY:
DRAFTER:
CHECKED BY:

REVISIONS:

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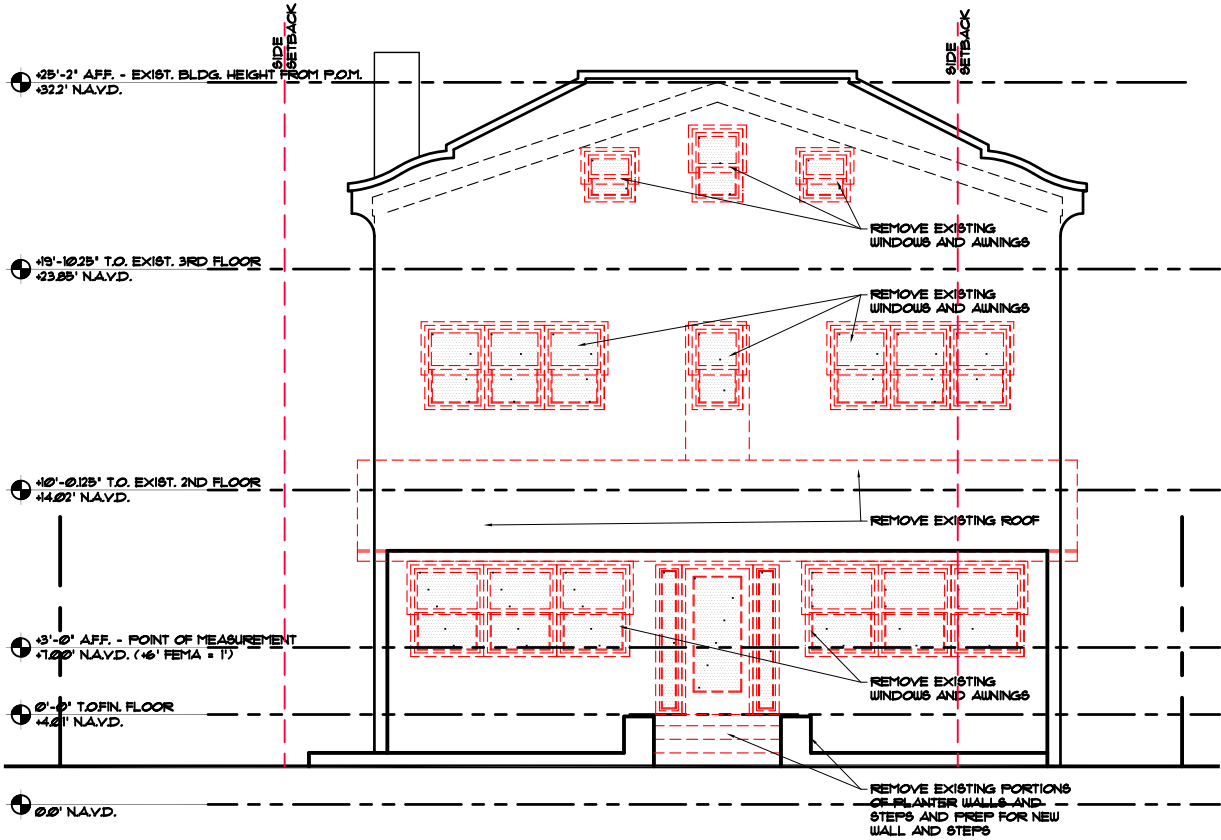
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SHEET: 9 OF: 9

DEMOLITION NOTES

1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.
2. PRIOR TO DEMOLITION, THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE OWNER AND ARCHITECT.
3. LANDSCAPE AROUND THE BUILDING SHALL BE PROTECTED AND/OR REPAIRED/REPLACED TO ACCOMMODATE NEW CONSTRUCTION. SPECIFICATIONS OF MATERIALS BY OTHERS.
4. SALVAGE ITEMS & MATERIALS SHALL REMAIN PROPERTY OF THE OWNER AS PART OF THIS CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS DIRECTED BY OWNER.
5. WHEN EXISTING PLUMBING AND PIPING IS TO BE REMOVED AND/OR REPLACED, CARE SHALL BE TAKEN WHEN CUTTING OR DRILLING IS REQUIRED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK TO REMAIN. PATCH ADJACENT WALLS, FLOOR AND CEILING AS REQUIRED TO MATCH EXISTING.
6. ELECTRICAL CONTRACTOR IS TO DISCONNECT, CAP AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED. ELECTRICAL IN THE EXISTING RESIDENCE SHALL BE MODIFIED TO MAINTAIN THE INTEGRITY OF THE CIRCUITRY, SUCH AS ALL EXISTING DEVICES, TO REMAIN OPERATIONAL.

DEMOLITION WALL SCHEDULE

SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
=====	EXISTING WALLS TO BE REMOVED	VARIES	
-----	EXISTING 4' FRAME PARTITION - TO REMAIN	4', 6' OR 8' NOMINAL	



DEMOLITION ELEVATIONS
SCALE: 1/4" = 1'-0"



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A REMODEL AND ADDITION TO:
269 PARK AVENUE

WEST PALM BEACH, FLORIDA

SERIALIZED BY:
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☐ JASON P. DROBOT - BR 94845

JOB #: 22-010
DATE: 10-12-23
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CHECKED BY: JDB

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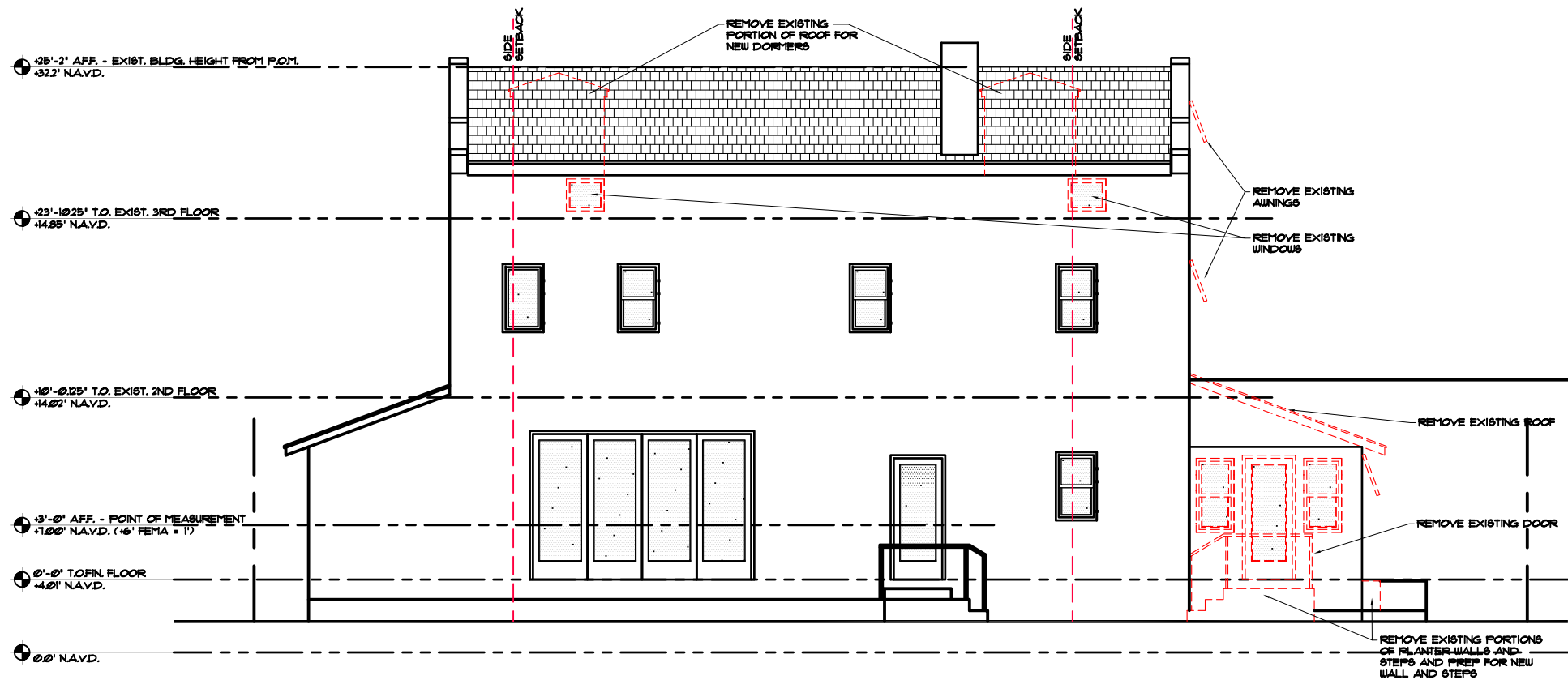
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A REMODEL AND ADDITION TO:
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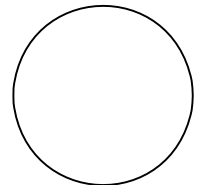
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DEMOLITION ELEVATIONS
SCALE: 1/4" = 1'-0"

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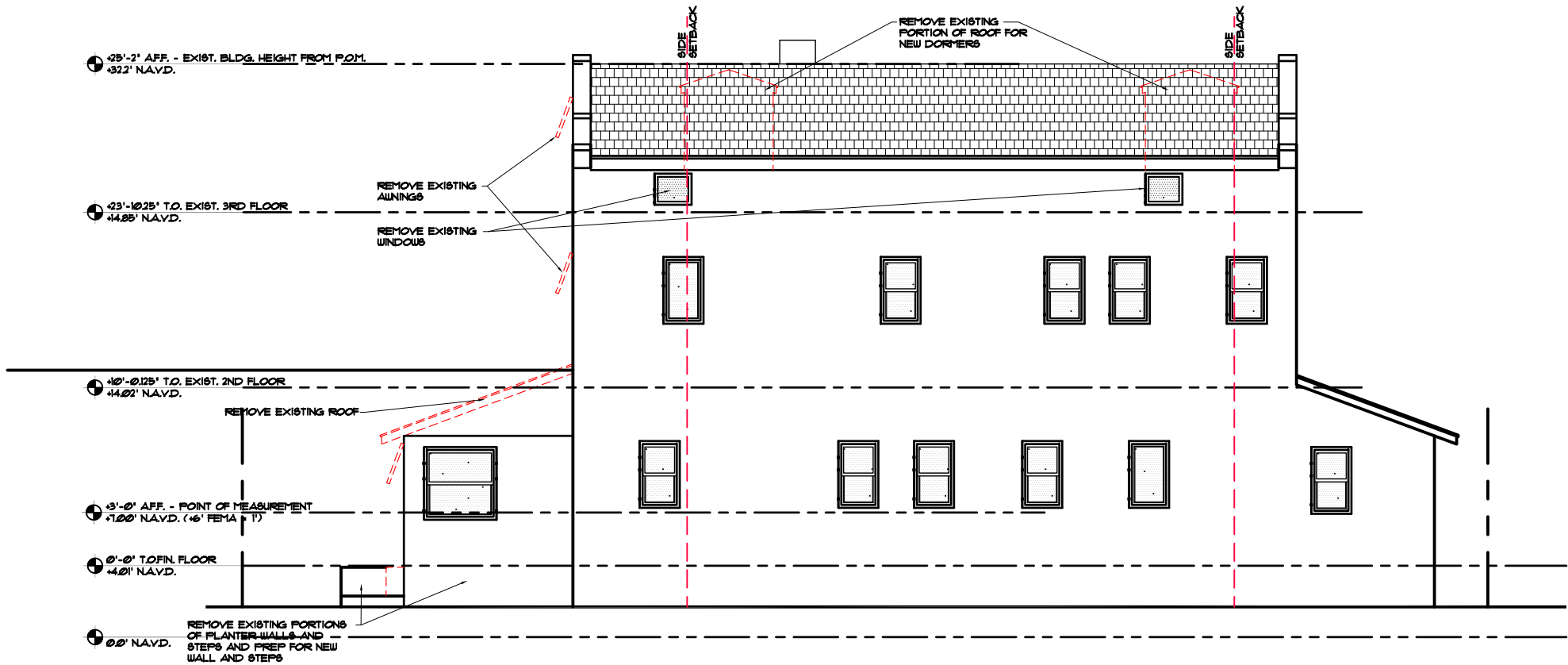
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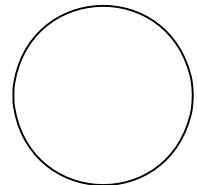
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DEMOLITION ELEVATIONS
SCALE: 1/4" = 1'-0"

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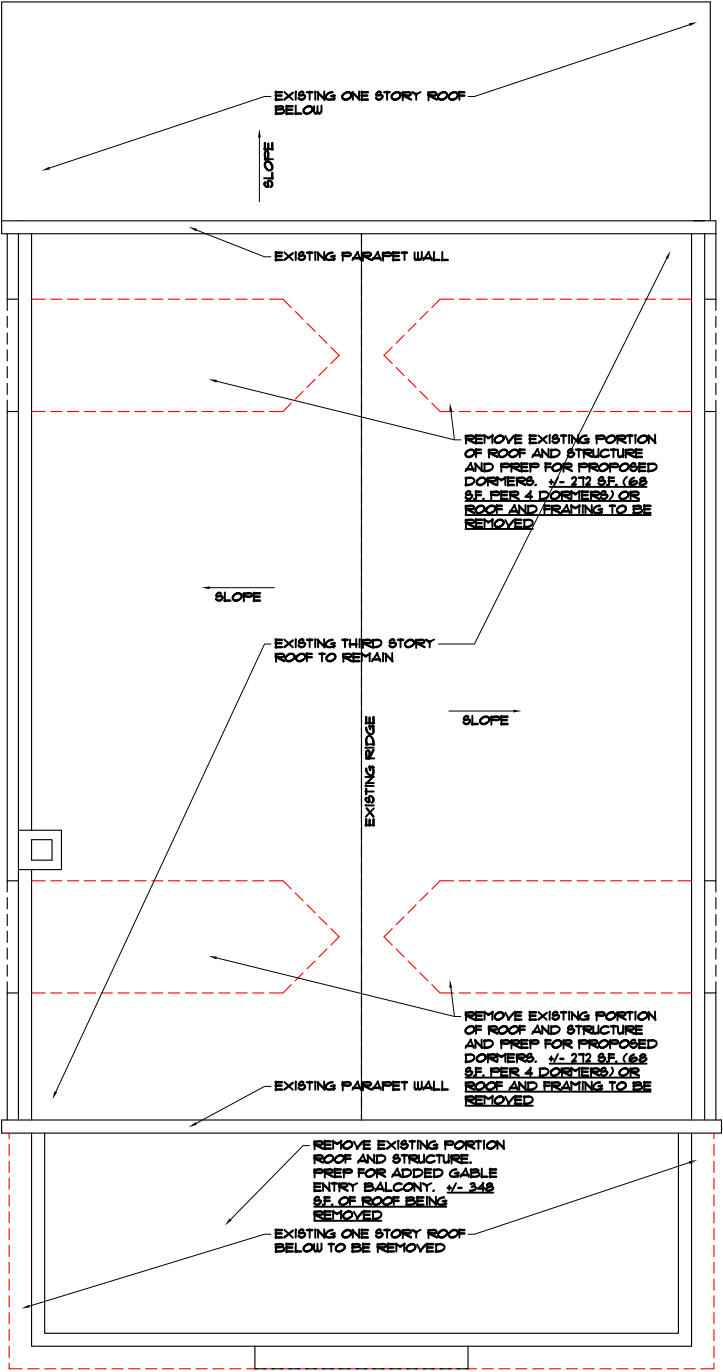
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SHEET: 12 OF: -

DEMOLITION NOTES
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DEMOLITION WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
=====	EXISTING WALLS TO BE REMOVED	VARIES	
_____	EXISTING 4' FRAME PARTITION - TO REMAIN	4', 6' OR 8' NOMINAL	



DEMOLITION ROOF PLAN
SCALE: 1/4" = 1'-0"



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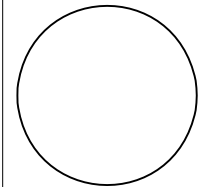
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A REMODEL AND ADDITION TO:
269 PARK AVENUE

WEST PALM BEACH, FLORIDA

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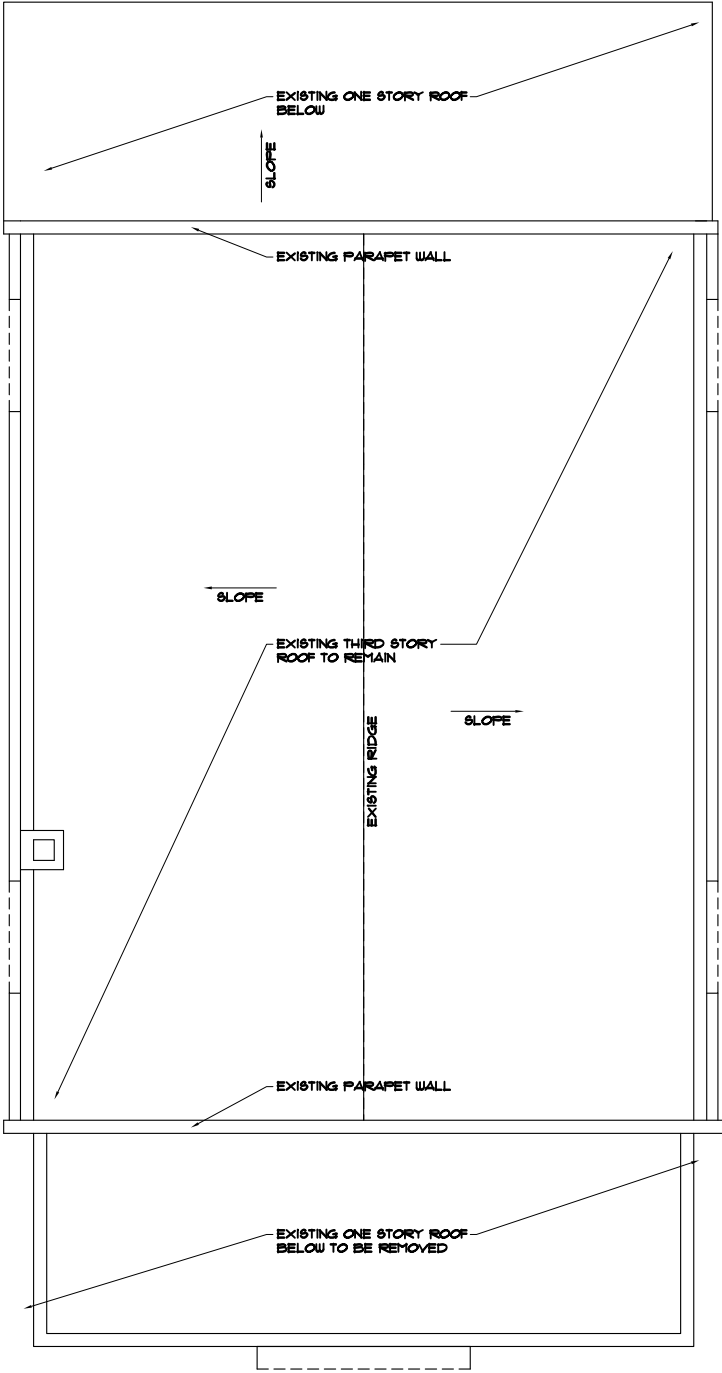
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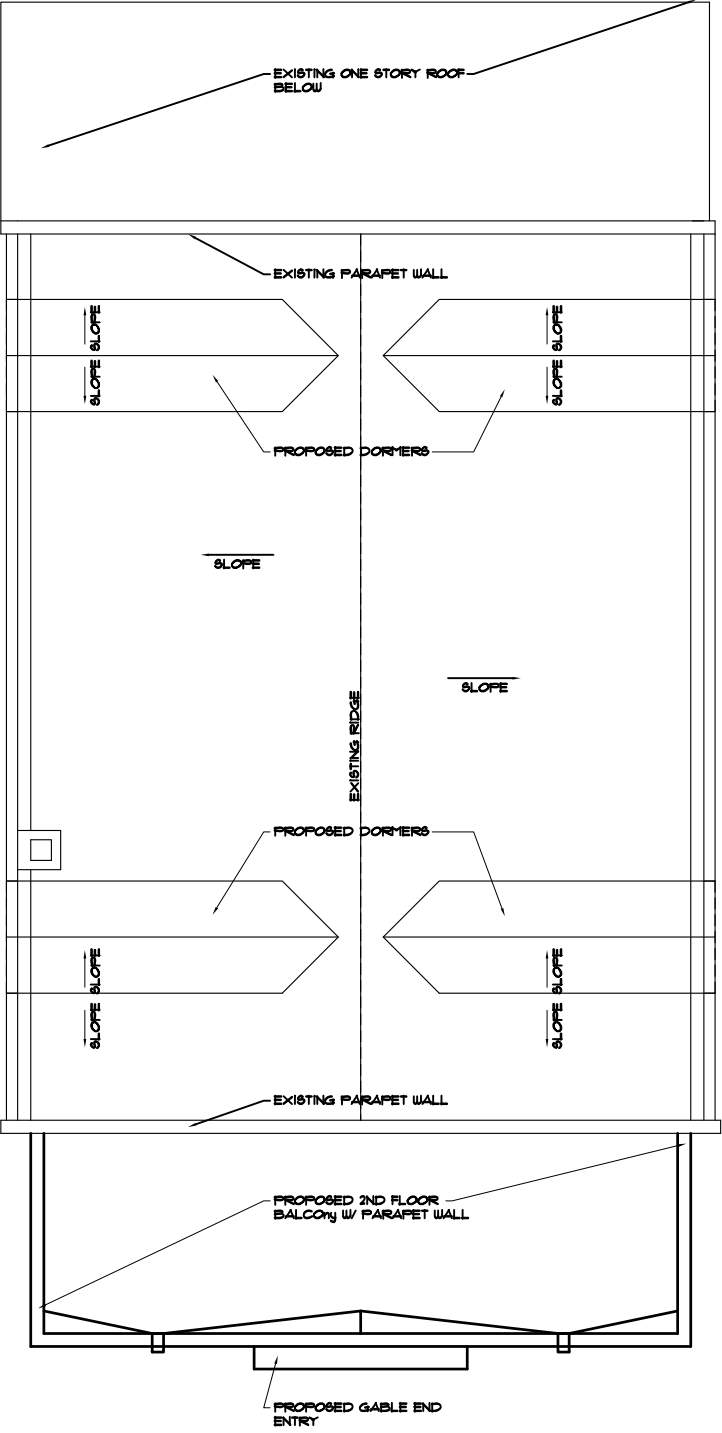
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EXISTING
ROOF PLAN



PROPOSED
ROOF PLAN

ROOF PLAN
SCALE: 1/4" = 1'-0"



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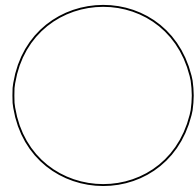
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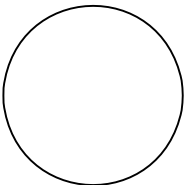


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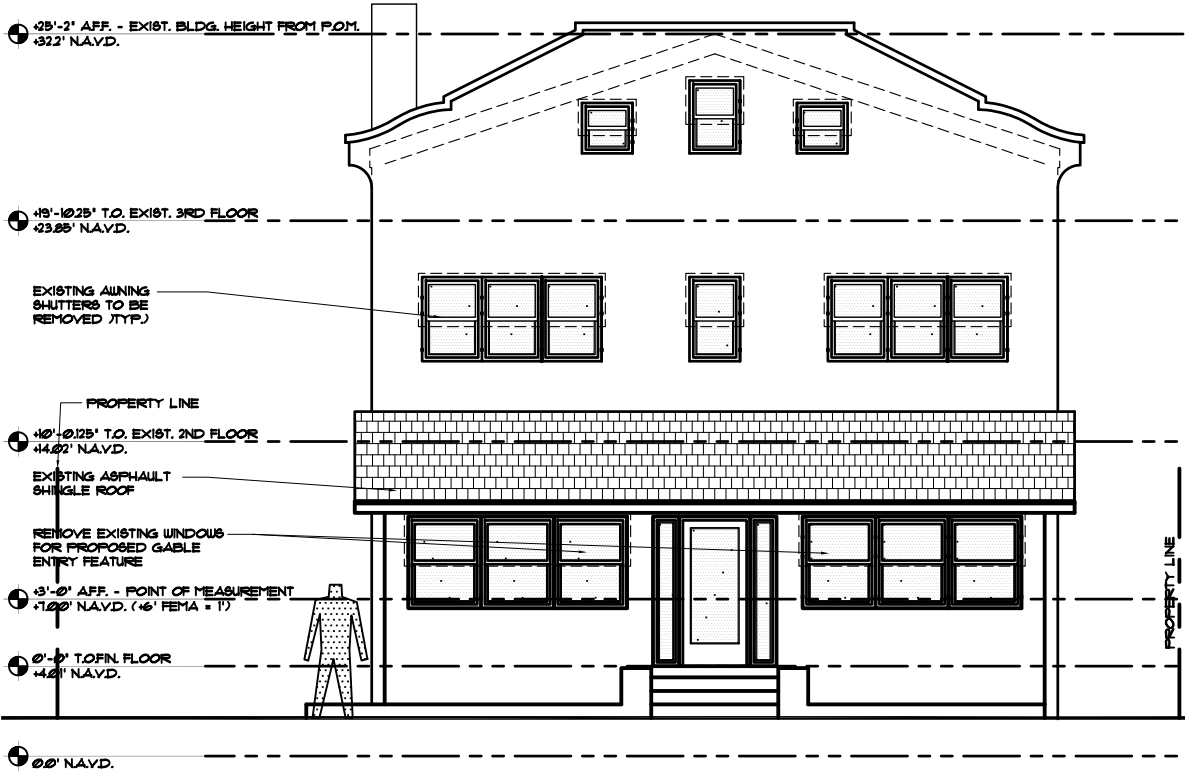
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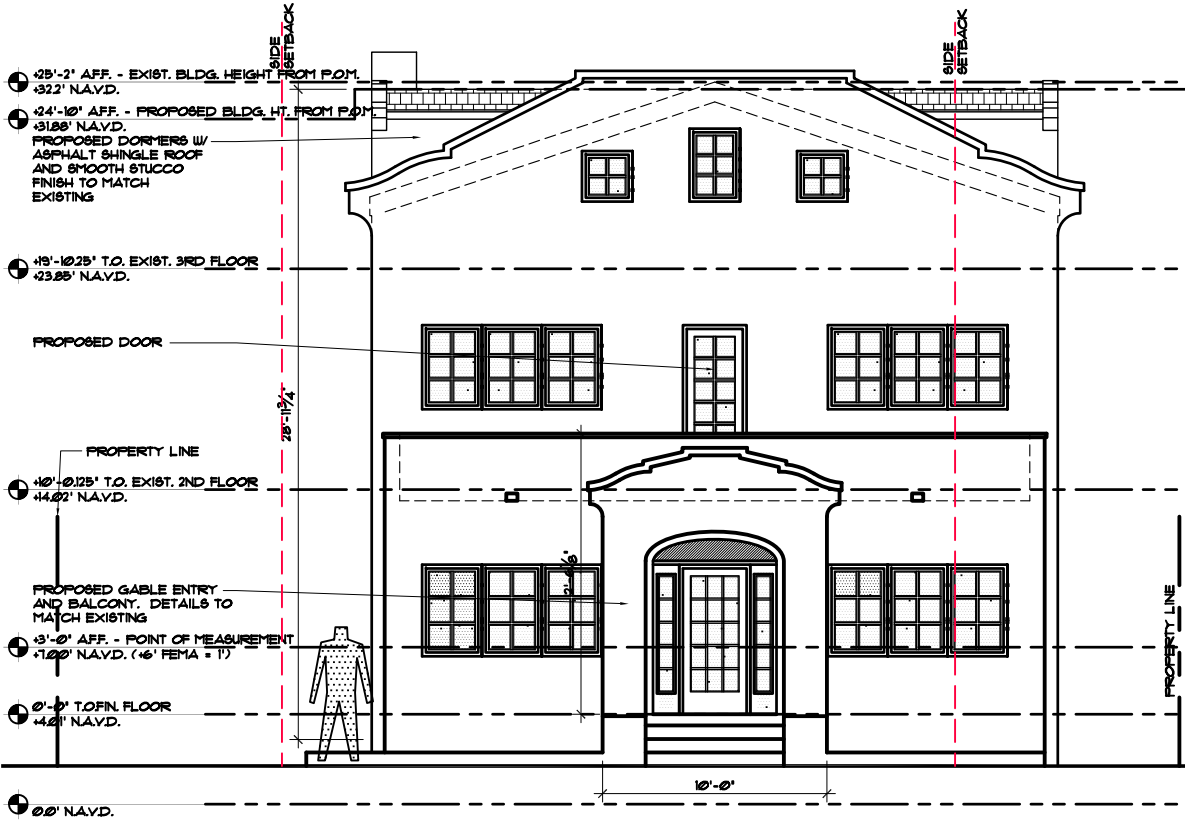
REVISIONS:
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SHEET: 16 OF: -



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS

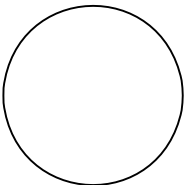


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A REMODEL AND ADDITION TO:
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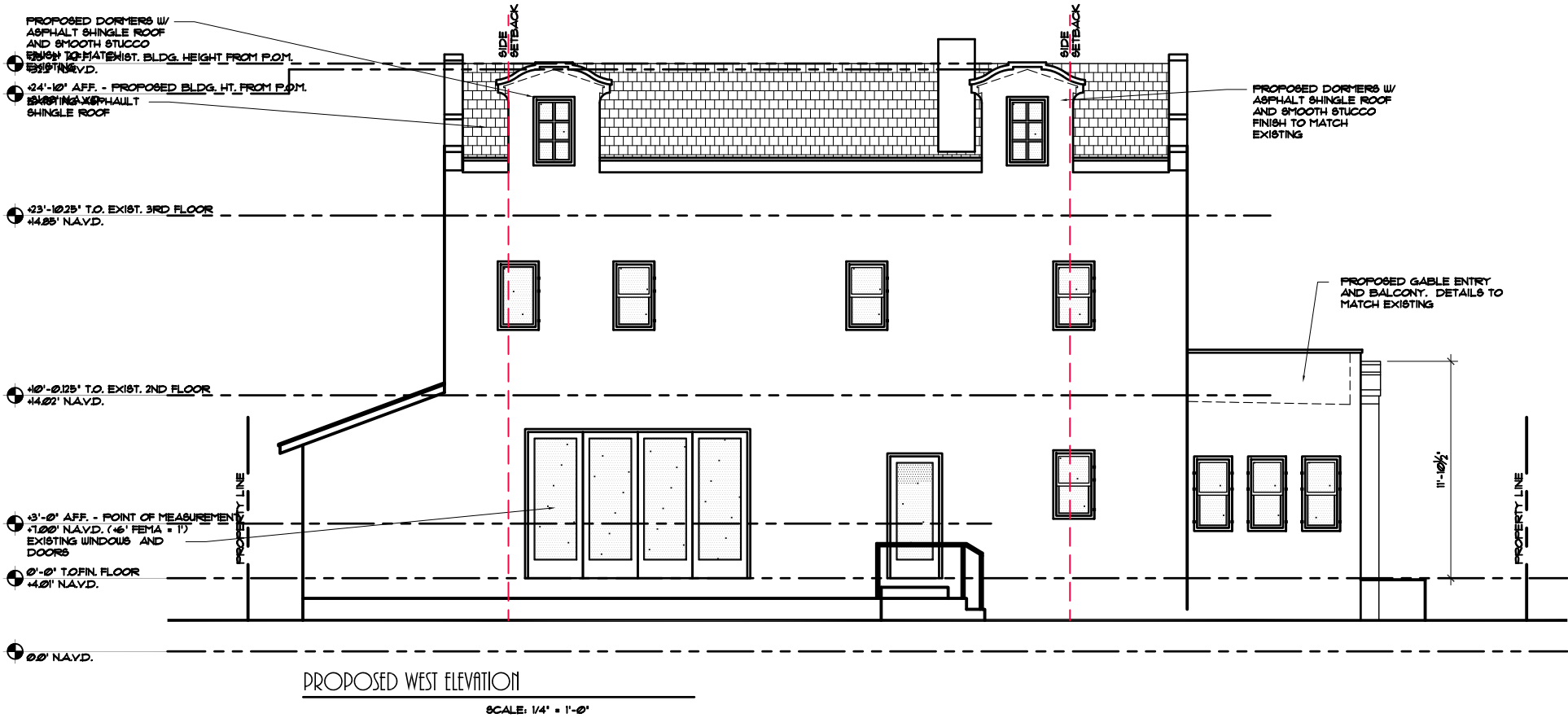
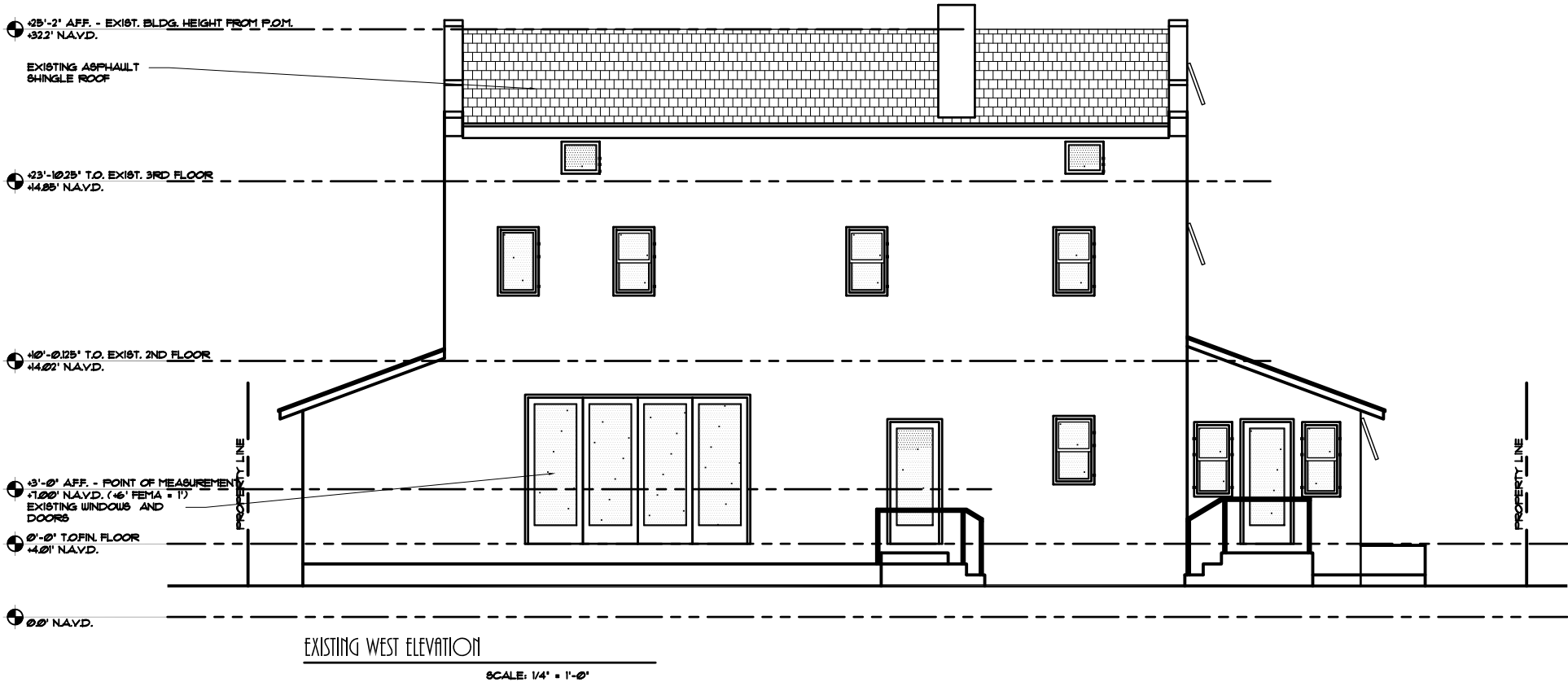
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ELEVATIONS

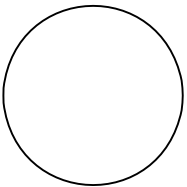


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A REMODEL AND ADDITION TO:
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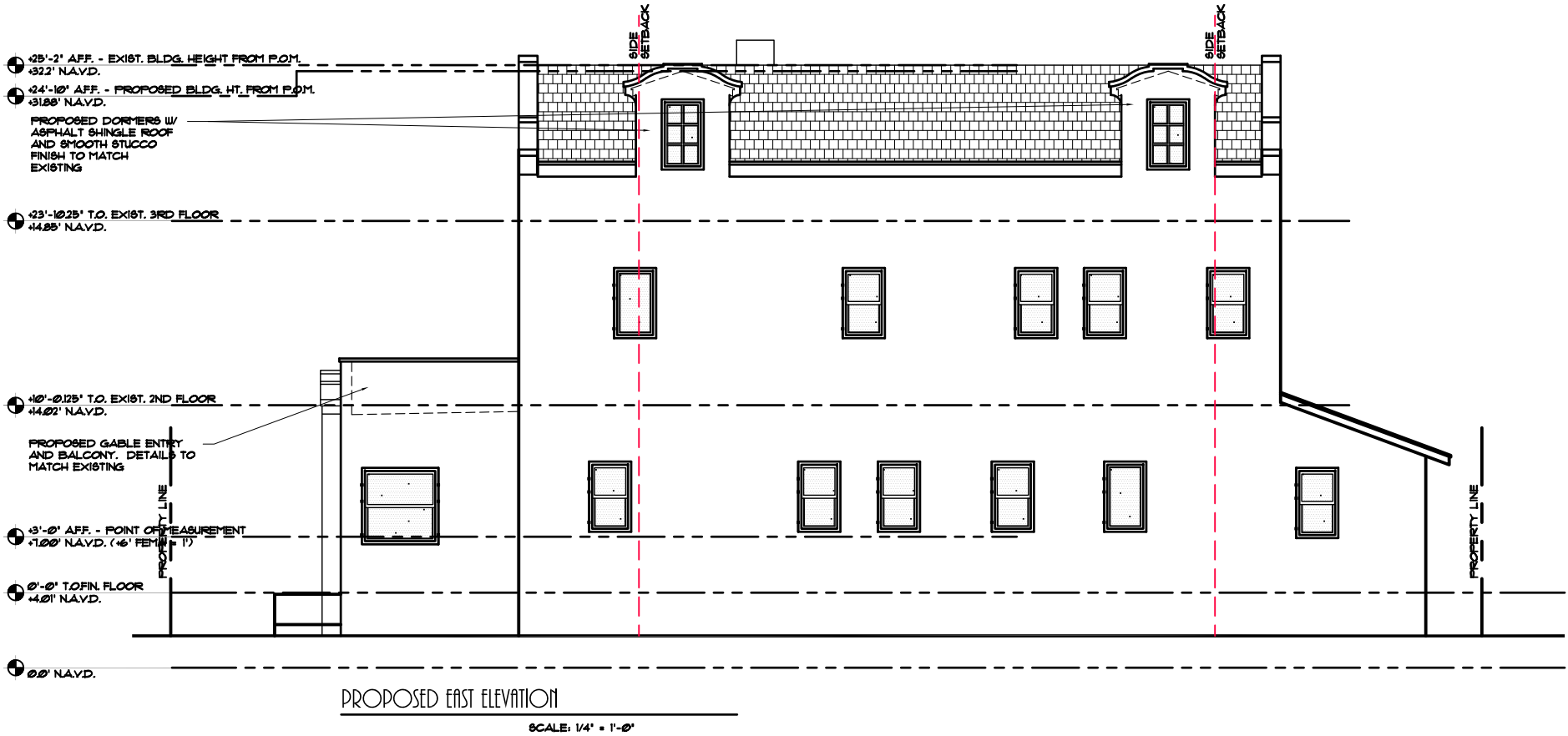
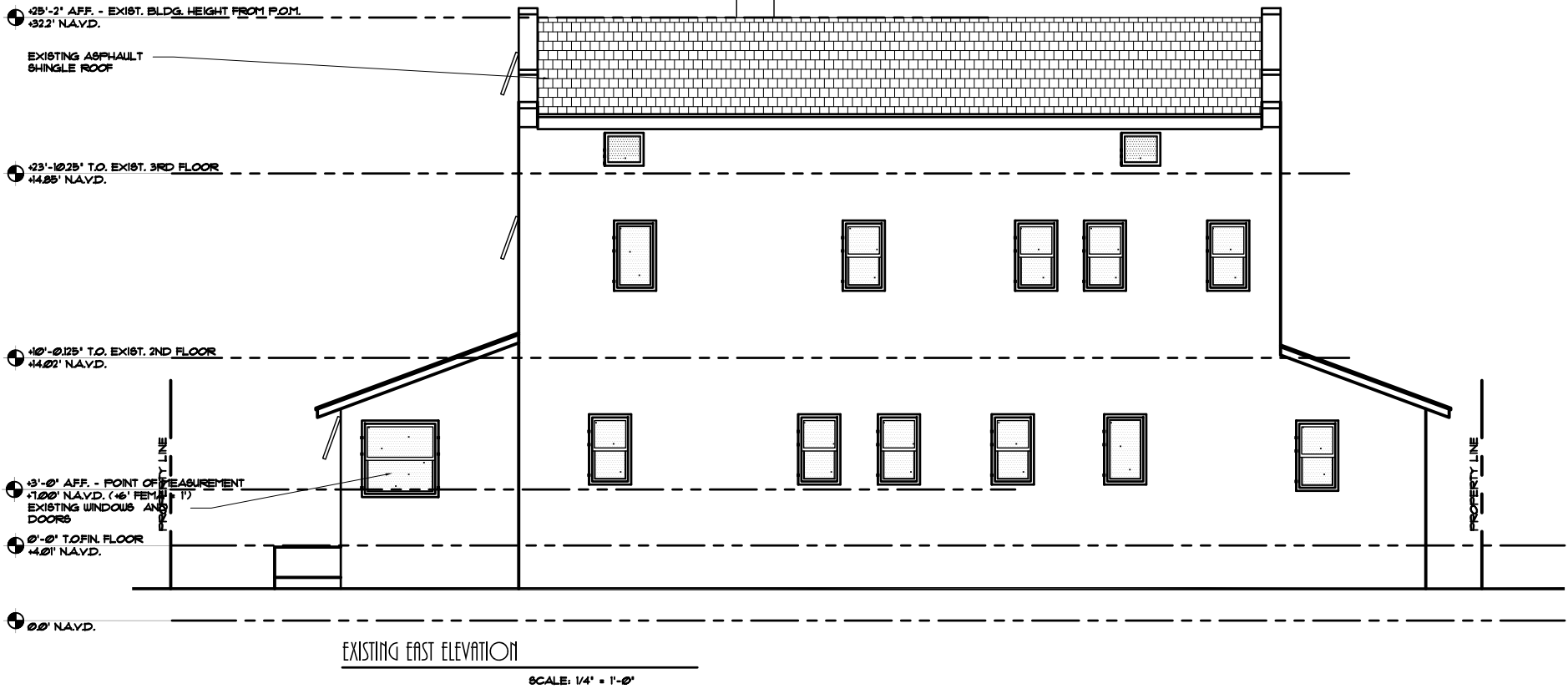
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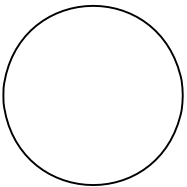
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A REMODEL AND ADDITION TO:
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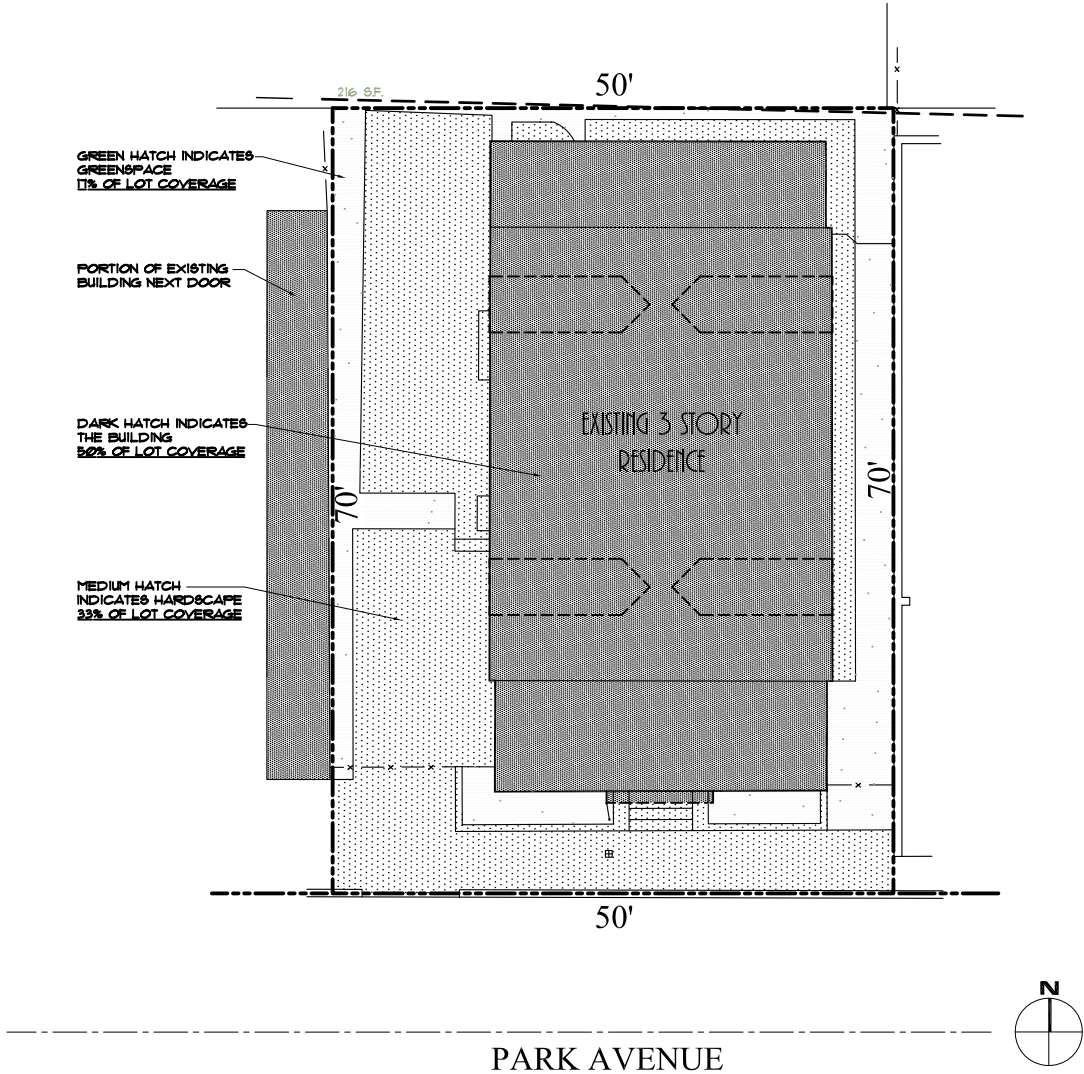
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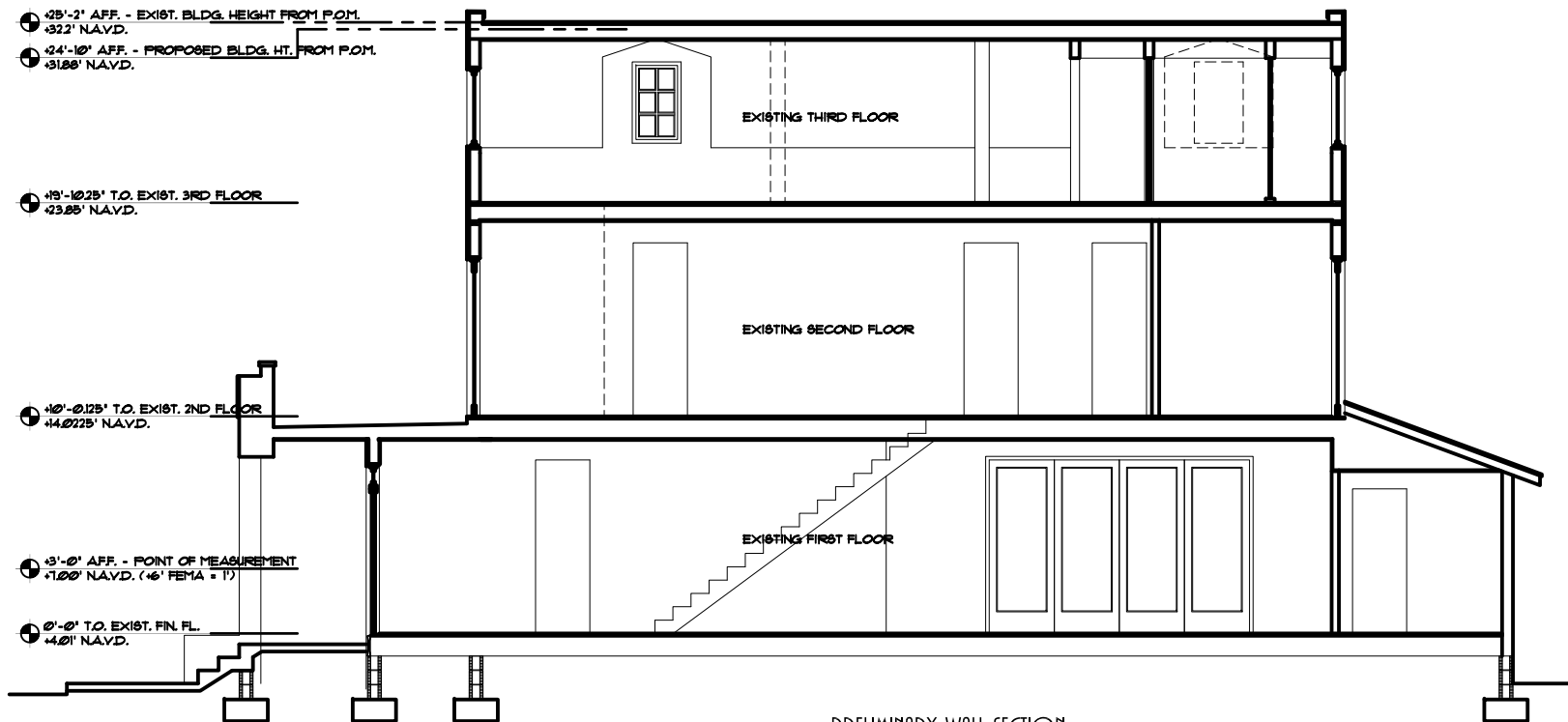
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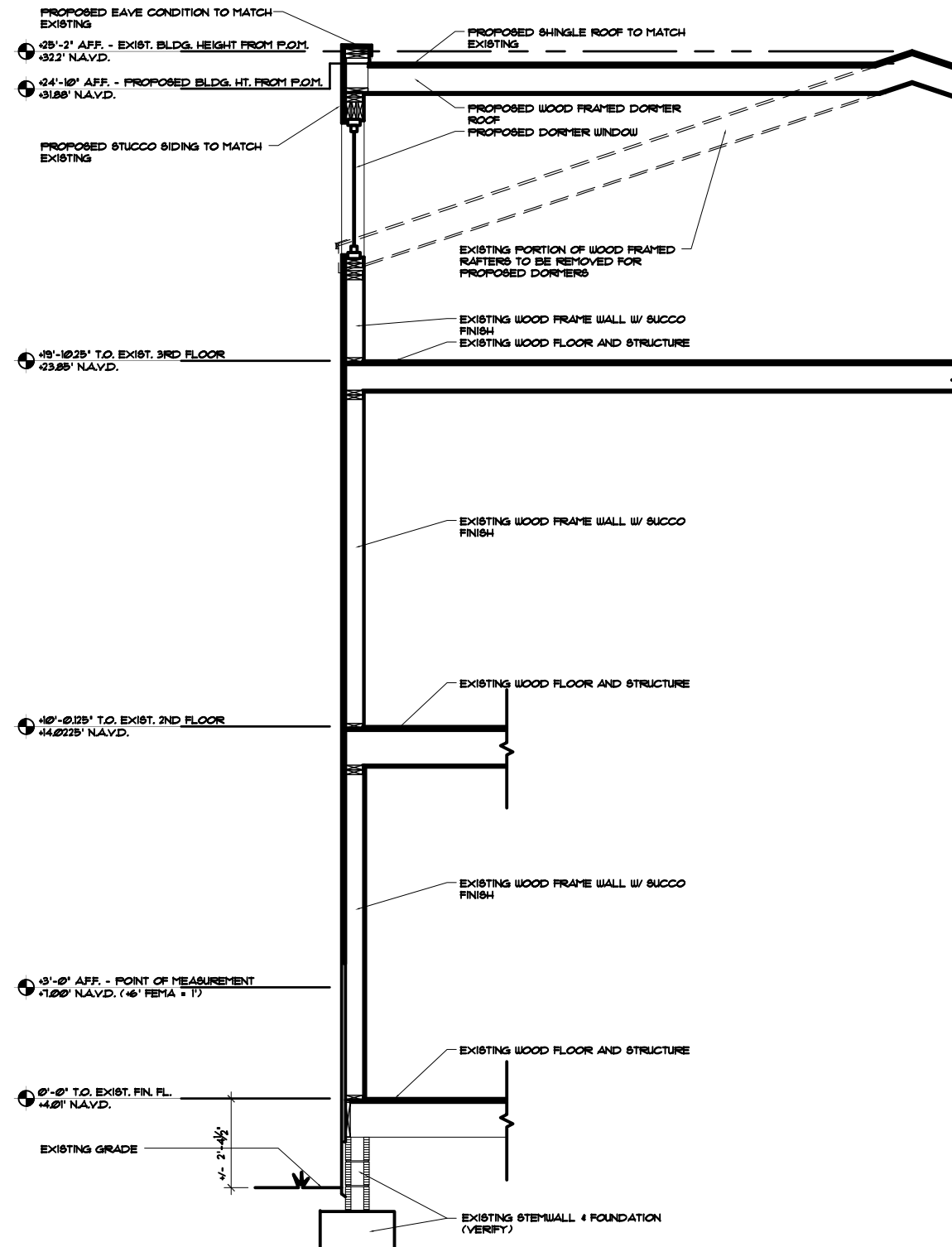
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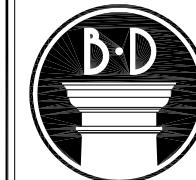
OPEN SPACE DIAGRAM
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2 PRELIMINARY WALL SECTION
SCALE: 1/4" = 1'-0"



1 PRELIMINARY WALL SECTION
SCALE: 1/2" = 1'-0"



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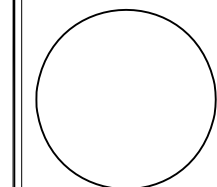
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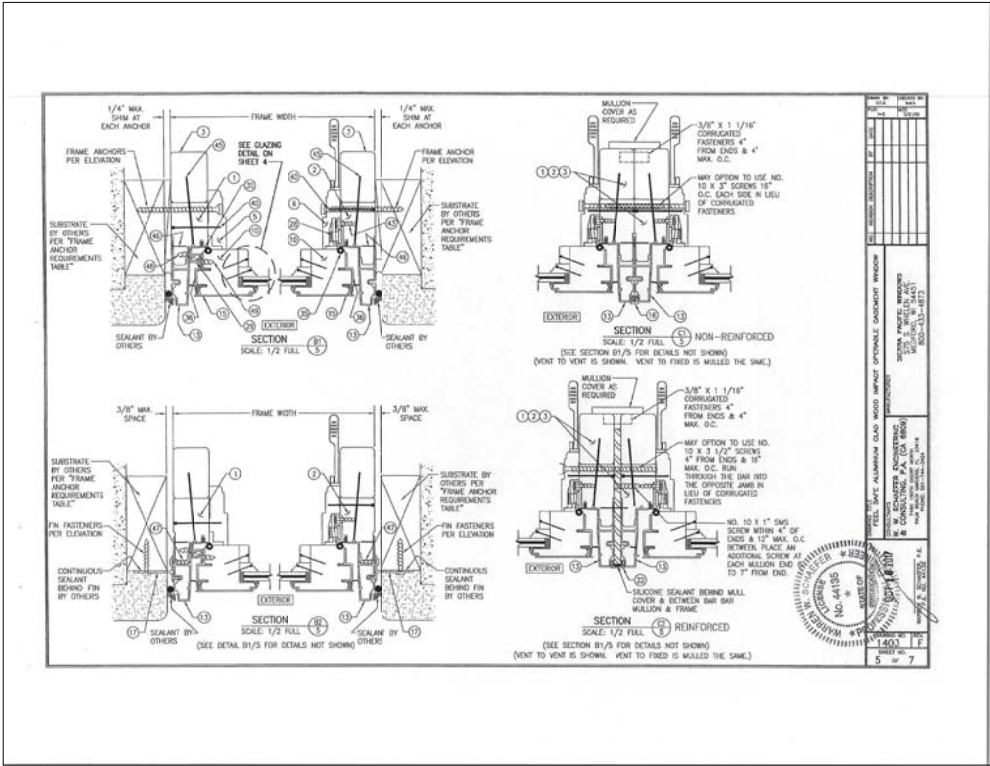
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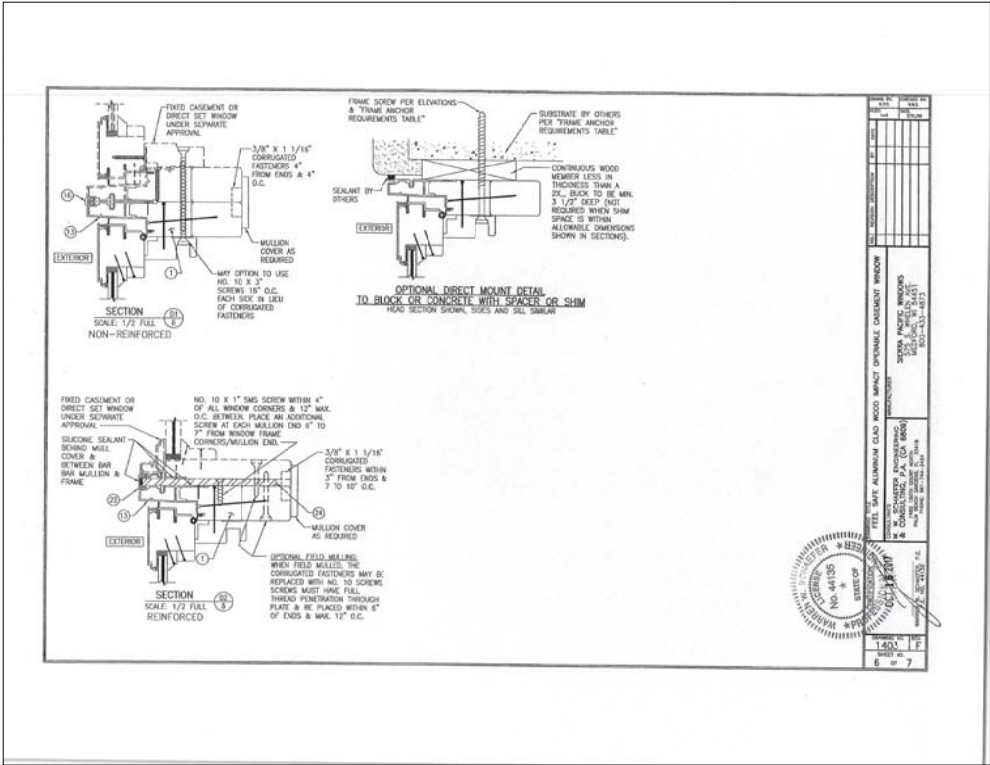
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OF: -

SECTIONS



SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT DETAIL



SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT DETAIL



SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT WINDOW



SIERRA PACIFIC ALUMINUM / WOOD CLAD CASEMENT WINDOW PROFILE

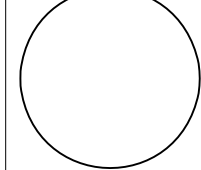


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JOB #:
DATE:
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VARIANCE NARRATIVE

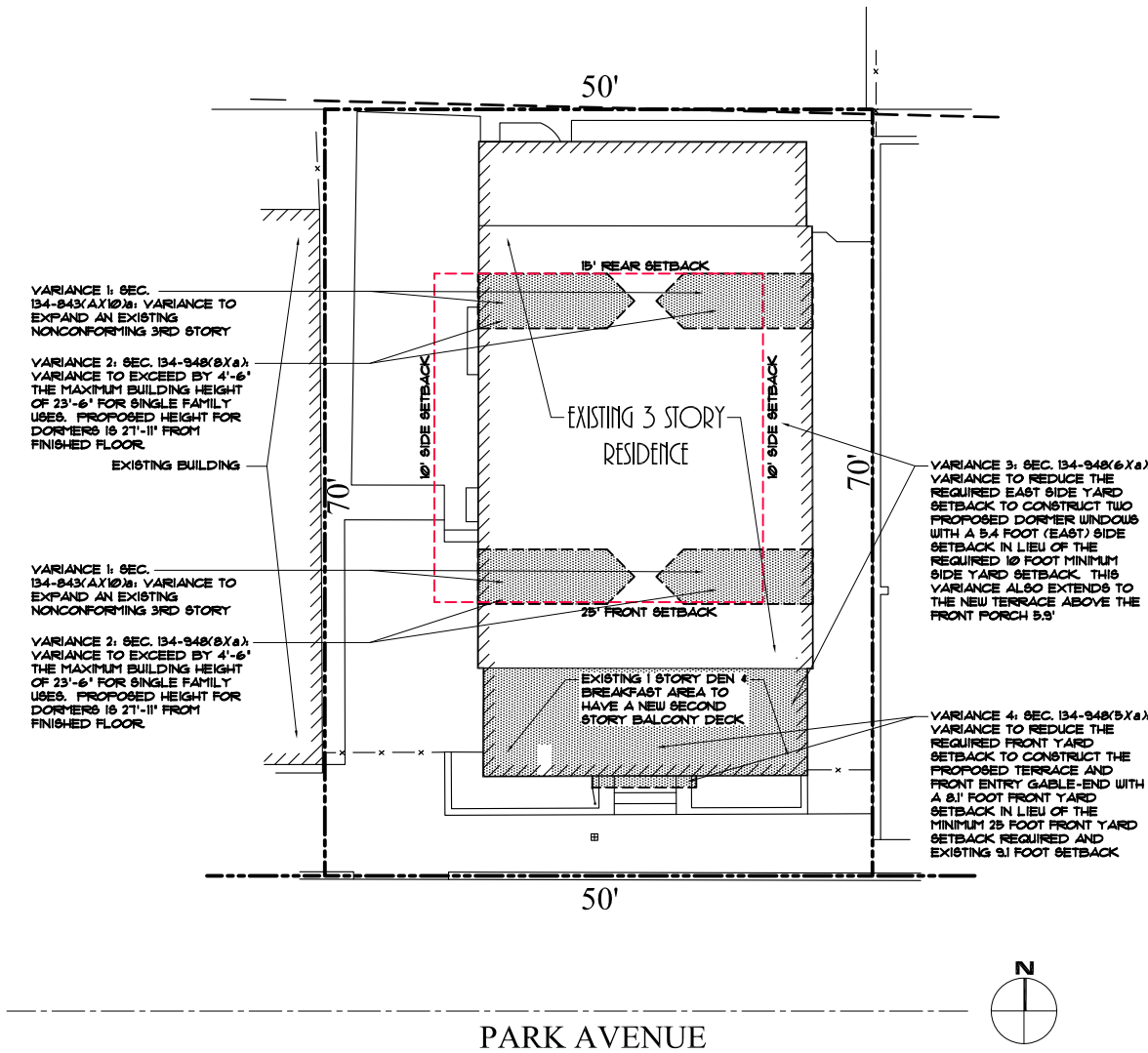
FLOOD PLAIN VARIANCE: SEC. 50-114: A FLOOD PLAIN VARIANCE FOR IMPROVEMENTS/REHABILITATION OF DESIGNATED HISTORICALLY SIGNIFICANT BUILDING DETERMINED ELIGIBLE FOR THE EXCEPTION OF FLOOD RESISTANT CONSTRUCTION REQUIREMENTS OF THE FLORIDA BUILDING CODE, EXISTING BUILDINGS, CHAPTER 12 HISTORIC BUILDINGS, AS THE PROPOSED IMPROVEMENTS WILL NOT PRECLUDE THE BUILDINGS CONTINUED DESIGNATION AS A HISTORICALLY SIGNIFICANT BUILDING TO MAINTAIN A GROUND FLOOR WITH A FINISHED FLOOR OF 4.0' NAVD IN LIEU OF THE 1' NAVD REQUIRED.

VARIANCE 1: SEC. 134-843(A)(10)a: VARIANCE TO EXPAND AN EXISTING NONCONFORMING 3RD STORY

VARIANCE 2: SEC. 134-948(b)(8)a: VARIANCE TO EXCEED BY 4'-6" THE MAXIMUM BUILDING HEIGHT OF 23'-6" FOR SINGLE FAMILY USES. PROPOSED HEIGHT FOR DORMERS IS 21'-11" FROM FINISHED FLOOR

VARIANCE 3: SEC. 134-948(b)(8)a: VARIANCE TO REDUCE THE REQUIRED EAST SIDE YARD SETBACK TO CONSTRUCT TWO PROPOSED DORMER WINDOWS WITH A 5.4 FOOT (EAST) SIDE SETBACK IN LIEU OF THE REQUIRED 10 FOOT MINIMUM SIDE YARD SETBACK. THIS VARIANCE ALSO EXTENDS TO THE NEW TERRACE ABOVE THE FRONT PORCH 5.9'

VARIANCE 4: SEC. 134-948(b)(8)a: VARIANCE TO REDUCE THE REQUIRED FRONT YARD SETBACK TO CONSTRUCT THE PROPOSED TERRACE AND FRONT ENTRY GABLE-END WITH A 8.1' FOOT FRONT YARD SETBACK IN LIEU OF THE MINIMUM 25 FOOT FRONT YARD SETBACK REQUIRED AND EXISTING 9.1 FOOT SETBACK



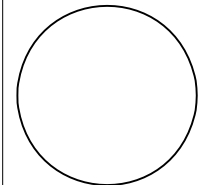
PARK AVENUE



VARIANCE DIAGRAM

SCALE: 1/8" = 1'-0"

SEAL BY:
☒ JEFFREY D. BRASSEUR - RD 0017698
☐ JASON P. DROBOT - RD 94845



JOB #: 22-010
DATE: 10-12-23
DESIGNED BY: JDB
DRAFTED BY: JDB
CHECKED BY: JDB

REVISIONS:

A

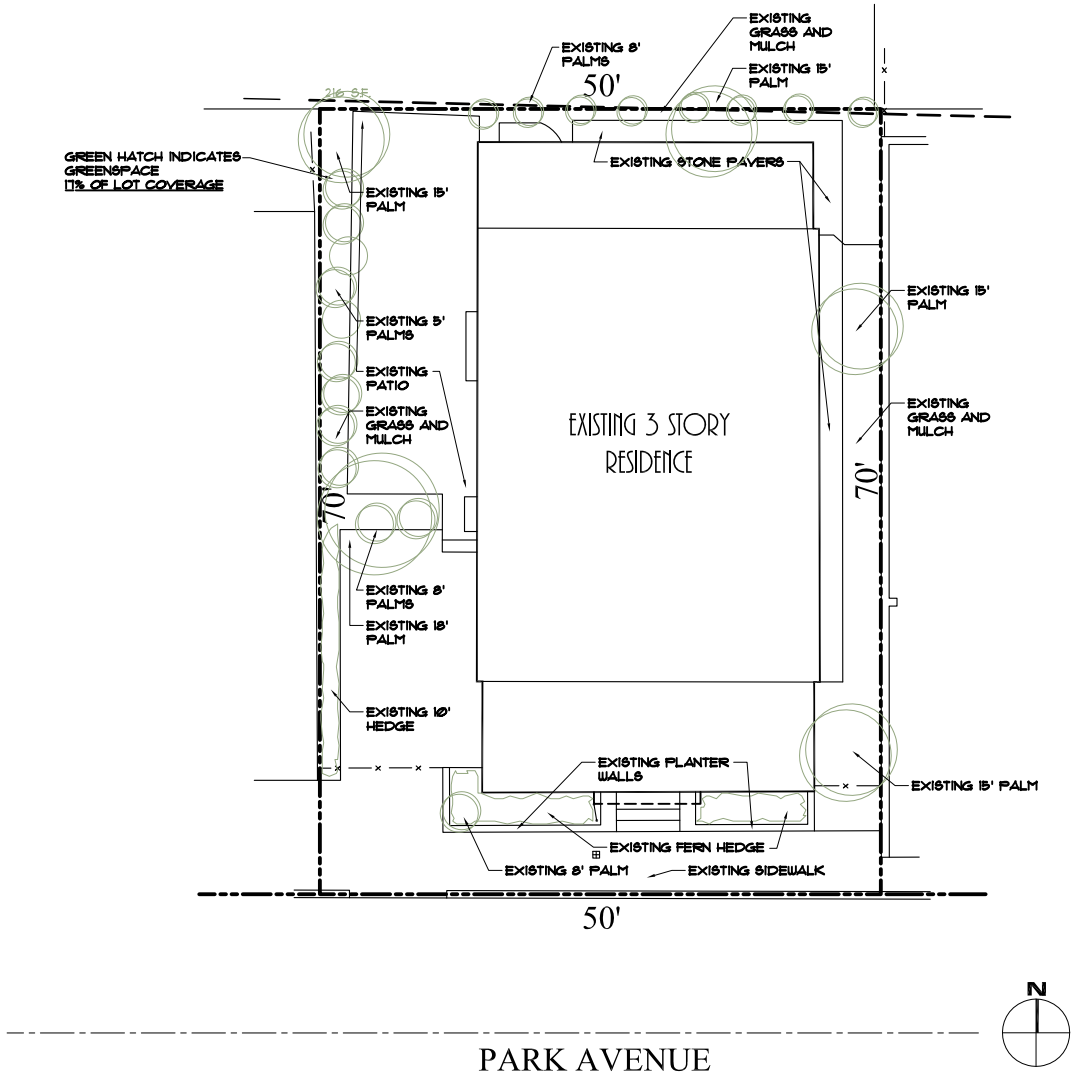


SHEET: 22 OF: -

LANDSCAPE NOTE:

1. THE EXISTING LANDSCAPE IS NOT BEING CHANGED.

2. THE EXISTING LANDSCAPE DOES NOT IN COMPLIANCE WITH SEC. 134-948(1)(a) AND 134-948(1)(a).



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

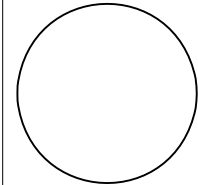
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BR 0017698 BR 94845
TCR20 60164 TCR20 67675
BR 26001461

DROP OFF - HSB-23-009 (ZON-23-111)
A REMODEL AND ADDITION TO:
269 PARK AVENUE

WEST PALM BEACH, FLORIDA

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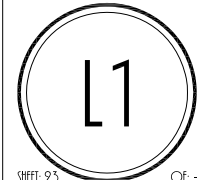
SERIALIZED BY:
☒ JEFFREY D. BRASSEUR - BR 0017698
☐ JASON P. DROBOT - BR 94845



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SHEET: 23 OF: -

