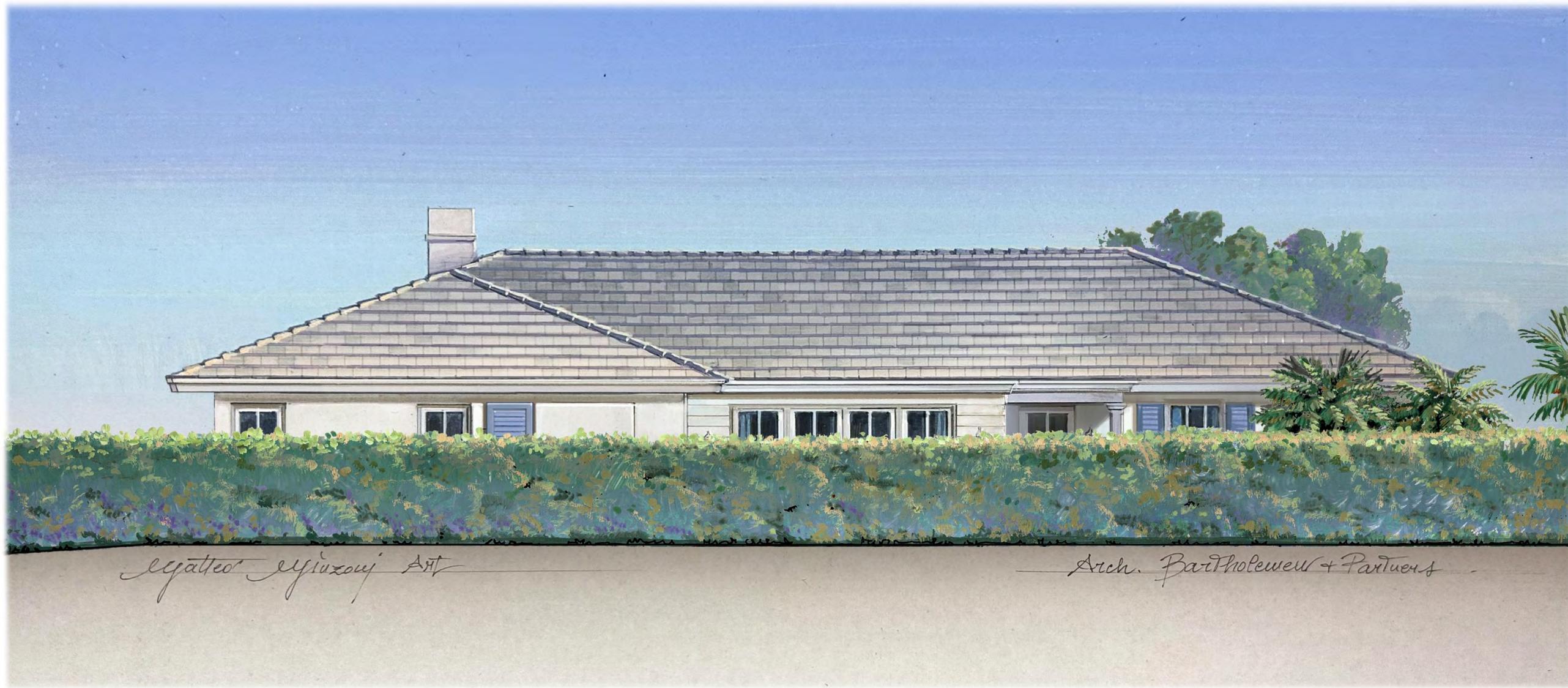


- CONSULTANTS
- ES SOLUTIONS**
STRUCTURAL ENGINEER
ADDRESS: 170 NE 2ND ST, P.O. BOX #1737
BOCA RATON, FL
PHONE: 561-201-0190
E-MAIL: TRENT@ES-ENGINEERS.COM
- ANDERSON CARR CONSTRUCTION**
CONTRACTOR
ADDRESS: 501 S OLIVE AVE.
WEST PALM BEACH, FL 33401
PHONE: 561-833-1961
E-MAIL: BCANTY@ANDERSONCARRCONSTRUCTION.COM
- FAE CONSULTING**
MEP ENGINEERS
ADDRESS: 300 LOCK ROAD SUITE #302
DEERFIELD BEACH, FLORIDA 33442
PHONE: 561-361-8226 EXT. 302
E-MAIL: UAFRATE@FAECONSULTING.COM
- ENVIRONMENT DESIGN GROUP**
LANDSCAPE ARCHITECT
136 N COUNTY ROAD, SUITE 20 B
PALM BEACH, FL 33480
PHONE: 561-832-4600
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



PROPOSED STREETVIEW NORTH ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR09255
INTERIOR DESIGNER # 106422
IA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY DIMENSIONS AND THE MATERIALS OF SERVICE TO THE ARCHITECT'S DESIGN SHALL BE SUBJECT TO THE ARCHITECT'S REVIEW. THE ARCHITECT'S REVIEW SHALL BE LIMITED TO THE ARCHITECT'S DESIGN AND SHALL NOT BE A GUARANTEE OF THE ACCURACY OF THE ARCHITECT'S DESIGN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE ARCHITECT'S DESIGN OR THE MATERIALS OF SERVICE TO THE ARCHITECT'S DESIGN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE ARCHITECT'S DESIGN OR THE MATERIALS OF SERVICE TO THE ARCHITECT'S DESIGN.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.1.4

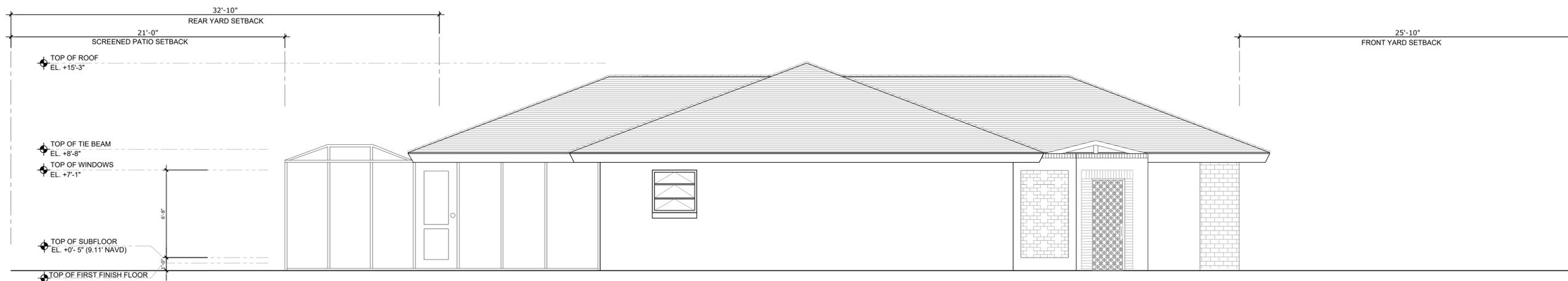
CONSULTANTS

ES SOLUTIONS
STRUCTURAL ENGINEER
ADDRESS: 170 NE 2ND ST, P.O. BOX #1737
BOCA RATON, FL
PHONE: 561-201-0195
E-MAIL: TRENT@ES-ENGINEERS.COM

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CONTRACTOR
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PHONE: 561-833-1961
E-MAIL: BCANTY@ANDERSONCARRCONSTRUCTION.COM

F&E CONSULTING
MEP ENGINEERS
ADDRESS: 300 LOCK ROAD SUITE #302
DEERFIELD BEACH, FLORIDA 33442
PHONE: 561-361-5200 EXT. 302
E-MAIL: UAFRATE@FAECONSULTING.COM

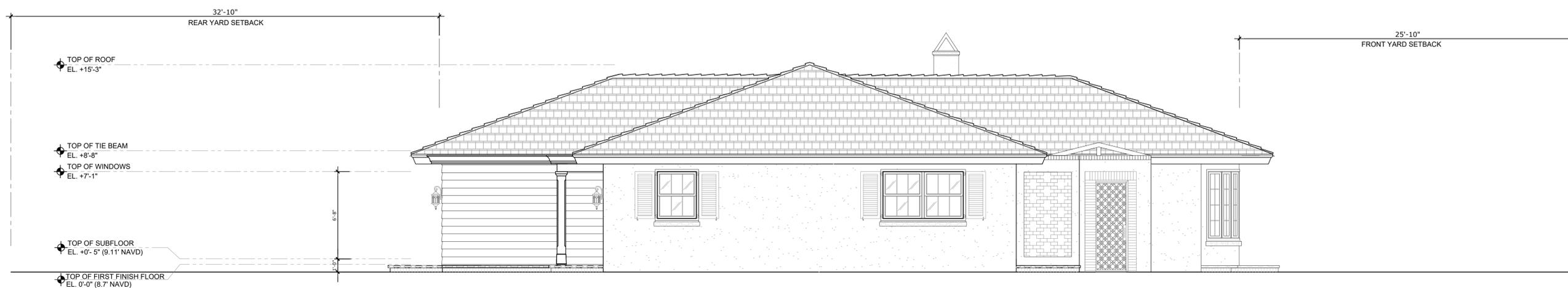
ENVIRONMENT DESIGN GROUP
LANDSCAPE ARCHITECT
138 N COUNTY ROAD, SUITE 20 B
PALM BEACH, FL 33480
PHONE: 561-832-4600
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'

KYLE B FANT ARCHITECT # A99255
INTERIOR DESIGNER # ID6422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR AND ARCHITECT ARE THE SOLE PROVIDERS OF SERVICE TO THE CLIENT AND WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES AND FOR THE PROTECTION OF PUBLIC SAFETY AND WELFARE. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF BARTHOLEMEW + PARTNERS.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

EXISTING & PROPOSED
ELEVATIONS

SHEET NUMBER

A2.2.0

CONSULTANTS

ES SOLUTIONS
STRUCTURAL ENGINEER
ADDRESS: 170 NE 2ND ST, P.O. BOX #1737
BOCA RATON, FL
PHONE: 561-201-0190
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ANDERSON CARR CONSTRUCTION
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PHONE: 561-832-1961
E-MAIL: BCANTY@ANDERSONCARRCONSTRUCTION.COM

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MEP ENGINEERS
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PHONE: 561-361-6200 EXT. 302
E-MAIL: UAFRATE@FACCONSULTING.COM

ENVIRONMENT DESIGN GROUP
LANDSCAPE ARCHITECT
136 N COUNTY ROAD, SUITE 20 B
PALM BEACH, FL 33480
PHONE: 561-832-4600
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



PROPOSED COLOR WEST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY DIMENSIONS AND THE ACCURACY OF SERVICE TO THE ARCHITECT'S AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES RESULTING FROM THE ARCHITECT'S NEGLIGENCE OR FROM THE ARCHITECT'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES RESULTING FROM THE ARCHITECT'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COST INCREASES RESULTING FROM THE ARCHITECT'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.2.1



PROPOSED COLOR WEST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT AND FOR THE PROTECTION OF THE ARCHITECT'S WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT BY THE CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT BY THE CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT BY THE CONTRACTOR.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.2.2



PROPOSED LANDSCAPE WEST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # 106422
IAA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO OBTAIN SUCH PERMITS AND APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO OBTAIN SUCH PERMITS AND APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO OBTAIN SUCH PERMITS AND APPROVALS.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.2.3

- CONSULTANTS
- ES SOLUTIONS**
STRUCTURAL ENGINEER
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BOCA RATON, FL
PHONE: 561-201-0190
E-MAIL: TRENT@ES-ENGINEERS.COM
- ANDERSON CARR CONSTRUCTION**
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ADDRESS: 501 S. OLIVE AVE.
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- FAE CONSULTING**
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PHONE: 561-832-4800
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



Illustrated by V. Antico

Arch. Bartholemew + Partners

PROPOSED STREETVIEW WEST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR09255
INTERIOR DESIGNER # 106422
AIA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ALL OTHER AGENCIES AND AUTHORITIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE PREPARATION OF THE ARCHITECTURAL DRAWINGS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR OMISSIONS IN THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OR PERSONS OF ANY KIND. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY THE CLIENT IN CONNECTION WITH THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY LEGAL OR TAX CONSEQUENCES OF ANY KIND. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTERS NOT EXPRESSLY PROVIDED FOR IN THIS AGREEMENT.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.2.4

CONSULTANTS

ES SOLUTIONS
STRUCTURAL ENGINEER
ADDRESS: 170 NE 2ND ST, P.O. BOX #1737
BOCA RATON, FL
PHONE: 561 201 0190
E-MAIL: TRENT@ES-ENGINEERS.COM

ANDERSON CARR CONSTRUCTION
CONTRACTOR
ADDRESS: 501 S OLIVE AVE.
WEST PALM BEACH, FL 33401
PHONE: 561 833 1961
E-MAIL: BCANTING@ANDERSONCARRCONSTRUCTION.COM

FAE CONSULTING
MEP ENGINEERS
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PHONE: 561 361 9020 EXT. 302
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ENVIRONMENT DESIGN GROUP
LANDSCAPE ARCHITECT
136 N COUNTY ROAD, SUITE 20 B
PALM BEACH, FL 33480
PHONE: 561 832 4800
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # A999255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE MATERIALS OF SERVICE TO THE ARCHITECT'S AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PALM BEACH AND THE COUNTY OF PALM BEACH, FLORIDA. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR THE PERFORMANCE OF THE BUILDING'S SYSTEMS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE MATERIALS OF SERVICE TO THE ARCHITECT'S AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PALM BEACH AND THE COUNTY OF PALM BEACH, FLORIDA. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING OR THE PERFORMANCE OF THE BUILDING'S SYSTEMS.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

EXISTING & PROPOSED
ELEVATIONS

SHEET NUMBER

A2.3.0

CONSULTANTS

ES SOLUTIONS
STRUCTURAL ENGINEER
ADDRESS: 170 NE 2ND ST, P.O. BOX #1737
BOCA RATON, FL
PHONE: 561 201-0190
E-MAIL: TREAT@ES-ENGINEERS.COM

ANDERSON CARR CONSTRUCTION
CONTRACTOR
ADDRESS: 501 S OLIVE AVE.
WEST PALM BEACH, FL 33401
PHONE: 561 833-1861
E-MAIL: JCANTING@ANDERSONCARRCONSTRUCTION.COM

FAE CONSULTING
MEP ENGINEERS
ADDRESS: 300 LOCK ROAD SUITE #302
DEERFIELD BEACH, FLORIDA 33442
PHONE: 561 361-9228 EXT. 302
E-MAIL: UAFRATE@FAECONSULTING.COM

ENVIRONMENT DESIGN GROUP
LANDSCAPE ARCHITECT
136 N COUNTY ROAD, SUITE 20-B
PALM BEACH, FL 33480
PHONE: 561 832-4800
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



PROPOSED COLOR EAST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR09255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE MATERIALS OF SERVICE TO THE ARCHITECT'S AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE CONTRACTOR. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE CONTRACTOR'S WORK OR FOR ANY DELAYS OR COST INCREASES RESULTING FROM THE CONTRACTOR'S NEGLIGENCE OR FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BARTHOLEMEW + PARTNERS.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.3.2



PROPOSED LANDSCAPE EAST ELEVATION
SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR09255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE MATERIALS OF SERVICE TO THE ARCHITECT'S AND SHALL REPORT TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCY OR OMISSION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND MATERIALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND MATERIALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND MATERIALS.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.3.3

CONSULTANTS

ES SOLUTIONS
STRUCTURAL ENGINEER
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BOCA RATON, FL
PHONE: 561-201-0190
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ANDERSON CARR CONSTRUCTION
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PHONE: 561-361-8200 EXT. 302
E-MAIL: UAFRATE@FAECONSULTING.COM

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LANDSCAPE ARCHITECT
136 N COUNTY ROAD, SUITE 20-B
PALM BEACH, FL 33480
PHONE: 561-832-4800
E-MAIL: DUSTYN@ENVIRONMENTDESIGNGROUP.COM



PROPOSED STREETVIEW EAST ELEVATION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # 106422
AIA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE ACCURACY OF SERVICE TO THE PROPERTY AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OBTAINING SUCH PERMITS AND APPROVALS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR ANY OTHER PARTY.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

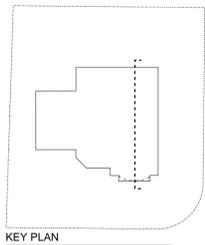
2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.3.4



Bartholemew + Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PLAZA CENTER
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PALM BEACH, FLORIDA 33480
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BARTHOLEMWPARTNERS.COM

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PHONE: 561-201-0190
E-MAIL: TRENTERS-ENGINEERS.COM

ANDERSON CARR CONSTRUCTION
CONTRACTOR
ADDRESS: 501 S. OLIVE AVE.
WEST PALM BEACH, FL 33401
PHONE: 561-833-1861
E-MAIL: BCANTING@ANDERSONCARRCONSTRUCTION.COM

FAE CONSULTING
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136 N COUNTY ROAD, SUITE 20-B
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PHONE: 561-832-4800
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NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # ID6422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR: The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for coordinating with the architect and other consultants to ensure that the construction process is completed in accordance with the contract documents. The contractor shall be responsible for providing the architect with a copy of the construction schedule and for updating the architect as the construction progresses. The contractor shall be responsible for maintaining the site in a safe and secure condition at all times. The contractor shall be responsible for obtaining all necessary insurance and bonding. The contractor shall be responsible for providing the architect with a copy of the construction schedule and for updating the architect as the construction progresses. The contractor shall be responsible for maintaining the site in a safe and secure condition at all times. The contractor shall be responsible for obtaining all necessary insurance and bonding.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

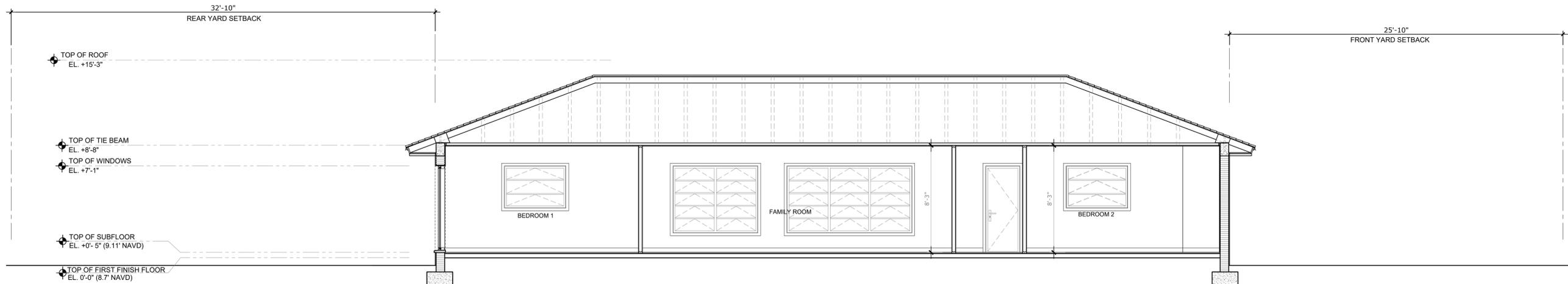
2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

MATERIALS & FINISHES

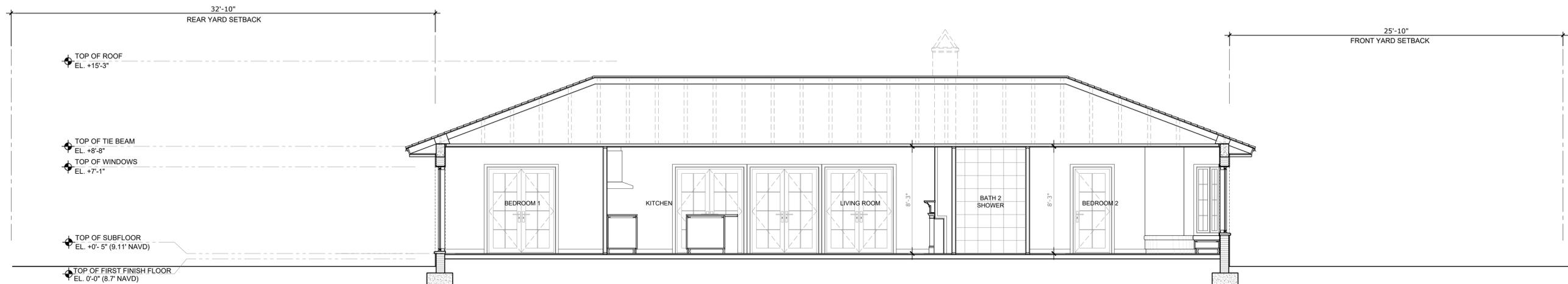
SHEET NUMBER

A3.0



EXISTING SECTION

SCALE: 1/4" = 1'



PROPOSED SECTION

SCALE: 1/4" = 1'

ARC-23-140
ZON-23-118

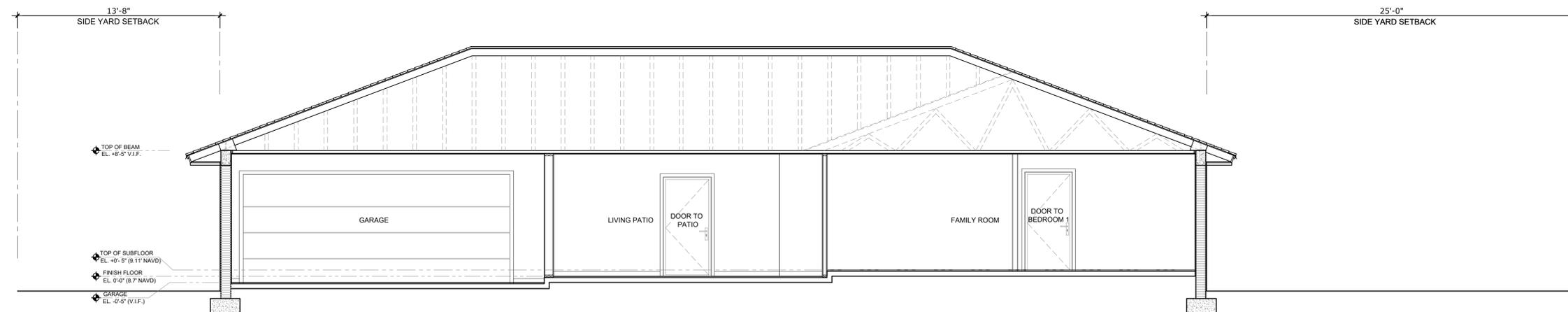
CONSULTANTS

ES SOLUTIONS
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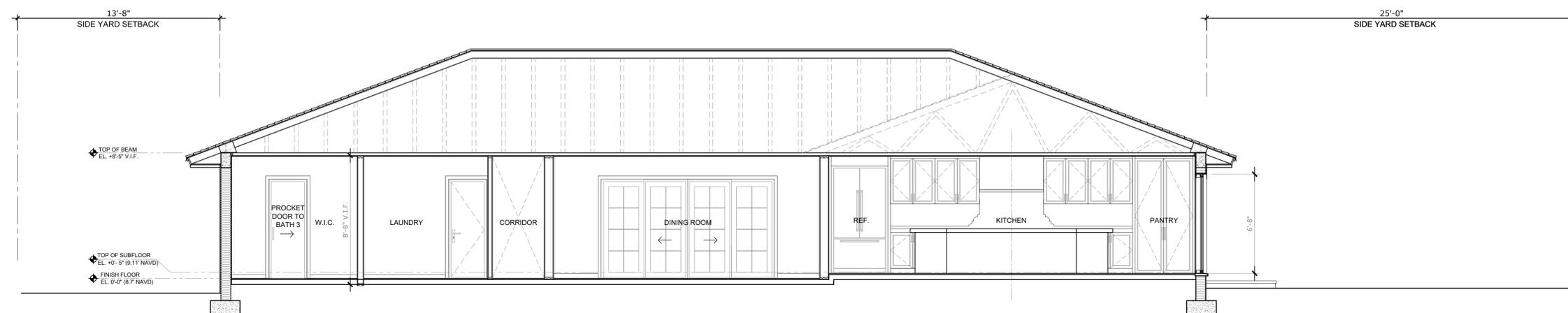
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PHONE: 561 832 4600
EMAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM



EXISTING SECTION

SCALE: 1/4" = 1'



PROPOSED SECTION

SCALE: 1/4" = 1'

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # A999255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND THE MATERIALS OF SERVICE TO THE ARCHITECT'S AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE PERFORMANCE OF ANY OTHER WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE PERFORMANCE OF ANY OTHER WORK.

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

MATERIALS & FINISHES

SHEET NUMBER

A3.1

Bartholemew + Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PLAZA CENTER
2516 ROYAL PALM WAY, PENTHOUSE 600A
PALM BEACH, FLORIDA 33480
T: 561 461 0108
F: 561 461 0106
FL LIC. # A020003843
BARTHOLEMEWPARTNERS.COM

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COMPANY NAME
ADDRESS
PHONE
E-MAIL

NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # A099255
INTERIOR DESIGNER # 106422
AIA # 30425933 NCARB # 87929

Revisions:

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Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

PROPOSED RENDERINGS

SHEET NUMBER

A4.0



EXISTING FRONT RENDERING



PROPOSED FRONT RENDERING

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ARCHITECTURE AND DESIGN
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Project no: 23.03.121
Date: 08.01.23
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PALM BEACH, FL 33480**

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

PROPOSED RENDERINGS

SHEET NUMBER

A4.1



EXISTING BACK RENDERING



PROPOSED BACK RENDERING

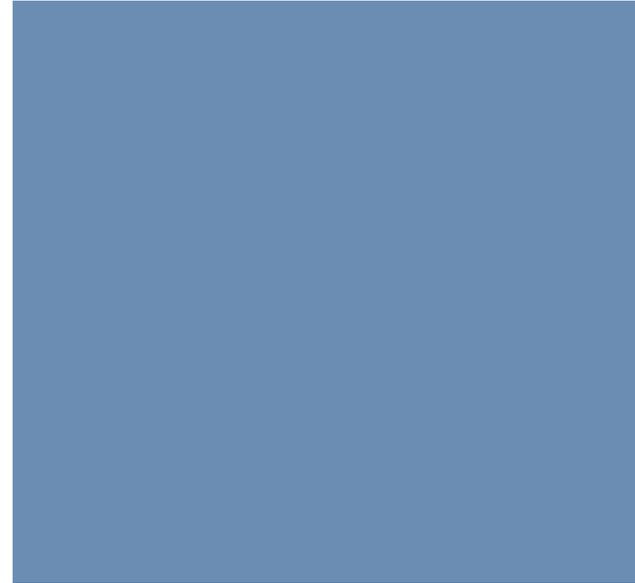
ARC-23-140
ZON-23-118



BENJAMIN MOORE WHITE DOVE OC-17 TO BE USED ON THE HOUSE AND FOR THE EXISTING BRICK PATTERN



WINDOW SHUTTERS PAINTED WITH BENJAMIN MOORE MARINER'S TALE CC-876



BENJAMIN MOORE MARINER'S TALE CC-876 TO BE USED ON THE WINDOW SHUTTERS THROUGHOUT



CASA MARSEILLE™ 19" HIGH BRONZE OUTDOOR WALL LIGHT



SIERRA PACIFIC IMPACT RATED WINDOWS. ALUMINUM EXTERIOR AND WOOD INTERIOR IN WHITE TO MATCH HOUSE.



SIERRA PACIFIC IMPACT RATED DOORS. ALUMINUM EXTERIOR AND WOOD INTERIOR IN WHITE TO MATCH HOUSE.



WHITE FLAT "TERRA COTTA" ROOF TILE



SIERRA PACIFIC VERONA HANDLE SET "OIL RUBBED FOREVER BRONZE"

Bartholemew + Partners

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THE PLAZA CENTER
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PALM BEACH, FLORIDA 33480
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F: 561 461 0106
FL LIC. # A420003843
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CONSULTANTS

ES SOLUTIONS
STRUCTURAL ENGINEER
ADDRESS: 170 NE 2ND ST, P.O. BOX #1737
BOCA RATON, FL
PHONE: 561 201 0190
E-MAIL: TRENT@ES-ENGINEERS.COM

ANDERSON CARR CONSTRUCTION
CONTRACTOR
ADDRESS: 501 S OLIVE AVE.
WEST PALM BEACH, FL 33401
PHONE: 561 833 1961
E-MAIL: BCANTY@ANDERSONCARRCONSTRUCTION.COM

FAE CONSULTING
MEP ENGINEERS
ADDRESS: 300 LOCK ROAD SUITE #302
DEERFIELD BEACH, FLORIDA 33442
PHONE: 561 361 5020 EXT. 302
E-MAIL: UAFRATE@FAECONSULTING.COM

ENVIRONMENT DESIGN GROUP
LANDSCAPE ARCHITECT
138 N COUNTY ROAD, SUITE 20 B
PALM BEACH, FL 33480
PHONE: 561 832 4600
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM

KYLE B FANT ARCHITECT # A99255
INTERIOR DESIGNER # 106422
AA # 30425933 NCARB # 87929

Revisions:

CONTRACTOR SHALL VERIFY ALL MATERIALS AND FINISHES TO BE USED IN THE PROJECT AND SHALL REPORT TO THE ARCHITECT IMMEDIATELY UPON IDENTIFICATION OF ANY DISCREPANCIES. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY UPON IDENTIFICATION OF ANY DISCREPANCIES. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY UPON IDENTIFICATION OF ANY DISCREPANCIES.

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Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

**2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480**

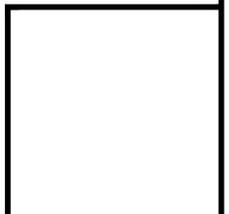
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PALM BEACH, FL 33480

SHEET NAME

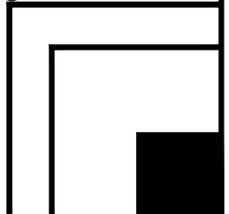
MATERIALS & FINISHES

SHEET NUMBER

A5.0



JOB NUMBER: # 23099.00 LA
 DRAWN BY: Lauren Freeman
 DATE: 09.07.2023
 09.25.2023



Existing South Buffer



Existing East Buffer



Existing West Buffer



Existing North Buffer

ARC-23-140
 ZON-23-118

Existing Site Photos

2023
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 OF FLORIDA, INC.

PHOENIX ROEBELENI
SINGLE PYGMY DATE PALMS - 8' C.T.
TO REMAIN

DYPsis LUTESCENS
ARECA PALM - 14-16' HT.
TO REMAIN

ADONIDIA MERRILLI
SINGLE ADONIDIA PALM - 10' C.T.
TO REMAIN

IXORA SPP
IXORA HEDGE - 2' HT.
TO REMAIN

NEIGHBORING FICUS NITIDA
FICUS HEDGE - 10' HT.

EXISTING A/C
TO BE REMOVED

EXISTING WALLS & GATE
TO REMAIN

DYPsis LUTESCENS
ARECA PALM - 20'-25' HT.
TO BE REMOVED

BOUGAINVILLEA SPP
BOUGAINVILLEA VINES - ON WALL, 10' HT.
TO REMAIN

NEIGHBORING FICUS NITIDA
FICUS HEDGE - 4' HT.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

PHOENIX ROEBELENI
SINGLE PYGMY DATE PALM - 5' C.T.
TO REMAIN

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER
TO BE REMOVED

PHOENIX ROEBELENI
TRIPLE PYGMY DATE PALM - 5'-8' C.T.
TO BE REMOVED

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER
TO BE REMOVED

DRACAENA ARBOREA
DRACAENA - 10' HT.
TO BE REMOVED

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 3' HT.
TO BE REMOVED

EXISTING STEPPING STONES
TO REMAIN

EXISTING CONSTRUCTION SCREENING
FENCE

EXISTING RAISED BRICK PLANTER
TO BE MODIFIED

FICUS NITIDA
FICUS HEDGE - 8' HT.
TO BE REMOVED

PHOENIX ROEBELENI
DOUBLE PYGMY DATE PALM - 6'-8' C.T.
TO BE REMOVED

FICUS NITIDA
FICUS HEDGE - 3' HT.
TO BE REMOVED

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 3' HT.
TO BE REMOVED

EXISTING RAISED BRICK PLANTER
TO BE MODIFIED

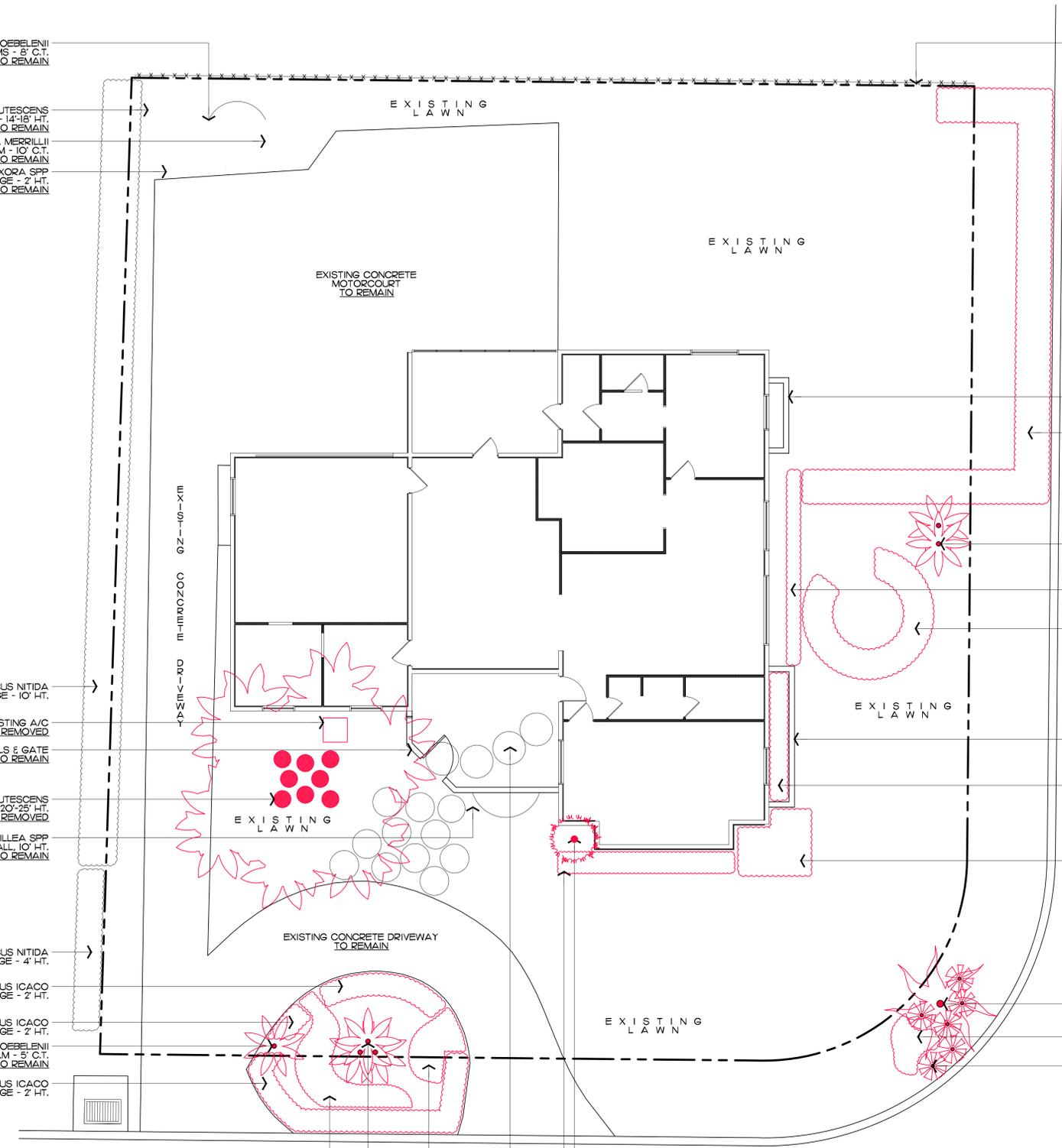
IXORA SPP
30' HT.
TO BE REMOVED

MURRAYA PANICULATA
ORANGE JASMINE - 6' HT.
TO BE REMOVED

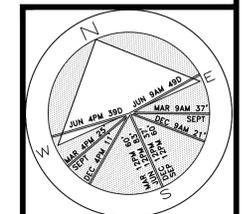
ROYSTONEA REGGIA
ROYAL PALM - 10' C.T.
TO BE REMOVED

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER
TO BE REMOVED

FLURORAEA FOETIDA
FALSE AGAVE - 2' X 2'
TO BE REMOVED



Private Residence
 2278 Ibis Isle Road
 Palm Beach
 F L O R I D A



JOB NUMBER: # xxxxx.00 LA
 DRAWN BY: Lauren Freeman

DATE: 09.07.2023
 09.25.2023

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Demolition and Vegetation Action Plan

ARC-23-140
 ZON-23-118

SCALE IN FEET 0' 8' 16' 24'

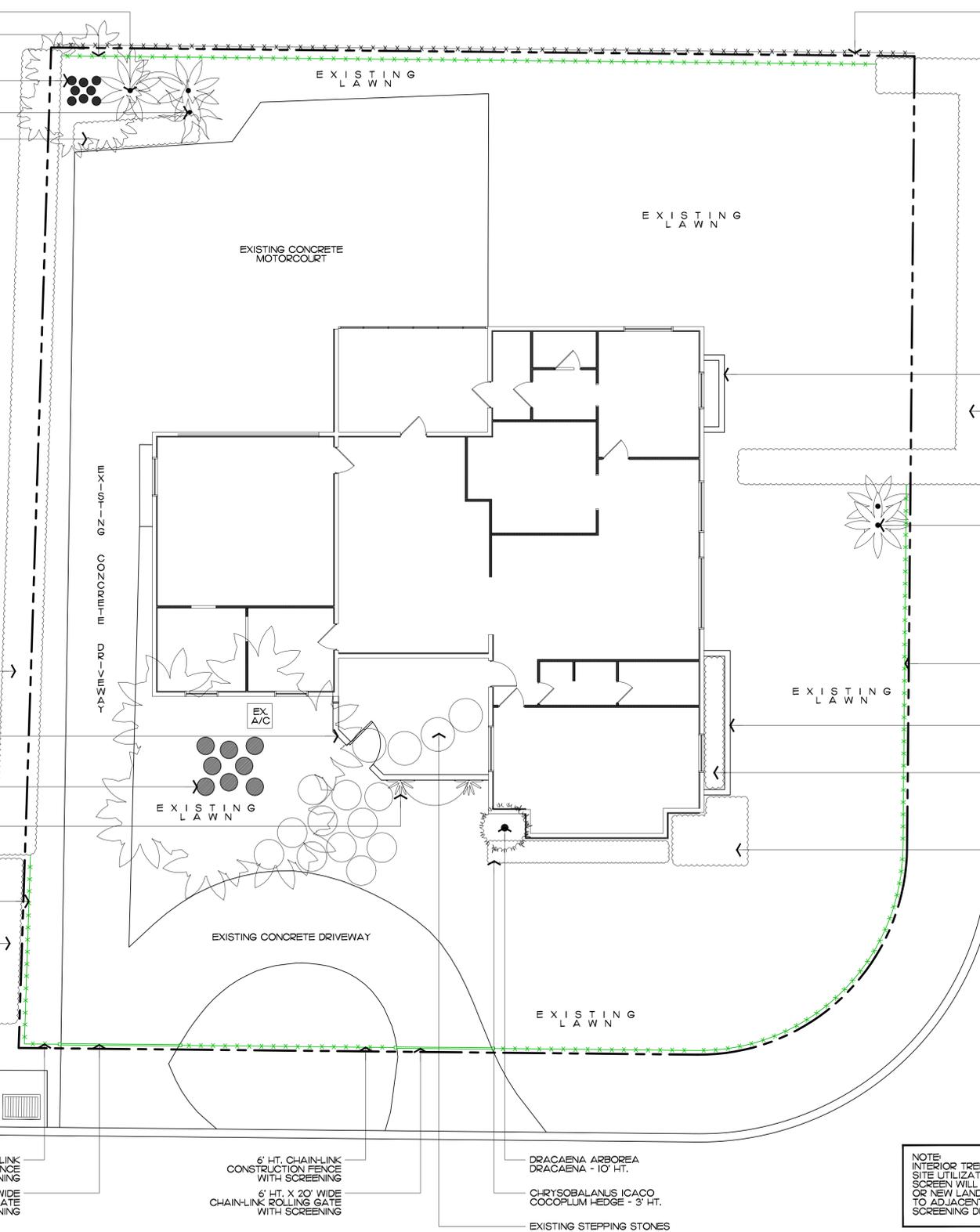
SHEET L3.0

64 sf.
 AREA IN SQ.FT.

- PHOENIX ROEBELENI SINGLE PYGMY DATE PALMS - 8' C.T.
- 6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING
- DYPSIS LUTESCENS ARECA PALM - 14'-18' HT.
- ADONIDIA MERRILLII SINGLE ADONIDIA PALM - 10' C.T.
- IXORA SPP IXORA HEDGE - 2' HT.

- NEIGHBORING FICUS NITIDA FICUS HEDGE - 10' HT.
- EXISTING WALLS & GATE
- DYPSIS LUTESCENS ARECA PALM - 20'-25' HT.
- BOUGAINVILLEA SPP BOUGAINVILLEA VINES - ON WALL, 10' HT.
- 6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING
- NEIGHBORING FICUS NITIDA FICUS HEDGE - 4' HT.

- 6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING
- 6' HT. X 20' WIDE CHAIN-LINK ROLLING GATE WITH SCREENING



EXISTING CONSTRUCTION SCREENING FENCE

EXISTING RAISED BRICK PLANTER

FICUS NITIDA FICUS HEDGE - 8' HT.

PHOENIX ROEBELENI DOUBLE PYGMY DATE PALM - 6'-8' C.T.

6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING

EXISTING RAISED BRICK PLANTER

IXORA SPP 30' HT.

MURRAYA PANICULATA ORANGE JASMINE - 6' HT.

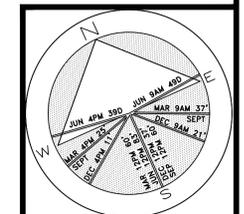
DRACAENA ARBOREA DRACAENA - 10' HT.

CHRYSOBALANUS ICACO COCOPLUM HEDGE - 3' HT.

EXISTING STEPPING STONES

NOTE: INTERIOR TREES AND PALMS WILL BE REMOVED WHEN NECESSARY FOR SITE UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, NEW FENCING, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING CONSTRUCTION.

Private Residence
 2278 Ibis Isle Road
 Palm Beach



JOB NUMBER: # xxxxx.00 LA
 DRAWN BY: Lauren Freeman

DATE: 09.07.2023
 09.25.2023

SHEET L4.0

ARC-23-140
 ZON-23-118

Construction Screening Plan

SCALE IN FEET 0' 8' 16' 24'

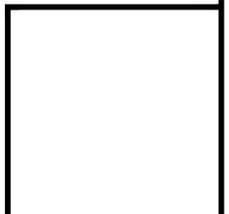
64 sf.

AREA IN SQ.FT.

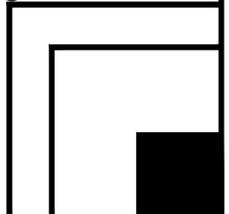
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JOB NUMBER: # 23099.00 LA
 DRAWN BY: Nick Pastor
 DATE: 09.07.2023
 09.25.2023



Existing South Buffer



Existing South Buffer



Existing West Buffer



Existing West Buffer

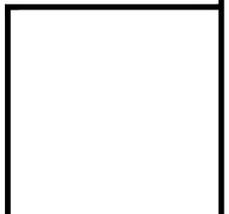
ARC-23-140
 ZON-23-118

Existing Landscape Buffer Images

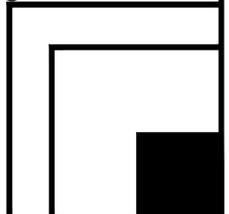
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JOB NUMBER: # 23099.00 LA
 DRAWN BY: Nick Pastor
 DATE: 09.07.2023
 09.25.2023



Existing East Buffer



Existing East Buffer



Existing North Buffer



Existing North Buffer

ARC-23-140
 ZON-23-118

Existing Landscape Buffer Images

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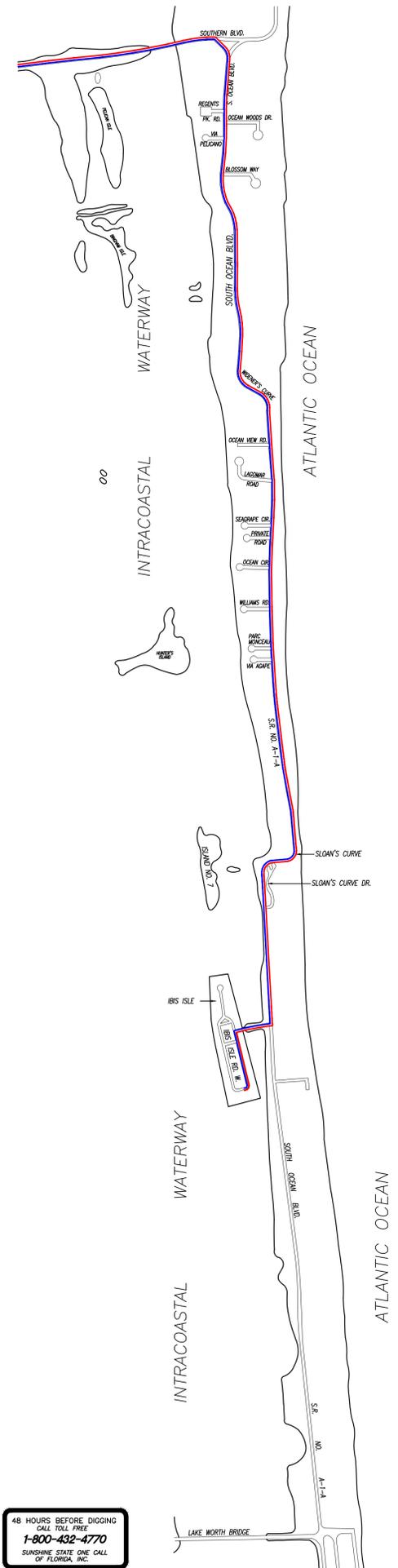
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1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:
 MONTH 1: DEMOLITION AND CLEANUP
 (3 - 5 DAYS)

LARGEST TRUCK ->
 10-15 DUMP TRUCKS FOR DEBRIS REMOVAL
 TRAILER FOR EXCAVATOR / DEMOLITION
LANDSCAPE TRUCKS ->
 SOD
 IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

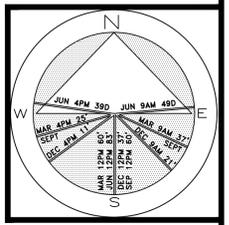
- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

ARC-23-140
 ZON-23-118

Truck Logistics Plan
 SCALE: NOT TO SCALE

ENVIRONMENT DESIGN GROUP
 139 North County Road 5700-8 Palm Beach, FL 33480
 Phone: 561.832.4600 Mobile: 561.313.4424
 Landscape Architecture
 Land Planning
 Landscape Management
 Dustin M. Mizell, M.L.A. P.L.A. #6666784
 Dustin@environmentdesigngroup.com

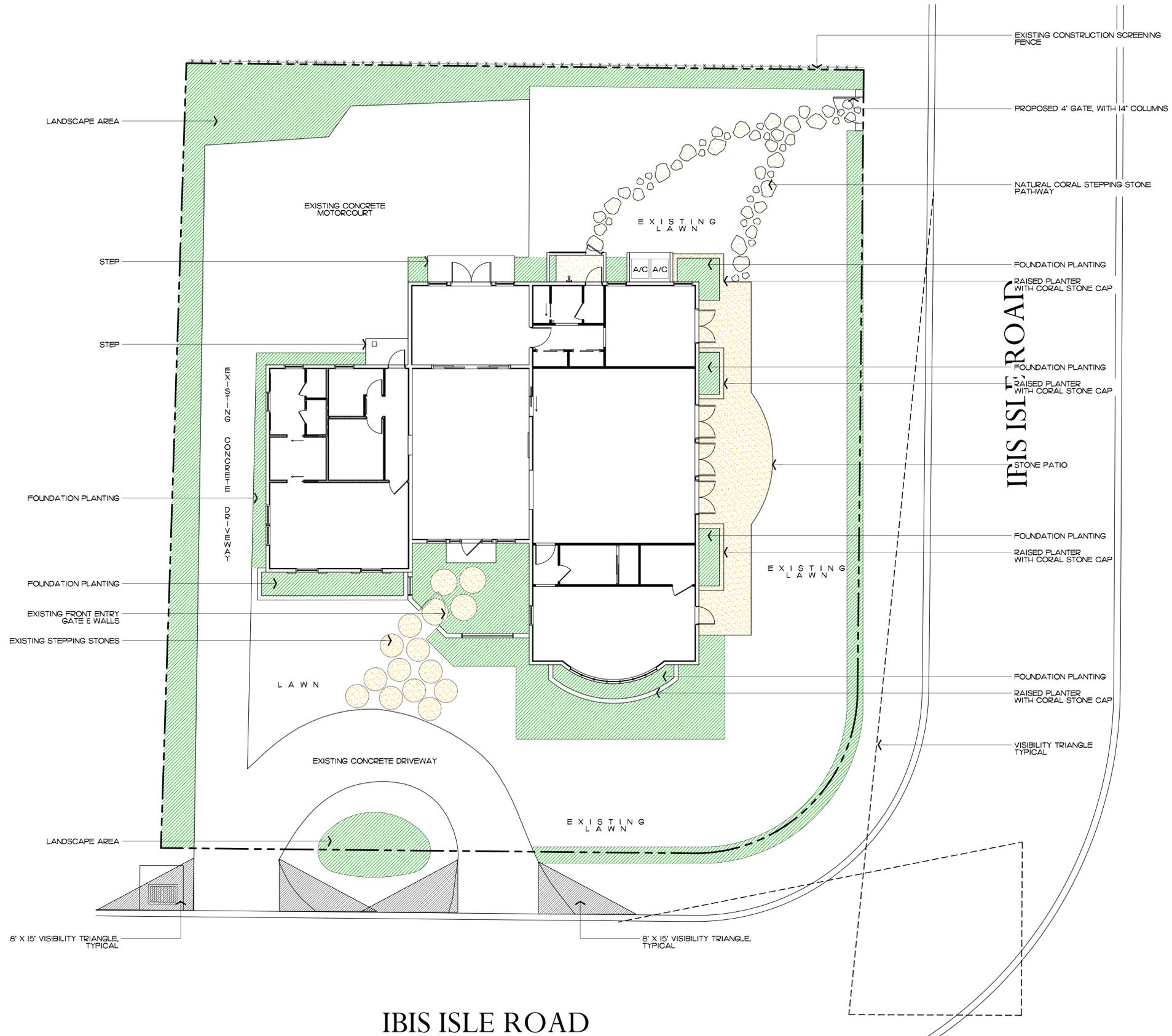
Private Residence
 2278 Ibis Isle Road
 Palm Beach



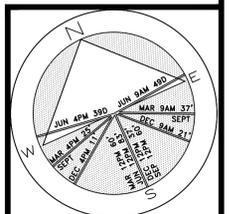
JOB NUMBER: # xxxxx.00 LA
 DRAWN BY: Lauren Freeman

DATE: 09.07.2023
 09.25.2023

SHEET L6.0



Private Residence
 2278 Ibis Isle Road
 Palm Beach



JOB NUMBER: # xxxxx.00 LA
 DRAWN BY: Lauren Freeman

DATE: 09.07.2023
 09.25.2023

SHEET L7.0

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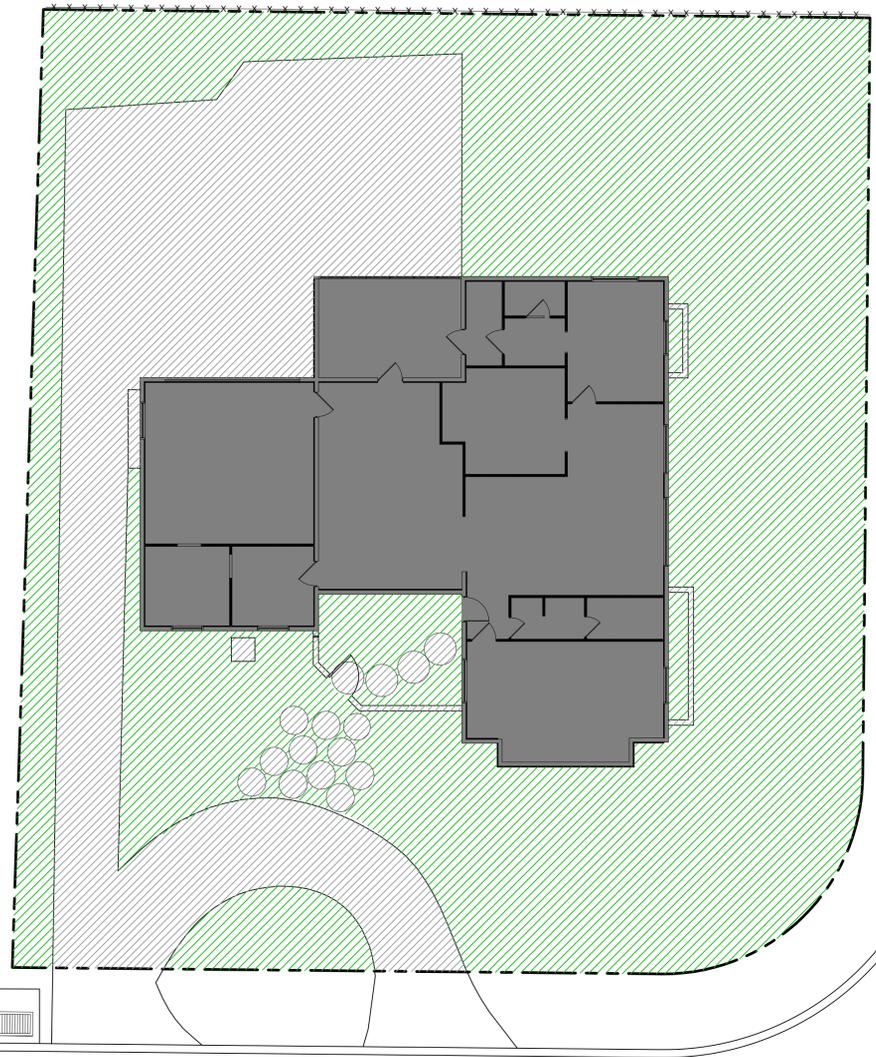
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 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.

ARC-23-140
 ZON-23-118
Site Plan
 SCALE IN FEET 0' 8' 16' 24'

64 sf.
 AREA IN SQ.FT.

Private Residence
 2278 Ibis Isle Road
 Palm Beach

F L O R I D A



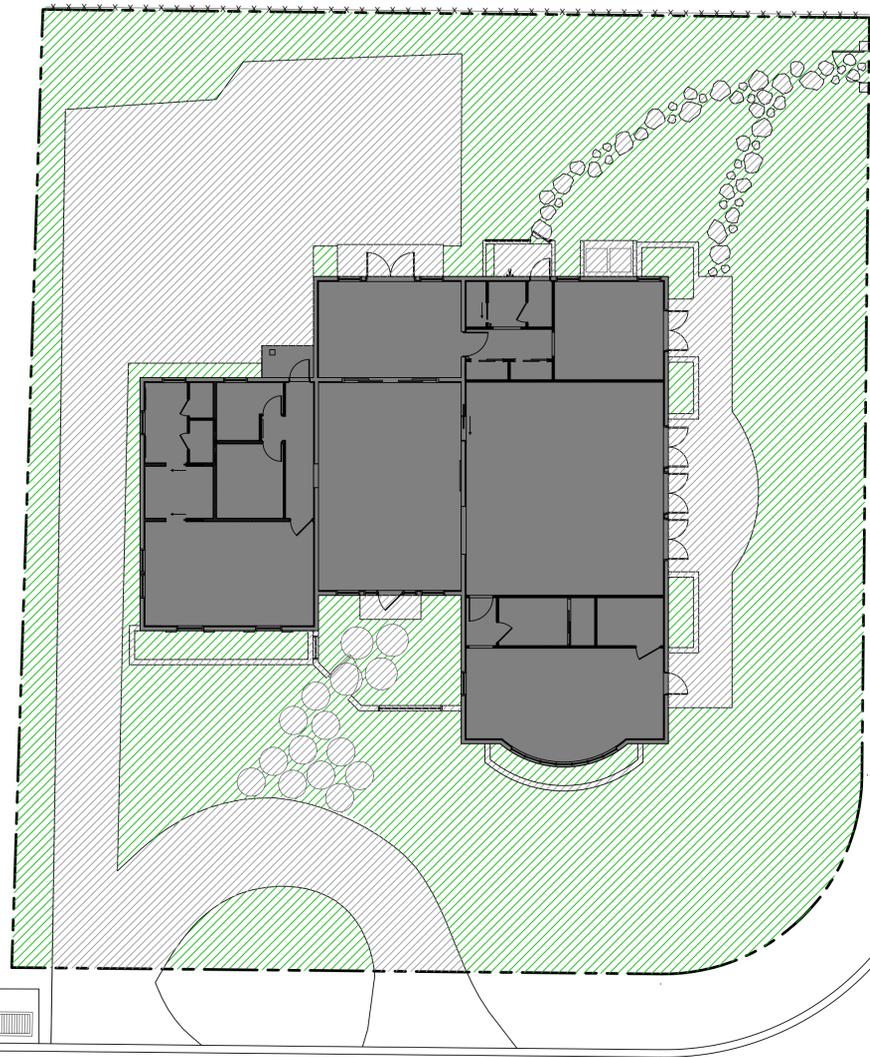
IBIS ISLE ROAD

IBIS ISLE ROAD

Existing Open Space Graphic

Existing Site Data

DESCRIPTION	REQUIRED	EXISTING
LOT ZONE		R-B - LOW DENSITY RESIDENTIAL
LOT AREA	10,000 S.F. MINIMUM	12,513 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 45% 5,630.85 S.F.	51.8% 6,476 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 1,960 S.F.	85.3% 4,093 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE 2,815 S.F.	75.1% 3,021 S.F.



IBIS ISLE ROAD

IBIS ISLE ROAD

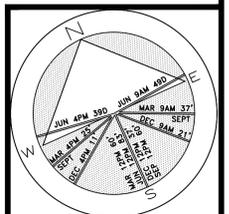
Proposed Open Space Graphic

Proposed Site Data

DESCRIPTION	REQUIRED	PROPOSED
LOT ZONE		R-B - LOW DENSITY RESIDENTIAL
LOT AREA	10,000 S.F. MINIMUM	12,513 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 45% 5,630.85 S.F.	47.3% 5,917 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 1,960 S.F.	71.3% 3,493 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE 2,815 S.F.	72.9% 2,935 S.F.

Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE



JOB NUMBER: # xxxxx.00 LA
 DRAWN BY: Lauren Freeman
 DATE: 09.25.2023

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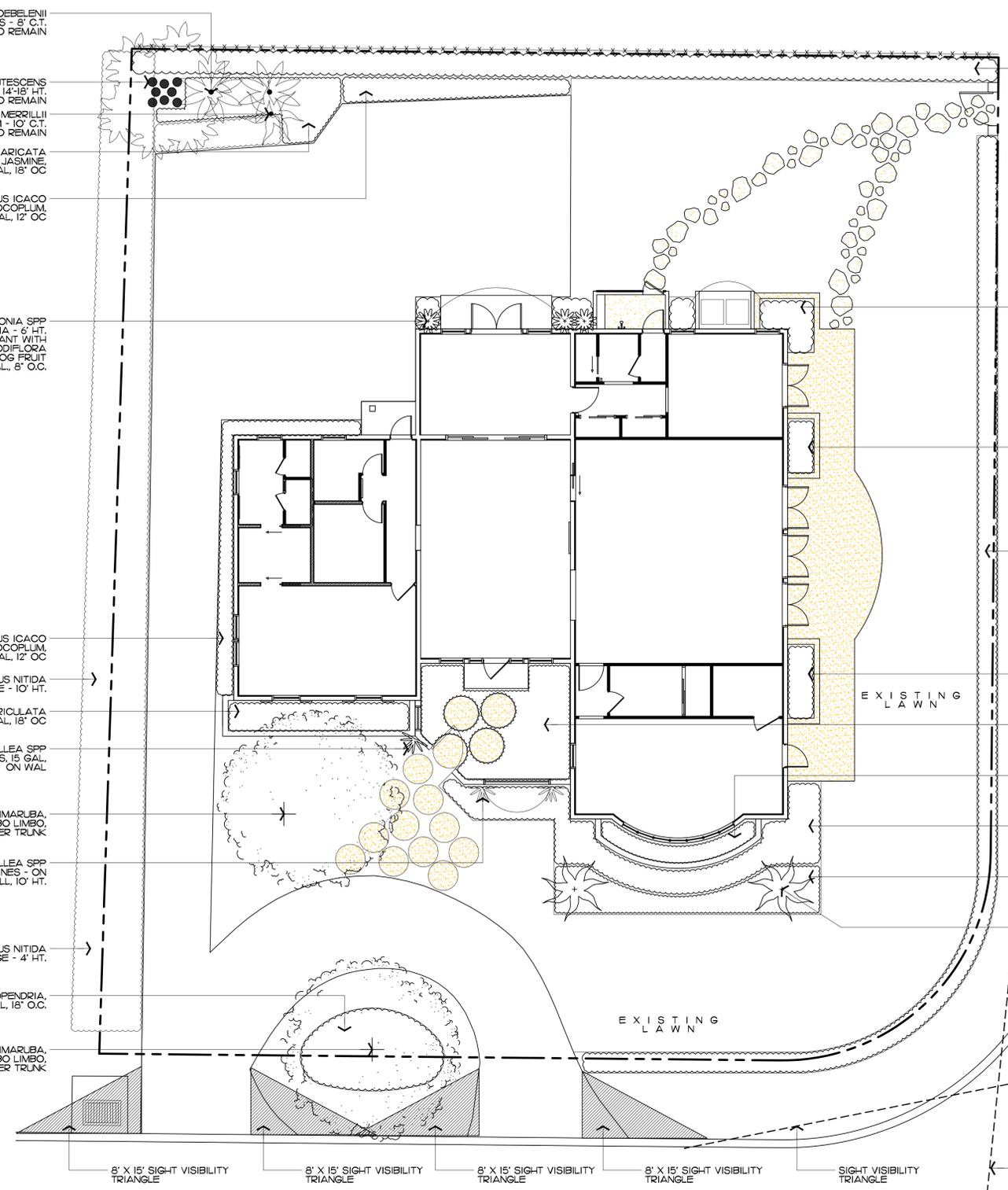
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ARC-23-140
 ZON-23-118
Site Calculation/Open Space Graphics
 SCALE IN FEET: 3/32"=1'-0"

SHEET L7.1

- EXISTING PHOENIX ROEBELII
SINGLE PYGMY DATE PALMS - 8" C.T.
TO REMAIN
- EXISTING DYPsis LUTESCENS
ARECA PALM - 14'-18" HT.
TO REMAIN
- EXISTING ADONIDIA MERRILLII
SINGLE ADONIDIA PALM - 10" C.T.
TO REMAIN
- (48) TABERNAEMONTANA DIVARICATA
PINWHEEL JASMINE
7 GAL, 18" OC
- (65) CHRYSOBALANUS ICACO
HORIZONTAL, COCOPLUM,
3 GAL, 12" OC
- (3) HELICONIA SPP
HELICONIA - 6' HT.
UNDERPLANT WITH:
(20) PHYL A NODIFLORA
FROG FRUIT
1 GAL, 8" O.C.
- (90) CHRYSOBALANUS ICACO
HORIZONTAL, COCOPLUM,
3 GAL, 12" OC
- EXISTING FICUS NITIDA
FICUS HEDGE - 10' HT.
- (34) PLUMBAGO AURICULATA
BLUE AURICULATA, 7 GAL, 18" OC
- BOUGAINVILLEA SPP
BOUGAINVILLEA VINES, 15 GAL,
ON WALL
- BURSERIA SIMARUBA,
GUMBO LIMBO,
16' OA, CHARACTER TRUNK
- EXISTING BOUGAINVILLEA SPP
BOUGAINVILLEA VINES - ON
WALL, 10' HT.
- EXISTING FICUS NITIDA
FICUS HEDGE - 4' HT.
- (80) MICROSORUM SCOLOPENDRIA,
WART FERN, 7 GAL, 18" O.C.
- BURSERIA SIMARUBA,
GUMBO LIMBO,
16' OA, CHARACTER TRUNK



- (30) CLUSIA ROSEA
CLUSIA HEDGE,
6' HT, 36" OC
- (3) ALOCASIA ODORA,
ELEPHANT EAR, 15 GAL, 24" OC,
UNDERPLANTED WITH:
(30) PHYL A NODIFLORA
FROG FRUIT
1 GAL, 8" O.C.
- (8) PLUMBAGO AURICULATA
BLUE AURICULATA,
7 GAL, 18" OC
- (50) CLUSIA ROSEA
CLUSIA HEDGE, 6' HT, 36" OC
- (12) PLUMBAGO AURICULATA
BLUE AURICULATA,
7 GAL, 18" OC
- (160) PHYL A NODIFLORA,
FROG FRUIT
1 GAL, 12" OC
- (20) PLUMBAGO AURICULATA
BLUE AURICULATA,
7 GAL, 18" OC
- (190) CHRYSOBALANUS ICACO
HORIZONTAL, COCOPLUM,
3 GAL, 12" OC
- (125) PHYL A NODIFLORA,
FROG FRUIT
1 GAL, 12" OC
- (2) ADONIDIA MERRILLII
ADONIDIA PALM, 12" CT

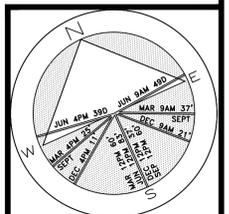
IF S ISL ROA

EXISTING
LAWN

EXISTING
LAWN

8' X 15' SIGHT VISIBILITY TRIANGLE SIGHT VISIBILITY TRIANGLE SIGHT VISIBILITY TRIANGLE

Private Residence
2278 Ibis Isle Road
Palm Beach



JOB NUMBER: # xxxxx.00 LA
 DRAWN BY: Dustin Mizell

DATE: 09.07.2023
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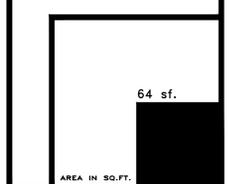
SHEET L8.0

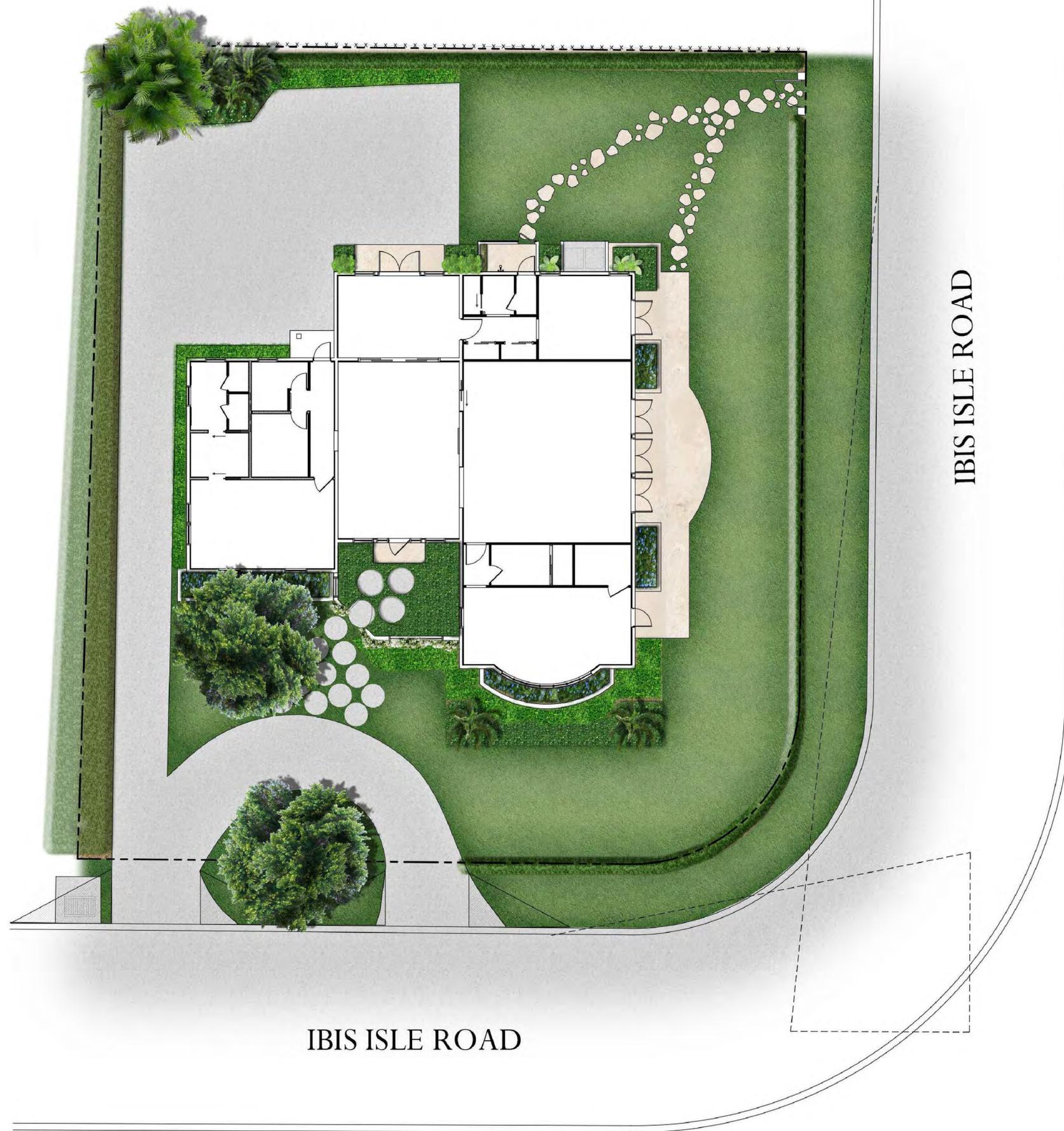
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ARC-23-140
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Landscape Plan
 SCALE IN FEET 0' 8' 16' 24'





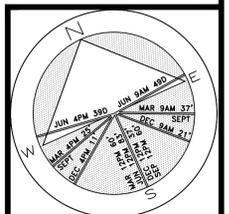
IBIS ISLE ROAD

IBIS ISLE ROAD

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 Palm Beach

F L O R I D A



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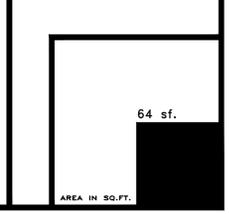
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ARC-23-140
 ZON-23-118

Rendered Landscape Plan
 SCALE IN FEET 0' 8' 16' 24'

SHEET L8.1



Trees

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BURSERA SIMARUBA GUMBO LIMBO TREE	2	16' OA, CHARACTER TRUNK	YES
	TOTAL TREES: NATIVE SPECIES:	2 2 (100%)		

Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ADONIDIA MERRILLII ADONIDIA PALMS	2	12' C.T.	NO

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ALOCASIA ODORA ELEPHANT EAR	3	15 GAL 24" OC.	NO
	BOUGAINVILLEA SPP.	1	15 GAL ATTACHED TO WALL	NO
	CLUSIA ROSEA CLUSIA HEDGE	80	6' OA HT., 36" OC. FTB	YES
	CHRYSOBALANUS ICACO 'HORIZONTAL' COCOPLUM	345	8' OA HT. FTB	YES
	HELICONIA SPP HELICONIA	3	6' HT.	NO
	MICROSORUM SCOLOPENDRIA WART FERN	80	7 GAL, 18" OC.	NO
	PLUMBAGO AURICULATA BLUE PLUMBAGO	74	7 GAL, 18" OC.	NO
	TABERNAEMONTANA DIVARICATA PINWHEEL JASMINE	48	7 GAL, 18" OC.	NO
	TOTAL: NATIVE SPECIES:	634 425 (67%)		

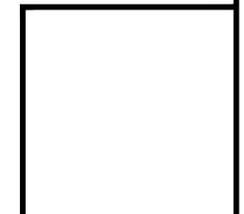
Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	PHYLA NODIFLORA FROGFRUIT	335	1 GAL, 12" OC.	YES
	TOTAL: NATIVE SPECIES:	335 335 (100%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Private Residence
 2278 Ibis Isle Road
 Palm Beach
 A
D
I
R
O
L
F



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ARC-23-140
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Plant Schedule

SHEET L8.2

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT., 1/4 LB. PER 1 GAL. POT.) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3' DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR BED MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

- SHADE TREES:** HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SHRUBS:** HEIGHT SHALL BE MEASURED FROM THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.
- PALMS:** CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERBERIS OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIES MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

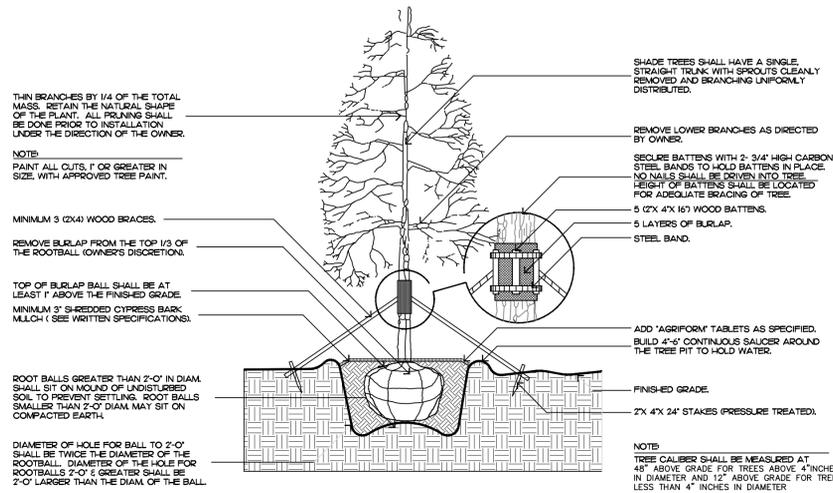
WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS, ATUNUSAL PHENOMENA, BEYOND INSTALLERS CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

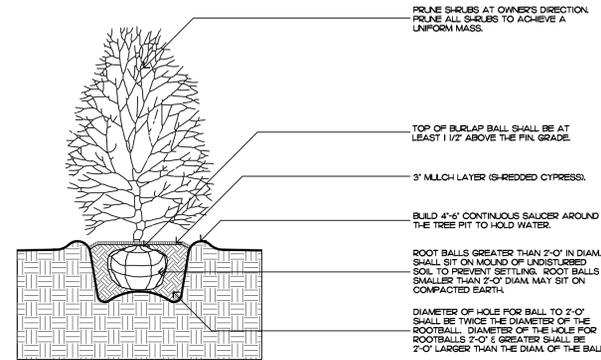
ARC-25-140
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Planting Details & Specifications



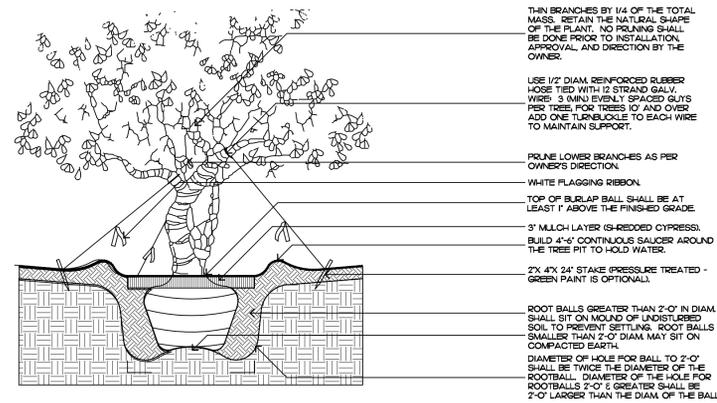
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

tree planting



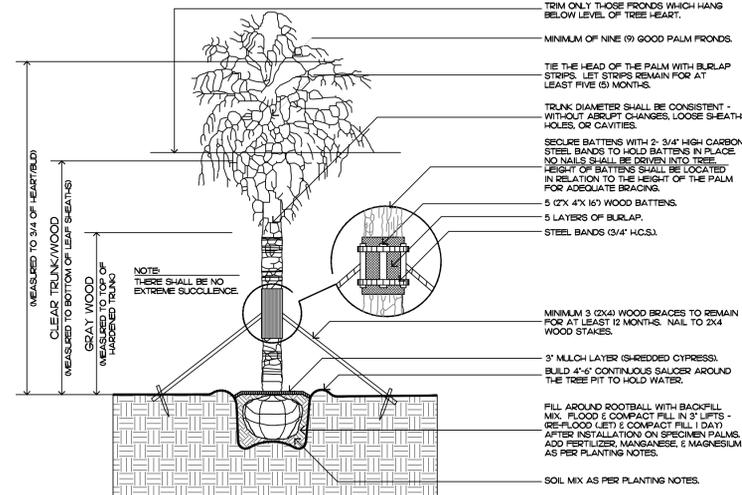
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

shrub planting



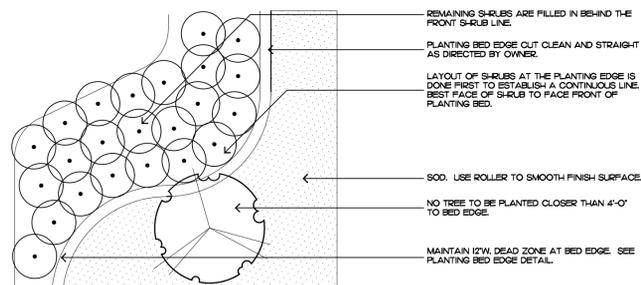
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

irregular and multi-stem tree



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

palm tree planting



shrub & ground cover layout

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Landscape Architecture
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