



1 STREET VIEW & FRONT FACADE OF MAIN HOUSE
N.T.S



2 REAR FACADE OF MAIN HOUSE WITH PORCH
N.T.S

3 EAST FACADE OF MAIN HOUSE
N.T.S

4 WEST FACADE OF MAIN HOUSE
N.T.S



VARNAVA DESIGN
STUDIO

AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33460

COA-23-038
ZON-23-106

NO.	DATE	DESCRIPTION
PROJECT NO:	###	
CAD DWG FILE:	318 AUSTRALIAN AVE - EXISTING PHOTO 01.DWG	
DRAWN BY:	K.S. Y.V. M.C.	
CHECKED BY:	Y.V. M.C.	
PLLOT DATE:	10.10.23	
SHEET TITLE:		

PHOTOS OF EXISTING
HOUSE

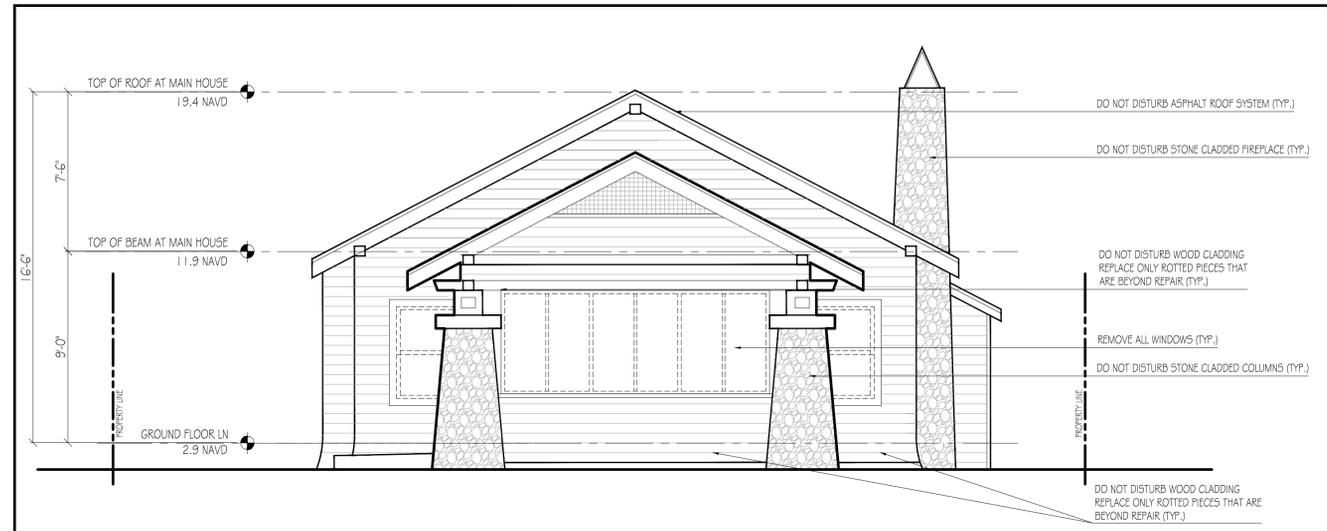


VARNAVA DESIGN STUDIO
 ARI01023
 PALM BEACH
 2875 SOUTH OCEAN BLVD
 SUITE 200-33
 PALM BEACH, FLORIDA 33480
 FORT LAUDERDALE
 1706 NE 18TH ST.
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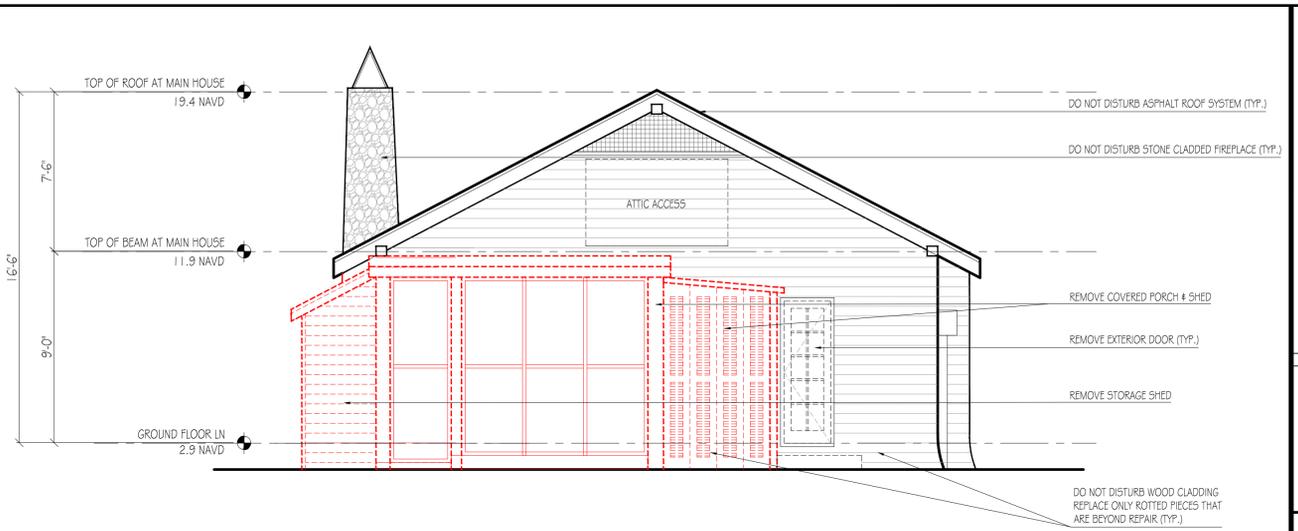
318 AUSTRALIAN

318 AUSTRALIAN AVENUE
 PALM BEACH, FL, 33480

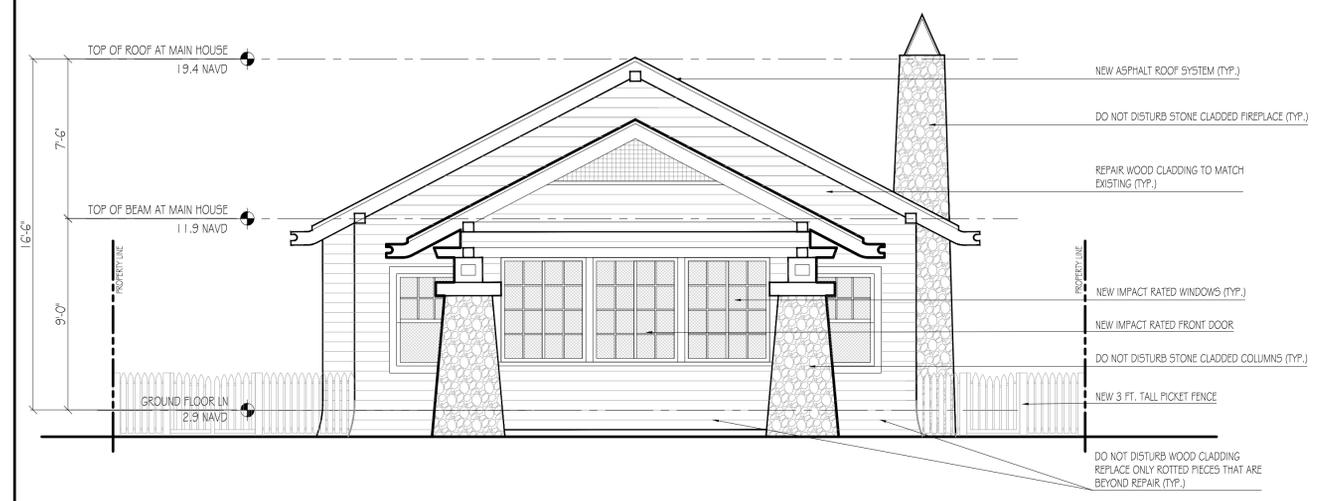
COA-23-038
 ZON-23-106



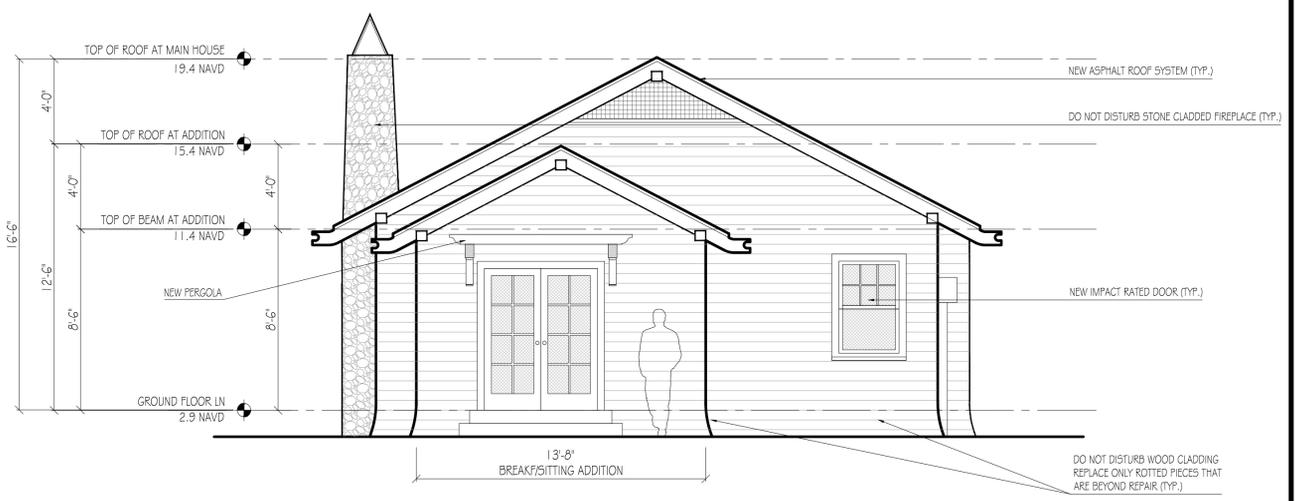
1 EXISTING NORTH ELEVATION OF MAIN HOUSE
 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION OF MAIN HOUSE
 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION OF MAIN HOUSE
 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION OF MAIN HOUSE
 1/4" = 1'-0"



2 PROPOSED RENDERED ELEVATION
 1/4" = 1'-0"



4 PROPOSED RENDERED ELEVATION
 1/4" = 1'-0"

MARKS	DATE	DESCRIPTION
PROJECT NO.	###	
CAD DWG FILE:	318 AUSTRALIAN PERGOLA - JAWARAW PREPROJ.DWG	
DRAWN BY:	R.S. Y.V. M.C.	
CHKD BY:	Y.V. M.C.	
PLOT DATE:	10.10.23	
SHEET TITLE:		

EXISTING & PROPOSED
 NORTH & SOUTH ELEVATIONS

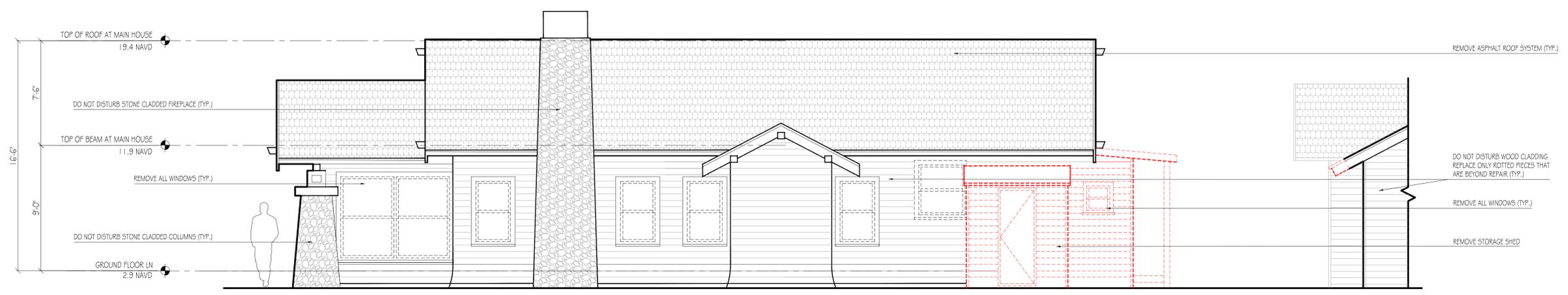


VARNAVA DESIGN
STUDIO
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1 EXISTING WEST ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



3 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"

MARK	DATE	DESCRIPTION
PROJECT NO.	###	
CAD DWG FILE:	318 AUSTRALIAN KING - JADWARA PREDRIVINGS	
DRAWN BY:	R.S. Y.V. M.C.	
CHKD BY:	Y.V. M.C.	
PLOT DATE:	10.10.23	
SHEET TITLE:		

EXISTING & PROPOSED
WEST ELEVATIONS

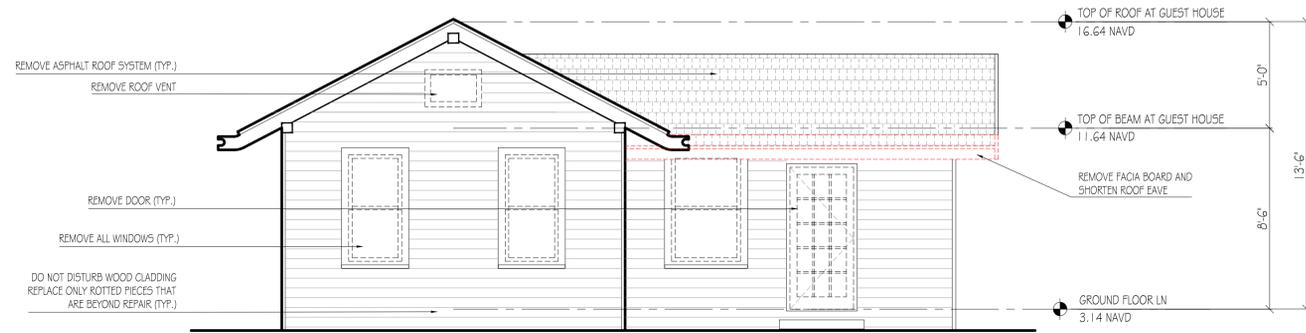


VARNAVA DESIGN
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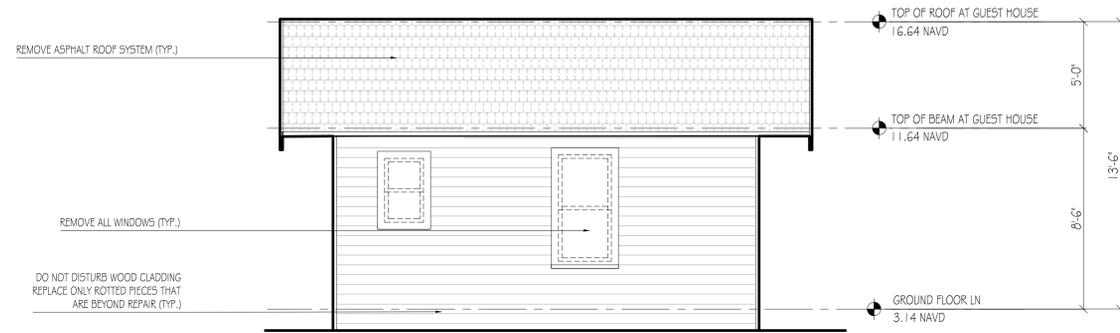
318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

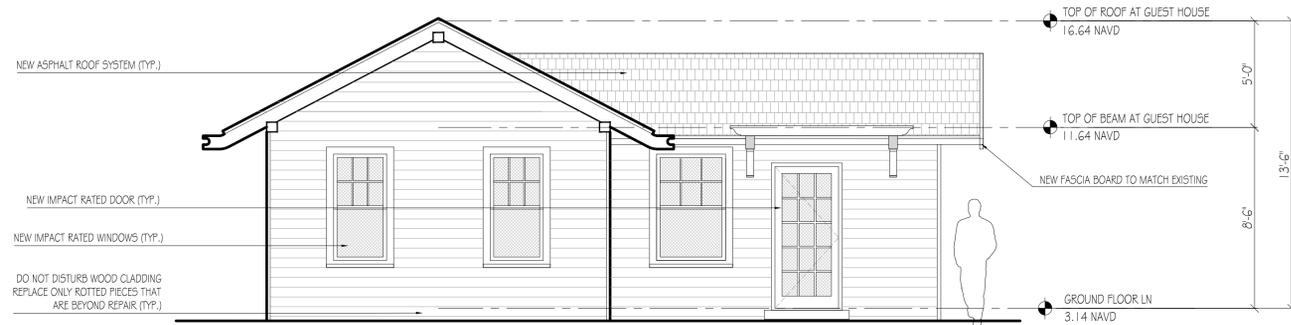
COA-23-038
ZON-23-106



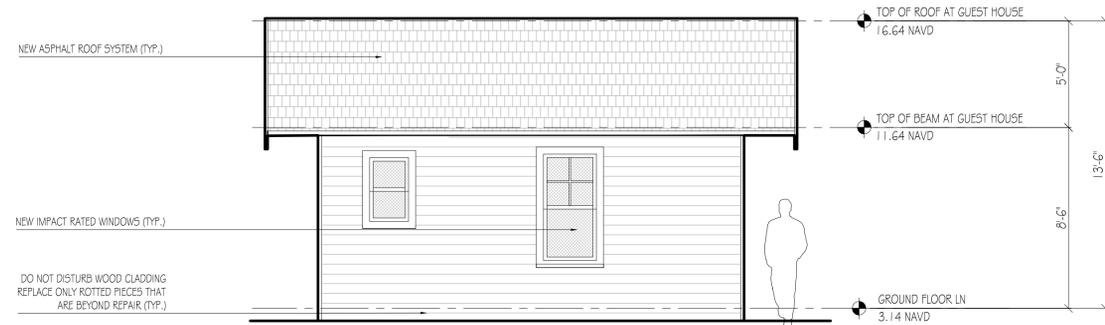
1 EXISTING NORTH ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



4 EXISTING EAST ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



5 PROPOSED EAST ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



3 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



6 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"

MARK	DATE	DESCRIPTION
PROJECT NO.	###	
CAD DWG FILE:	318 AUSTRALIAN KING - JAWARD PREDESIGN.DWG	
DRAWN BY:	R.S. Y.V. M.C.	
CHKD BY:	Y.V. M.C.	
PLOT DATE:	10.10.23	
SHEET TITLE:		

EXISTING & PROPOSED
ELEVATIONS FOR GUEST
HOUSE









