

PROPOSED NEW CONSTRUCTION AT:

292 ORANGE GROVE

TOWN OF PALM BEACH

FINAL DROP OFF: 10.09.2023 (REV02)

PALM BEACH COUNTY, FLORIDA

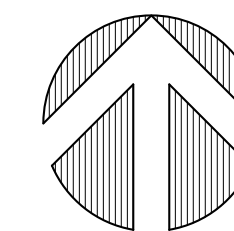
ARC-23-088 ARCOM MEETING: 10-25-2023

ENTRY PERSPECTIVE RENDERING:



LOCATION MAP:

292
ORANGE GROVE ROAD
PALM BEACH, FL
N.T.S.



PROJECT TEAM:

LANDSCAPE ARCHITECT:
ENVIRONMENT DESIGN GROUP
THE PARAMOUNT BUILDING
139 NORTH COUNTY ROAD - SUITE 20-B
PALM BEACH, FLORIDA 33480
561-832-4600

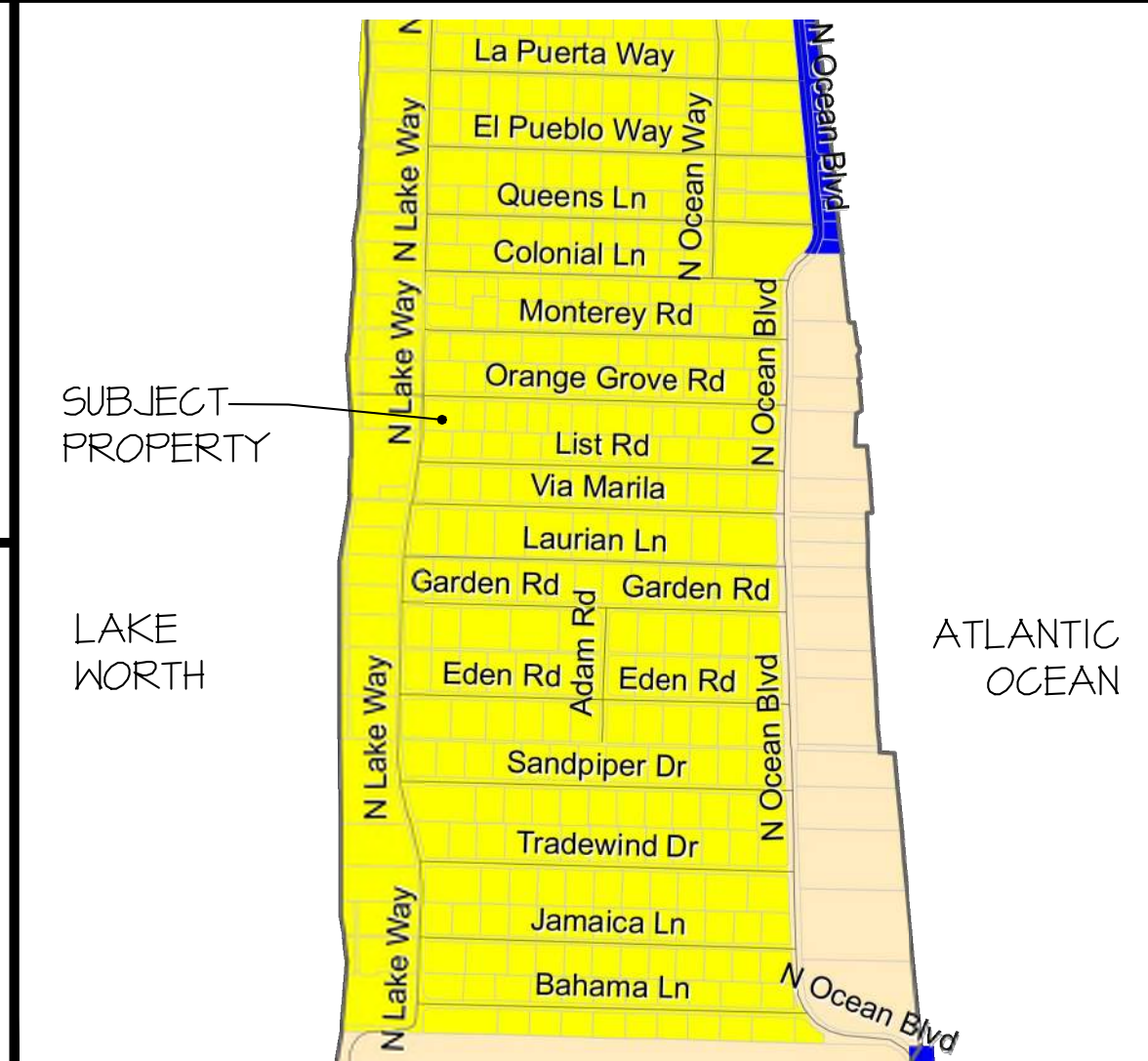
CIVIL ENGINEER:

GRUBER CONSULTING ENGINEERS, INC.
2475 MERCER AVENUE
SUITE 305
WEST PALM BEACH, FL 33401
561-312-2041

SURVEYOR:

WALLACE SURVEYING CORPORATION
5553 VILLAGE BOULEVARD
WEST PALM BEACH, FL 33407
561-640-4551

NOTE: YELLOW = R-B LOW DENSITY



SCOPE OF WORK:

- DEMOLISH EXISTING 1-STORY RESIDENCE, POOL, LANDSCAPE AND ASSOCIATED HARDSCAPE
- NEW 2-STORY SINGLE-FAMILY RESIDENCE WITH 2-CAR GARAGE
- SITE-WIDE LANDSCAPE AND HARDSCAPE INCLUDING SWIMMING POOL
- CIVIL - STORM WATER MANAGEMENT PLAN
- EMERGENCY GENERATOR

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-833-4701, LICENSE #AA-C00174

DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
- 07-11-23 FINAL DROP OFF
- 08-18-23 PRESENTATION
- 09-05-23 FINAL DROP OFF REV01
- 09-22-23 PRESENTATION
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02

RESUBMIT

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DAILEY JANSSEN ARCHITECTS, P.A.

400 Clematis Street Suite #200

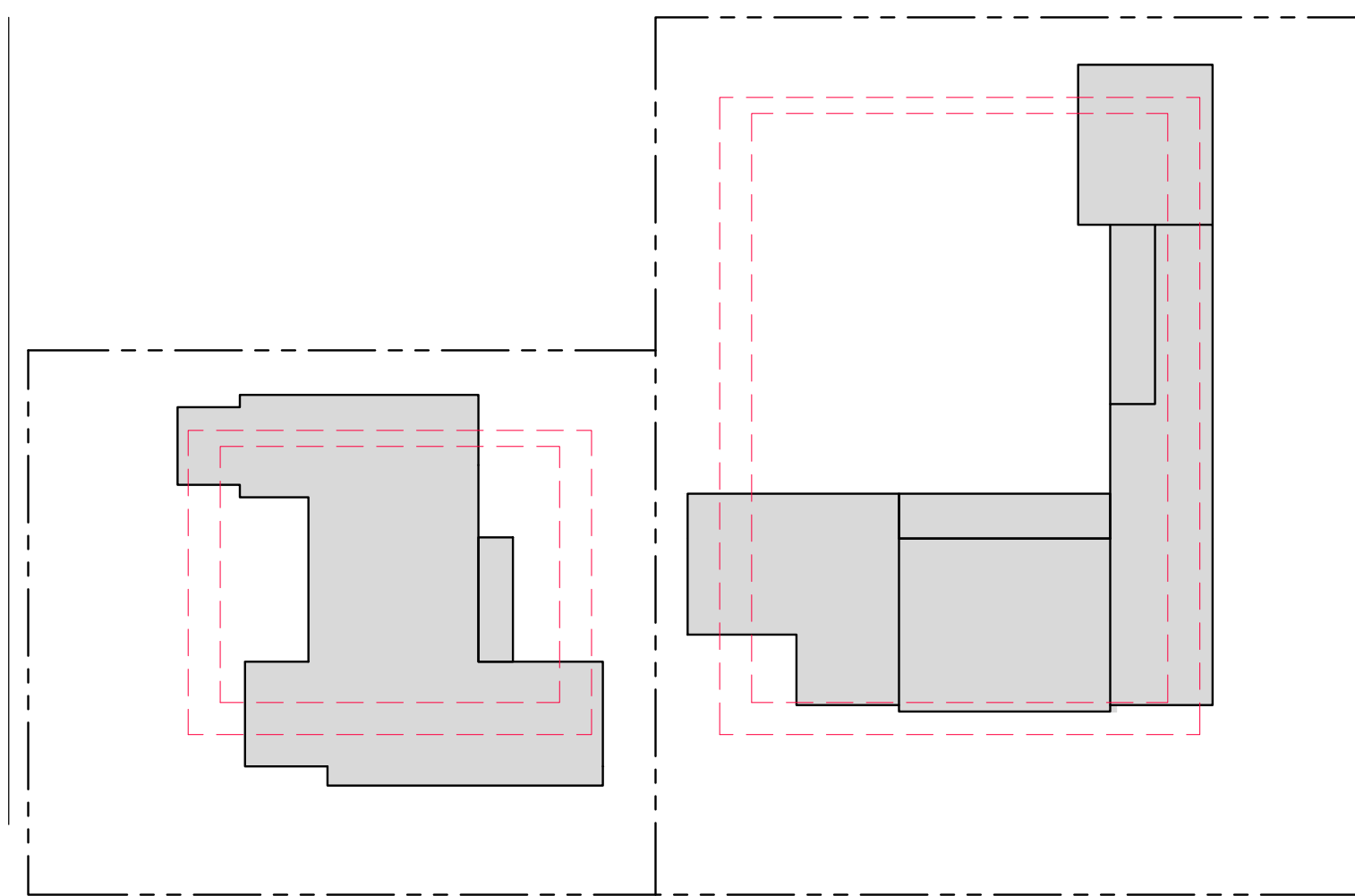
West Palm Beach, Florida 33401

TEL: 561-833-4701

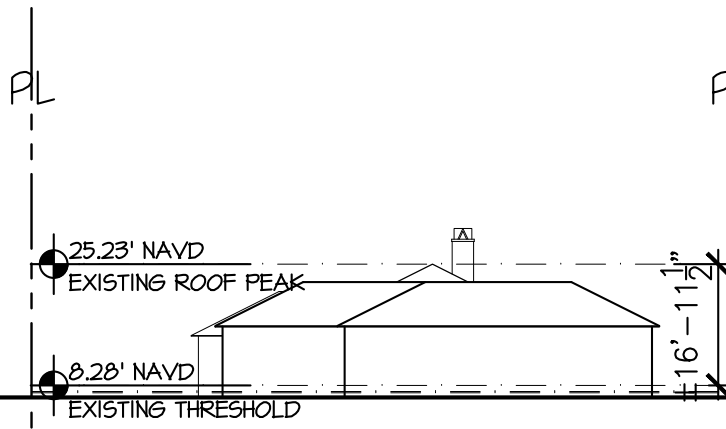
JOB NUMBER:

22-147

MONTEREY ROAD

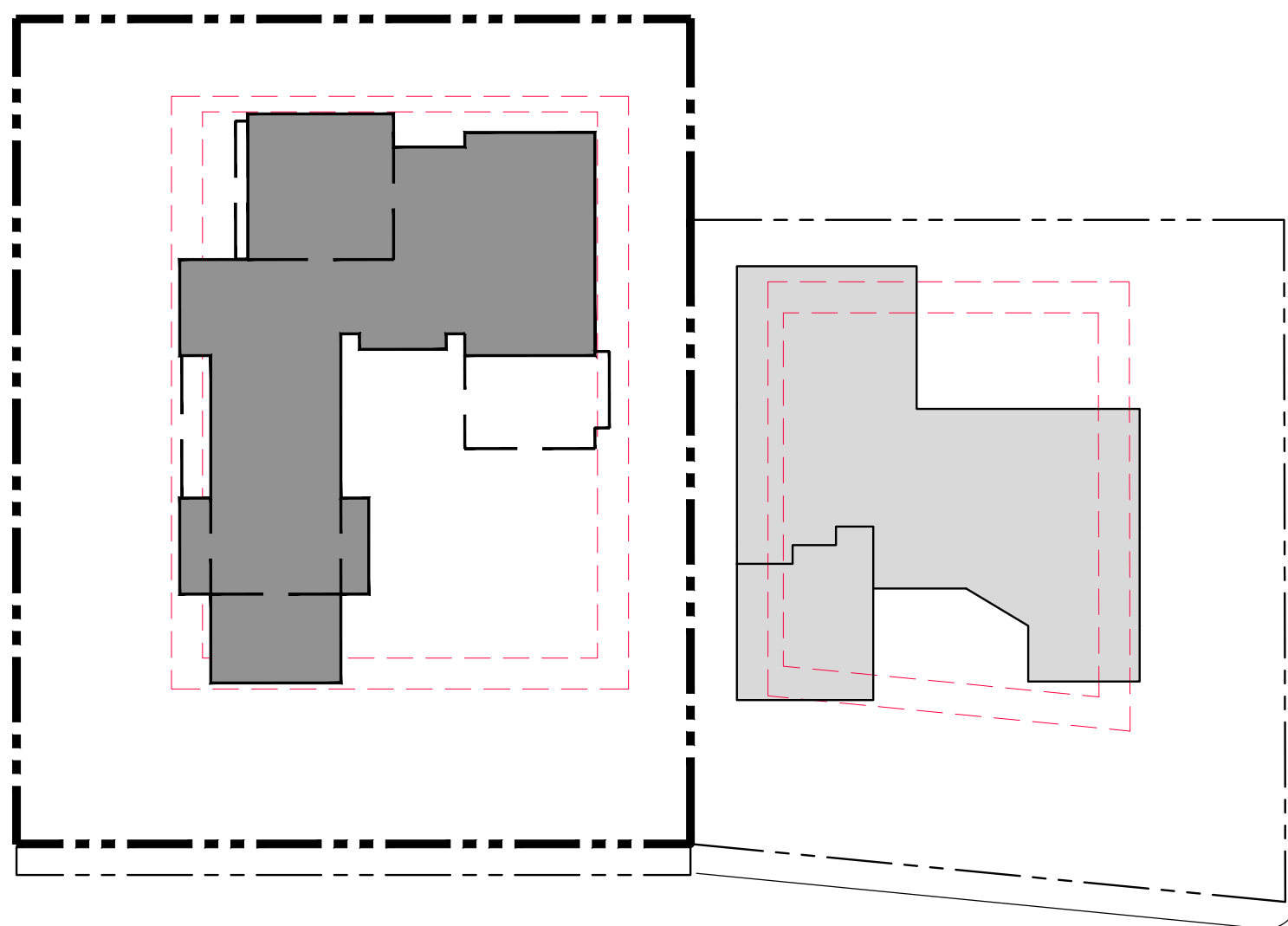


284 M.R.
1-STORY



284 MONTEREY RD
1-STORY RESIDENCE
BUILT-IN 1948/LANDMARK U.C.
2,620 SF ON 8,365 SF

ORANGE GROVE RD

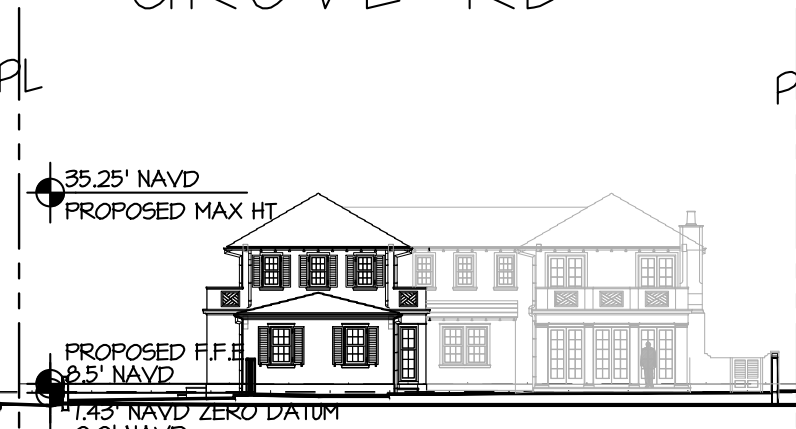


1085 NLW
2-STORY



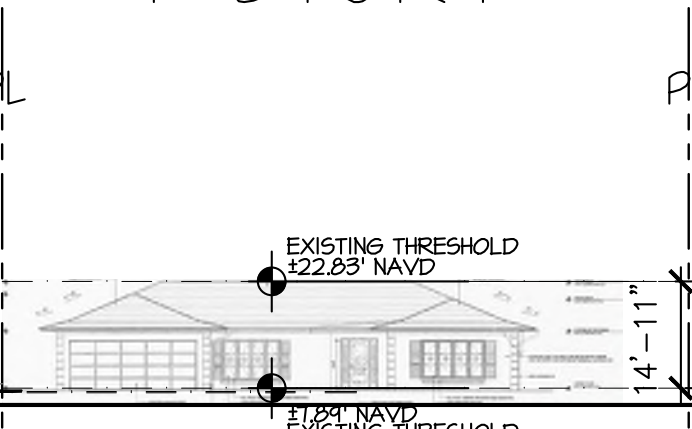
1085 N LAKE WAY
2-STORY W/ POOL
BUILT-IN 1935
4,507 SF ON 15,022 SF

* 292 ORANGE GROVE RD



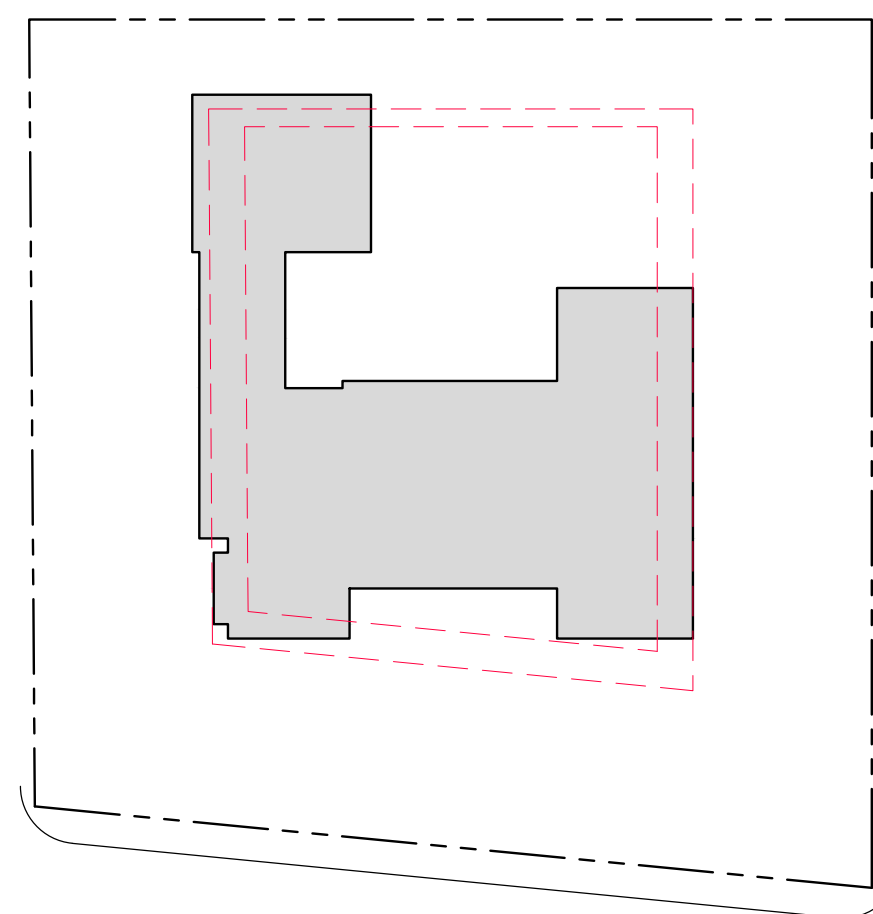
292 ORANGE GROVE RD
SUBJECT PROPERTY
PROPOSED 2-STORY RESIDENCE
WITH POOL
5,850 SF ON 14,494 SF LOT

1065 NLW
1-STORY

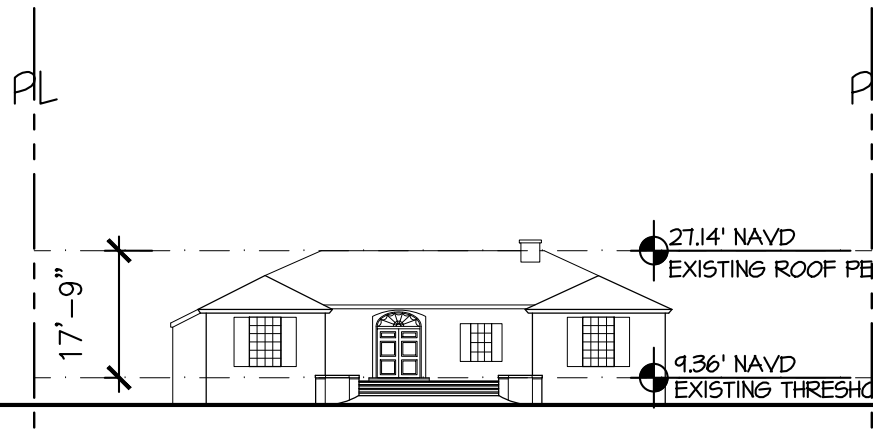


1065 N. LAKE WAY
1-STORY RESIDENCE W/ POOL,
BUILT IN 1969
3,248 SF ON 10,163 SF LOT

LIST ROAD

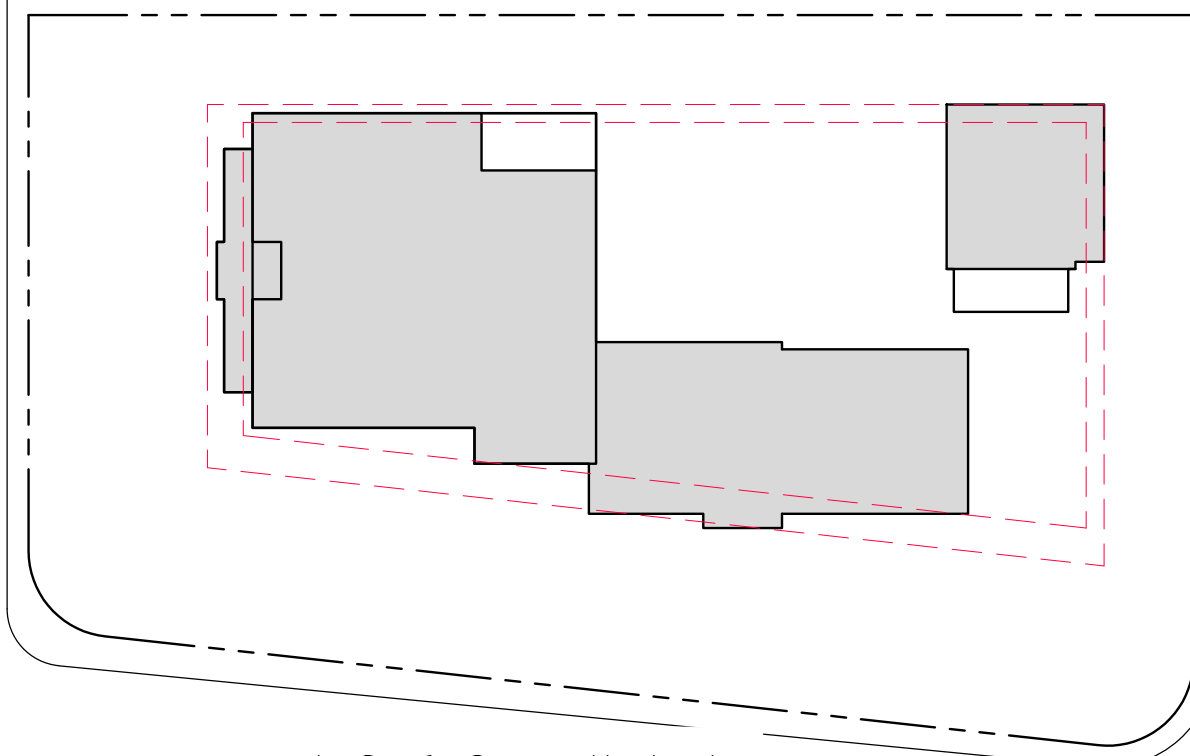


1055 NLW
1-STORY

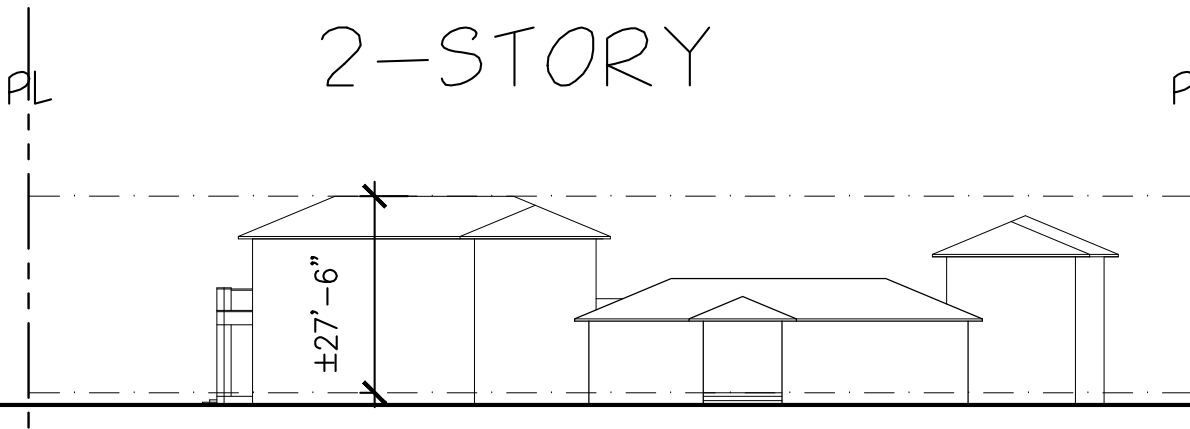


1055 N. LAKE WAY
1-STORY RESIDENCE W/ POOL,
BUILT IN 1965
3,250 SF ON 14,344 SF LOT

VIA MARILA



1053 NLW
2-STORY

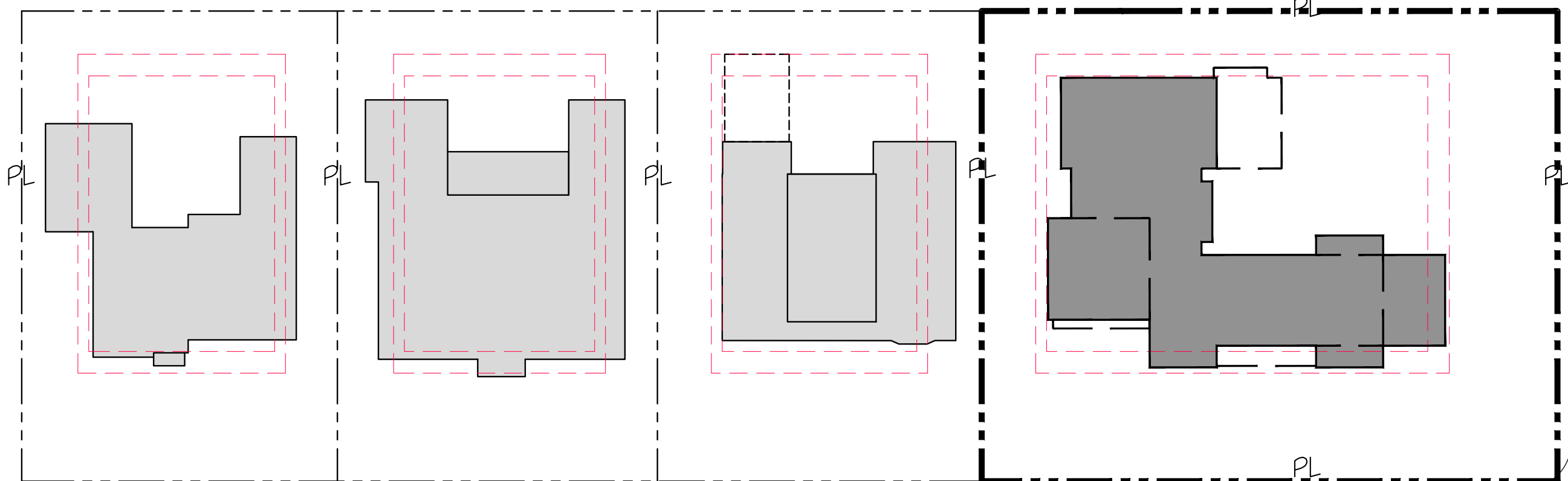


1053 N. LAKE WAY
2-STORY RESIDENCE W/ POOL,
BUILT IN 2016
7,033 SF ON 15,817 SF LOT

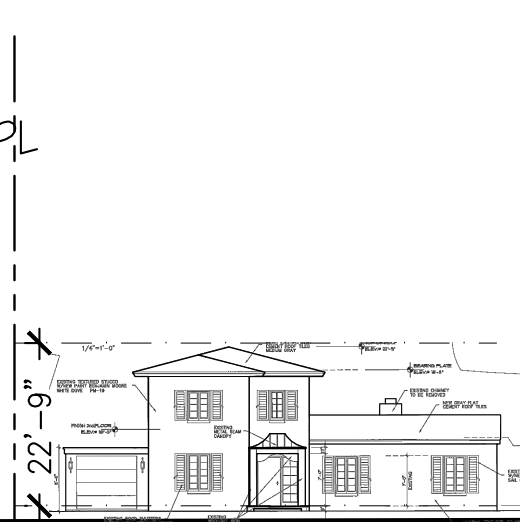
LAURIAN LANE

NEIGHBORING ELEVATIONS

ON N. LAKE WAY FACING EAST N.T.S.

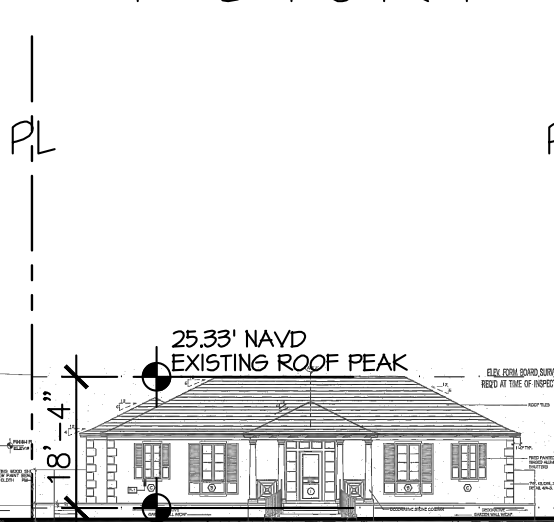


274 OGR
2-STORY



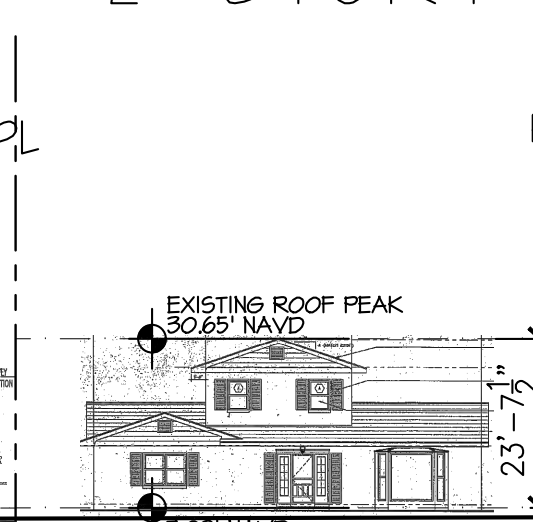
274 ORANGE GROVE RD
2-STORY W/ POOL
BUILT-IN 1940
2,719 SF ON 8,156 SF

280 OGR
1-STORY



280 ORANGE GROVE RD
1-STORY W/ POOL
BUILT-IN 1951
3,185 SF ON 8,156 SF

286 OGR
2-STORY



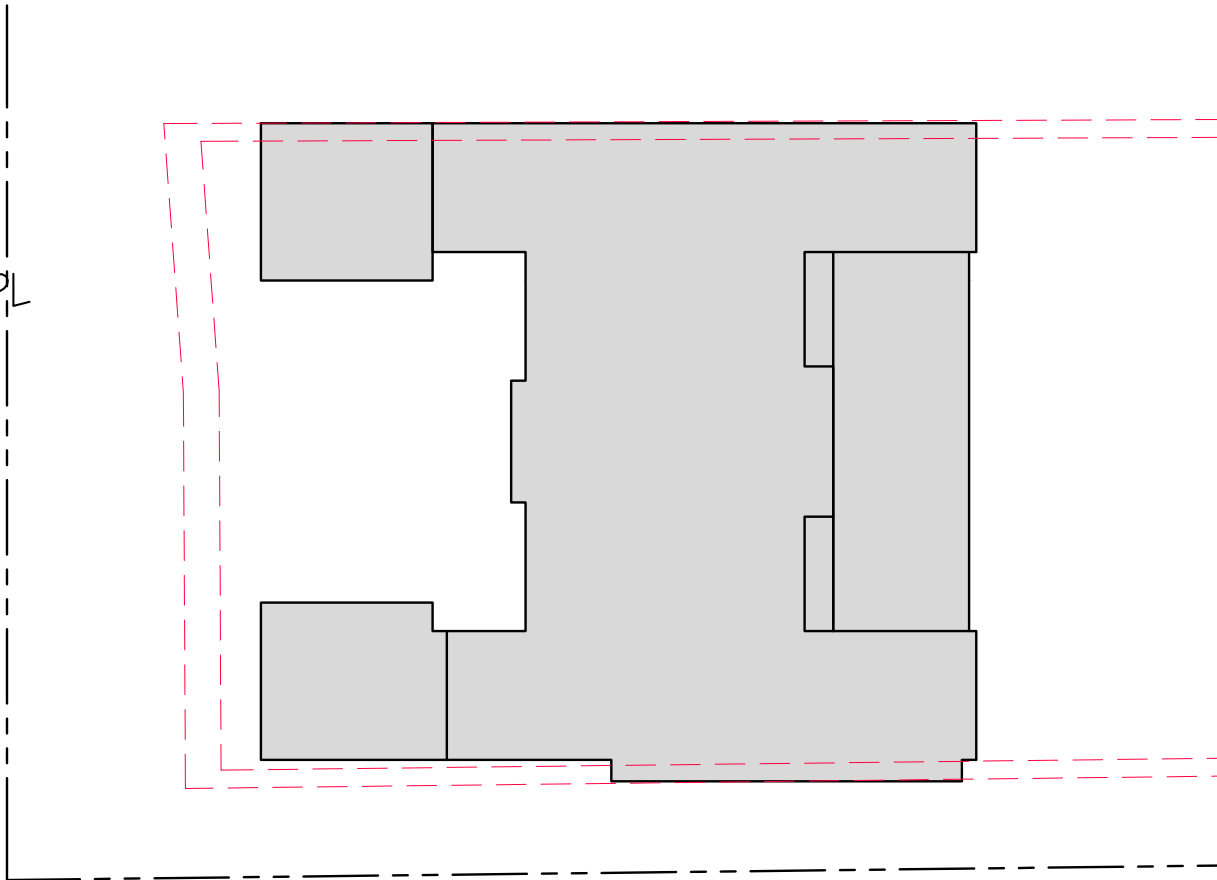
286 ORANGE GROVE RD
2-STORY W/ POOL
BUILT-IN 1951
(P.C. RENO/ADD)
2,640 SF ON 8,156 SF

* 292 OGR
PROPOSED 2-STORY



292 ORANGE GROVE RD
SUBJECT PROPERTY
PROPOSED 2-STORY RESIDENCE W/ POOL
5,850 SF ON 14,494 SF LOT

N LAKE WAY



1072 NLW 2-STORY



1072 N. LAKE WAY
2-STORY RESIDENCE WITH POOL
BUILT IN 1999
9,807 SF ON 28,423 SF LOT

LAKE TRAIL

LAKE WORTH

NOTES: 1- ALL PROPERTIES SHOWN ARE LOCATED IN R-B ZONING
2- ALL INFO PROVIDED BY OUR SURVEYOR, P.B. RECORDS AND/OR PAPA

ABBREVIATIONS: U.C. = UNDER CONSTRUCTION
P.C. = PROPOSED CONSTRUCTION

NEIGHBORING ELEVATIONS

ON ORANGE GROVE RD FACING SOUTH N.T.S.

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C001914

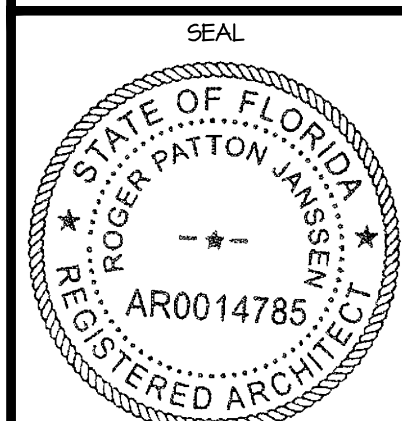
DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

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- 05-11-23 FIRST SUBMITTAL
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- 09-05-23 FINAL DROP OFF REV 01
- 09-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-0.03

JOB NUMBER: 22-147



1- EXISTING SOUTH ELEVATION



2- EXISTING SOUTH ELEVATION



3- EXISTING COVERED ENTRY
AT SOUTH ELEVATION



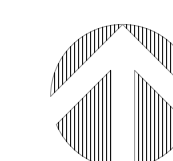
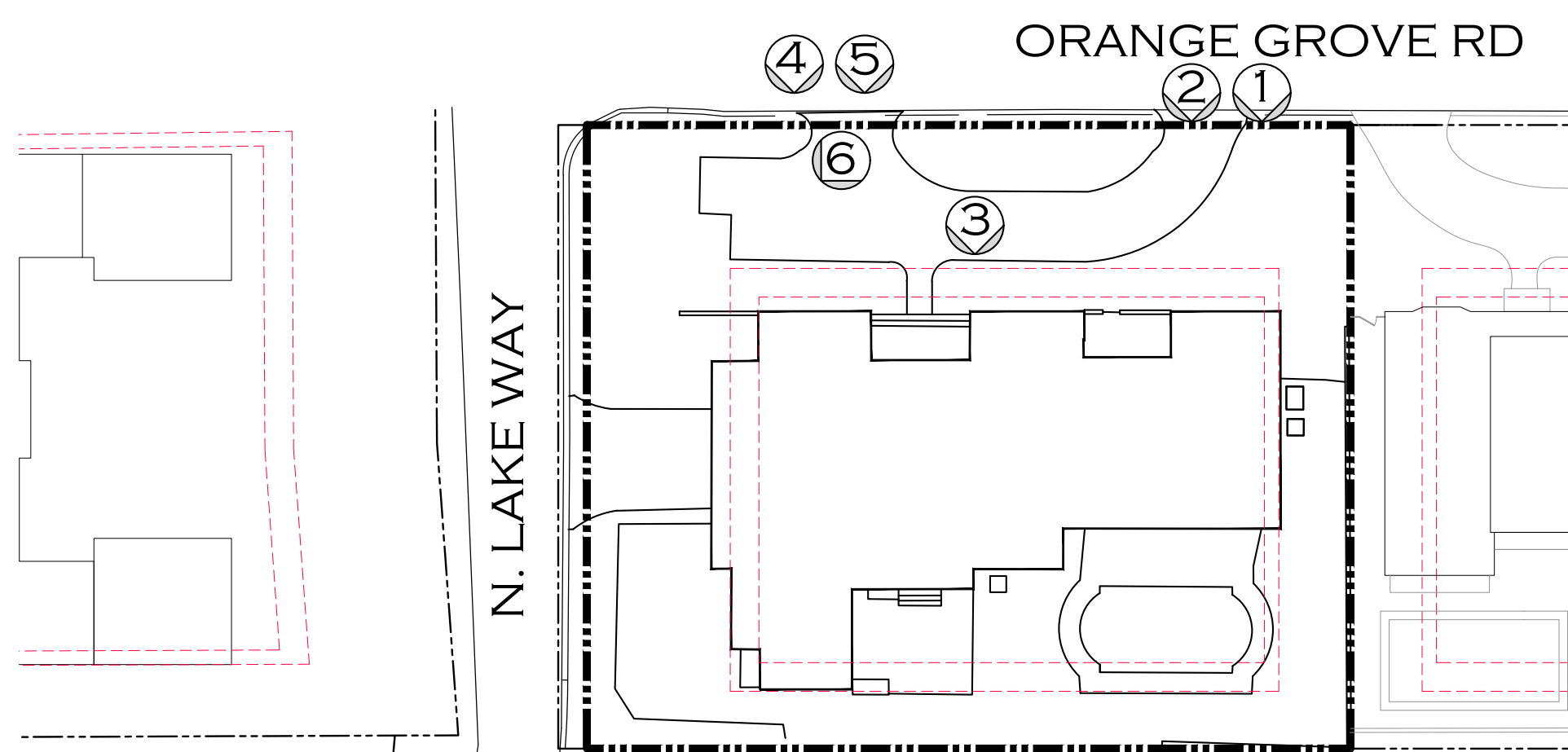
4- EXISTING SOUTH ELEVATION



5- EXISTING SOUTH ELEVATION



6- EXISTING SOUTH ELEVATION
AT WEST SIDE YARD



EXISTING SITE PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-833-4101, LICENSE #AA-C0014

DATE: 04-24-2023

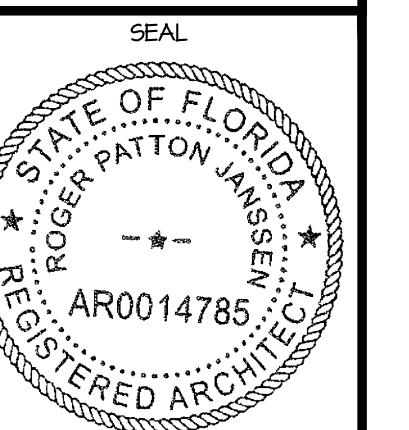
DRAWN: MLM

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- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

IM-O.01

JOB NUMBER: 22-147



1- EXISTING SOUTH ELEVATION
AT EAST SIDE YARD



2- EXISTING EAST SIDE YARD



3- EXISTING EAST SIDE YARD



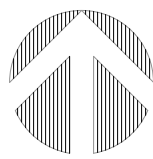
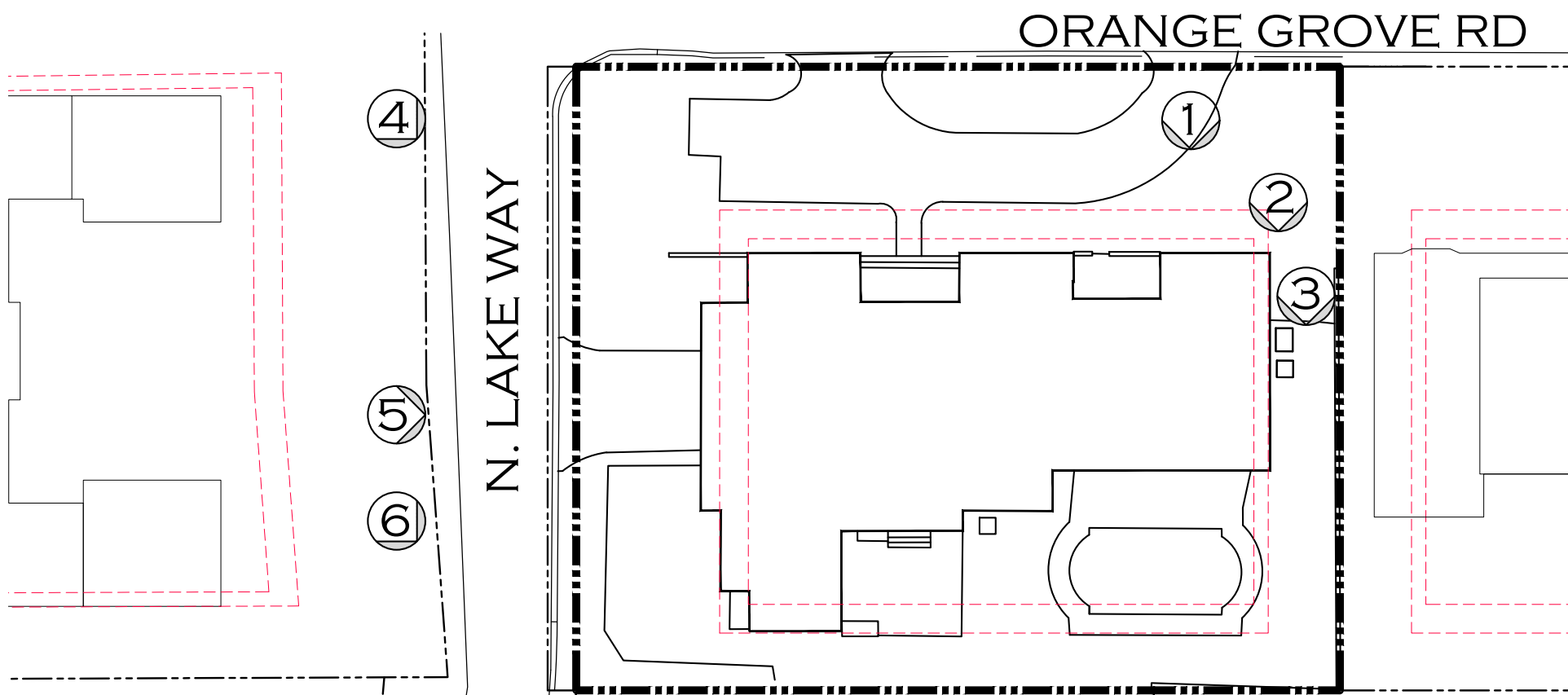
4- EXISTING WEST ELEVATION



5- EXISTING WEST ELEVATION
CURB CUT ON N. LAKE WAY



6- EXISTING WEST ELEVATION
UTILITIES - PER TOWN EASEMENT



EXISTING SITE PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-833-4101, LICENSE #AA-C001914

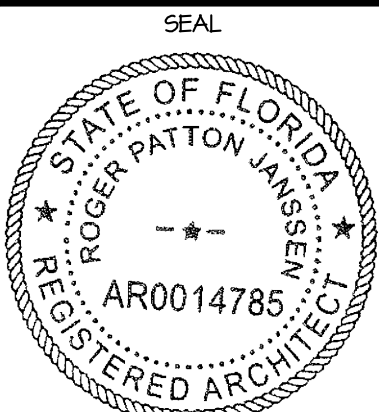
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- 09-22-23 PRESENTATION
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02

RESUBMIT
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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

IM-0.02

JOB NUMBER: 22-147



1 - 1070 N LAKE WAY



2 - 1072 N LAKE WAY



3 - 1090 N LAKE WAY



4 - 1065 N LAKE WAY



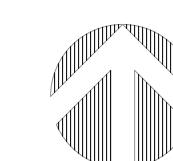
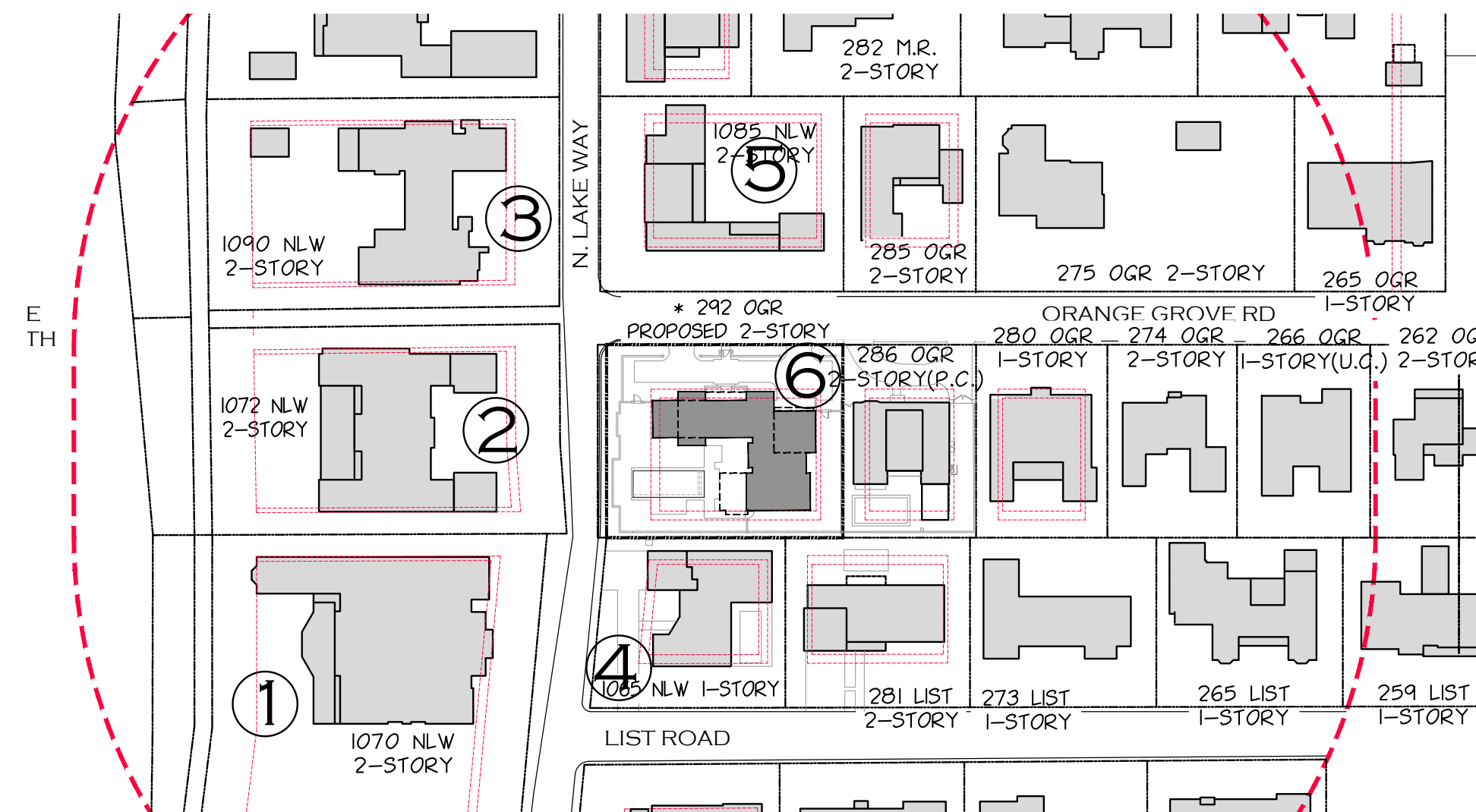
5A - 1085 N LAKE WAY
(VIEW FROM N. LAKE WAY)



5B - 1085 N LAKE WAY
(VIEW FROM ORANGE GROVE ROAD)



6 - 292 ORANGE GROVE RD - SUBJECT PROPERTY



NEIGHBORING PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-833-4101, LICENSE #AA-C001914

DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

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• 05-11-23 FIRST SUBMITTAL

• 05-30-23 SECOND SUBMITTAL

• 07-11-23 FINAL DROP OFF

• 08-18-23 PRESENTATION

• 04-05-23 FINAL DROP OFF REV 01

• 04-22-23 PRESENTATION

W/ CORRECTIONS

• 10-04-23 FINAL DROP OFF REV 02

• 10-16-23 FINAL DROP OFF REV 02

RESUBMIT

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1 - 285 ORANGE GROVE ROAD



2 - 275 ORANGE GROVE RD



3 - 265 ORANGE GROVE RD



4 - 262 ORANGE GROVE RD



5 - 266 ORANGE GROVE RD



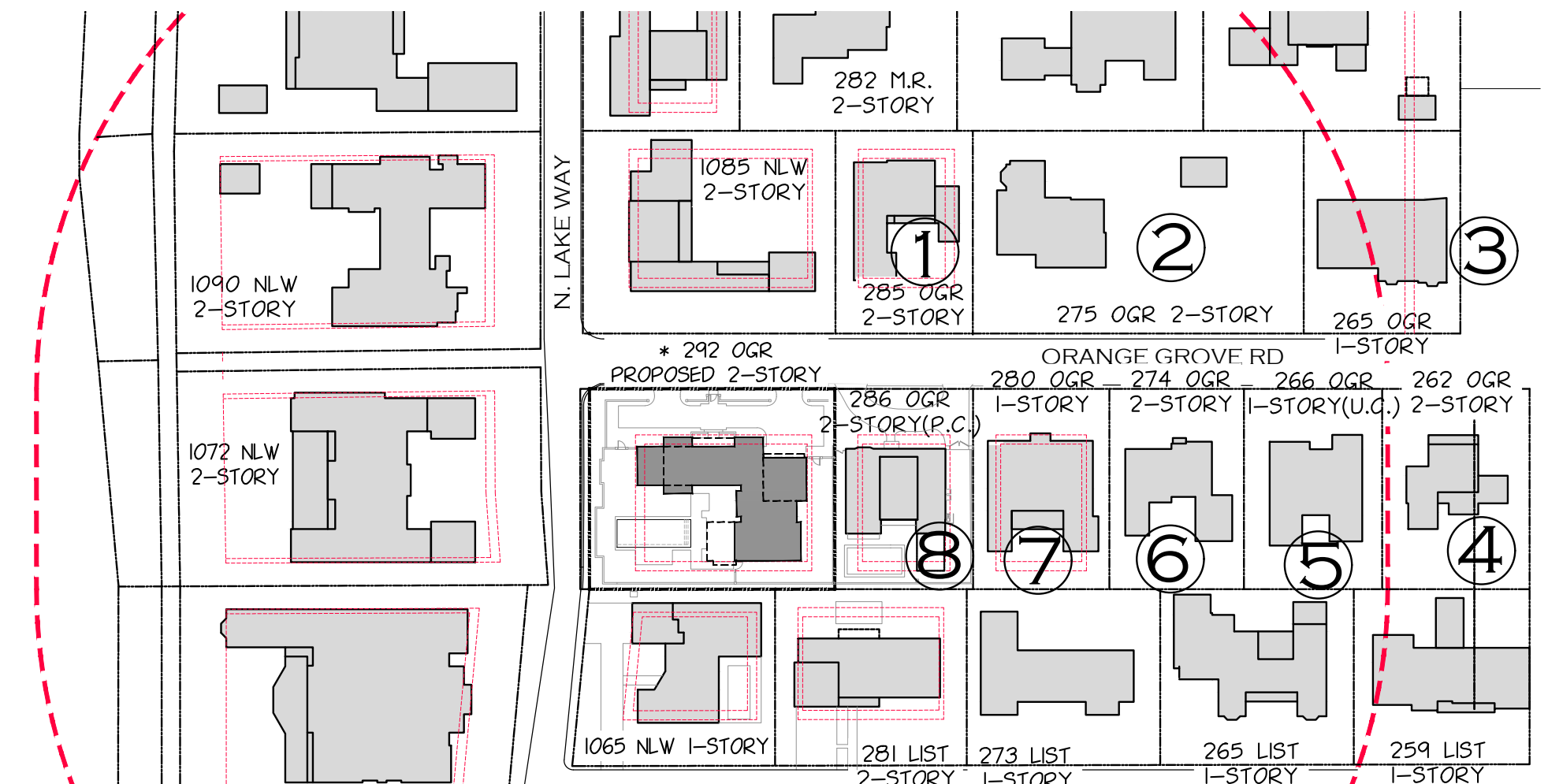
6 - 274 ORANGE GROVE ROAD



7 - 280 ORANGE GROVE RD



8 - 286 ORANGE GROVE RD



NEIGHBORING PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

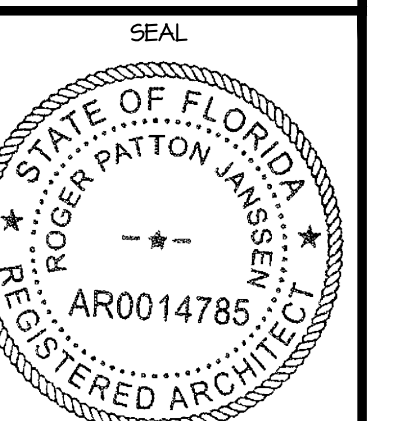
DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-833-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM

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 - 08-18-23 PRESENTATION
 - 09-05-23 FINAL DROP OFF REV 01
 - 09-22-23 PRESENTATION
 - 10-04-23 FINAL DROP OFF REV 02
 - 10-16-23 FINAL DROP OFF REV 02
 - RESUBMIT

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

IM-1.02

JOB NUMBER: 22-141



1 - 281 LIST RD



2 - 273 LIST ROAD



3 - 265 LIST RD



4 - 259 LIST RD



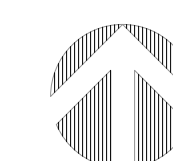
5 - 264 LIST RD



6 - 272 LIST RD



7 - 280 LIST RD



NEIGHBORING PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

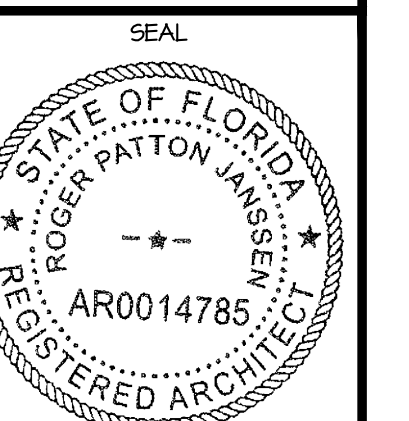
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• 10-04-23 FINAL DROP OFF REV 02
• 10-16-23 FINAL DROP OFF REV 02
• RESUBMIT

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

IM-1.03

JOB NUMBER: 22-147



1 - 1050 N LAKE WAY



2 - 1060 N LAKE WAY



3 - 1055 N LAKE WAY



4 - 1053 N LAKE WAY



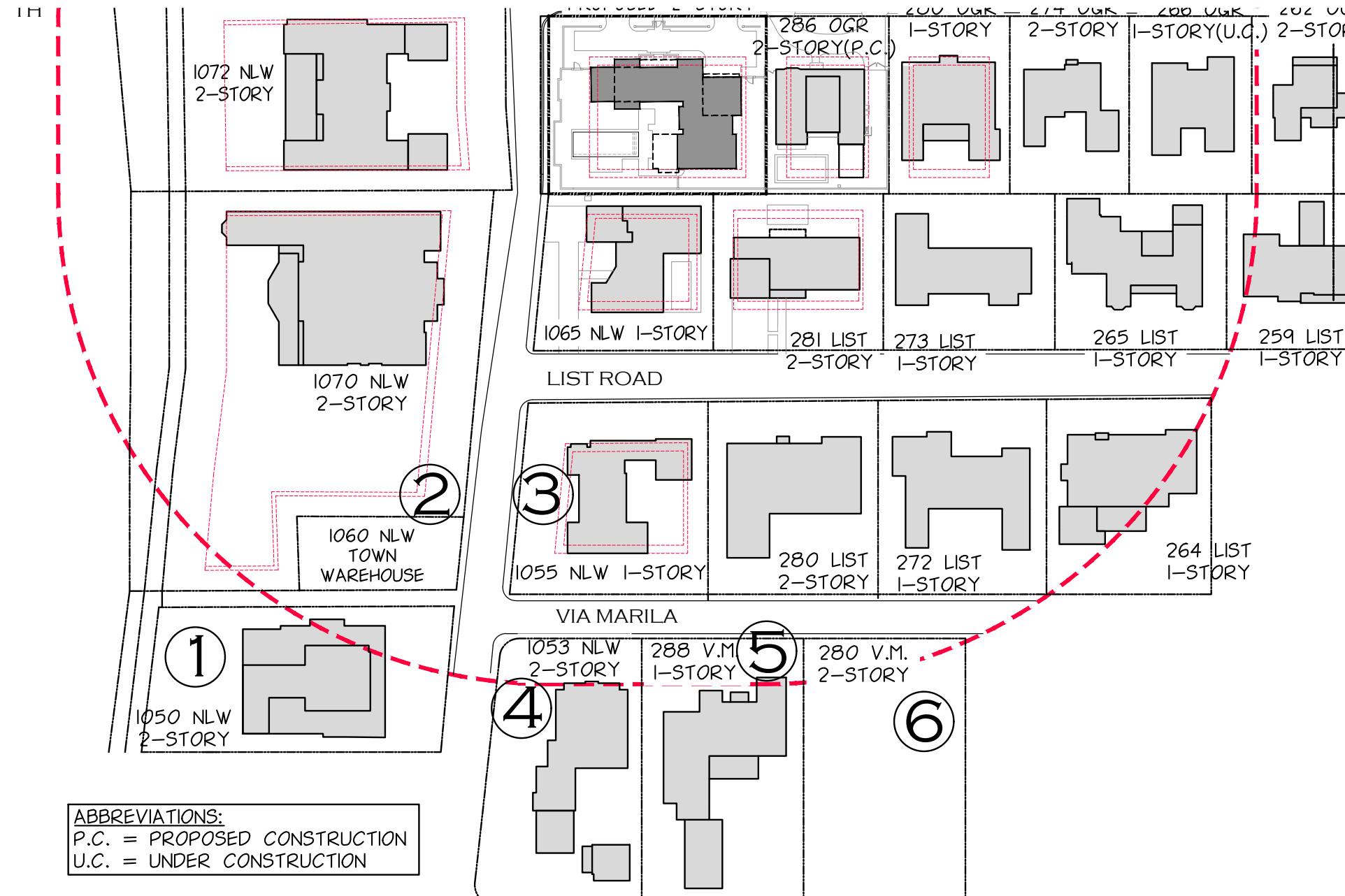
5 - 288 VIA MARILA



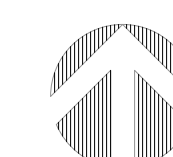
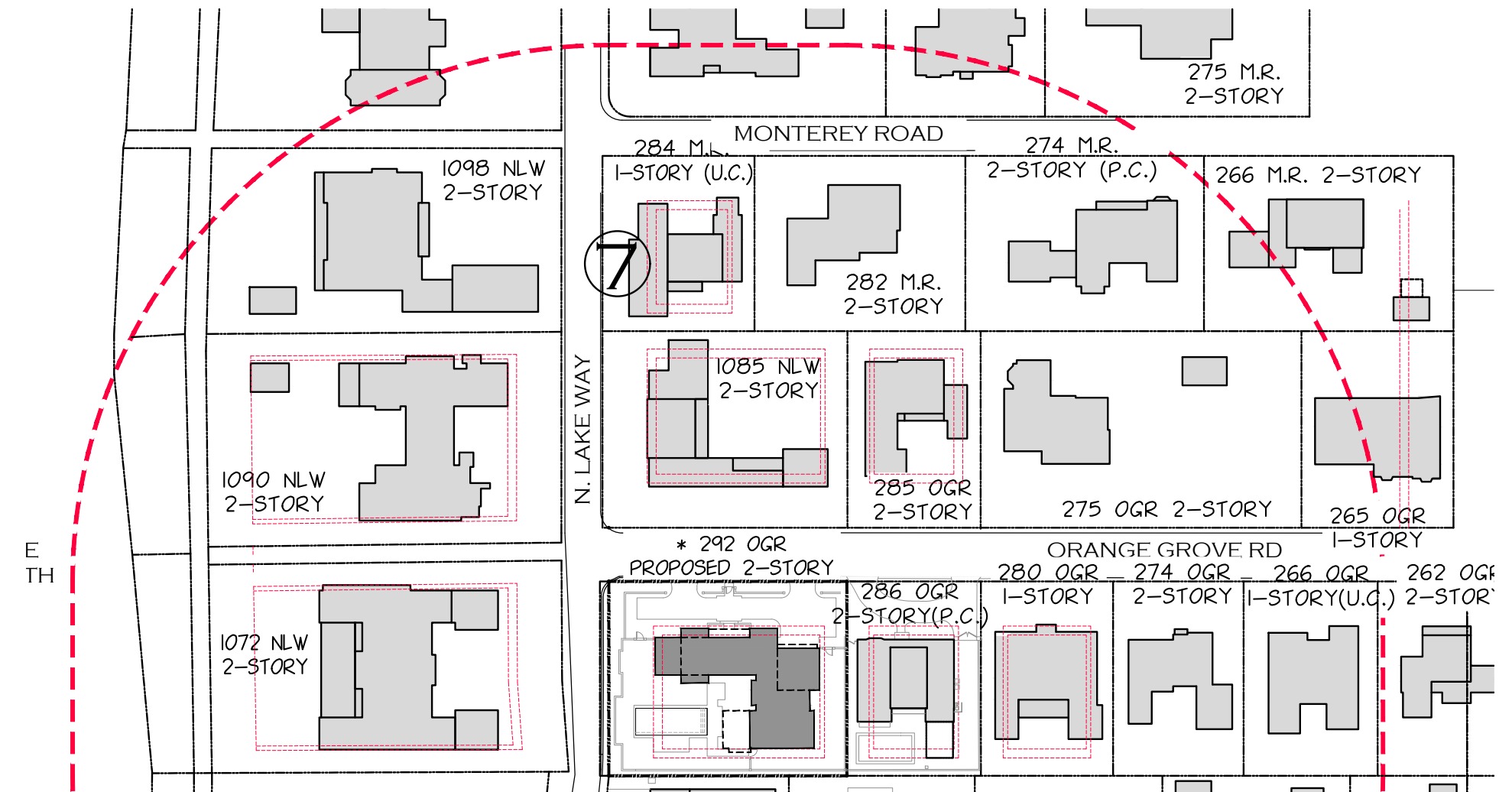
6 - 280 VIA MARILA



7 - 284 MONTEREY RD



ABBREVIATIONS:
P.C. = PROPOSED CONSTRUCTION
U.C. = UNDER CONSTRUCTION



NEIGHBORING PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-933-4101, LICENSE #AA-C001914

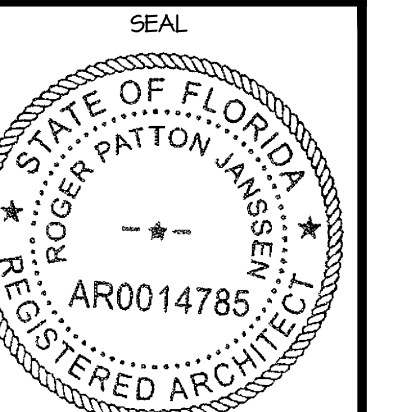
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- 04-22-23 PRESENTATION W/ CORRECTIONS
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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

IM-1.04

JOB NUMBER: 22-141



1 - 1098 N LAKE WAY



2 - 1100 N LAKE WAY



3 - 1105 N LAKE WAY



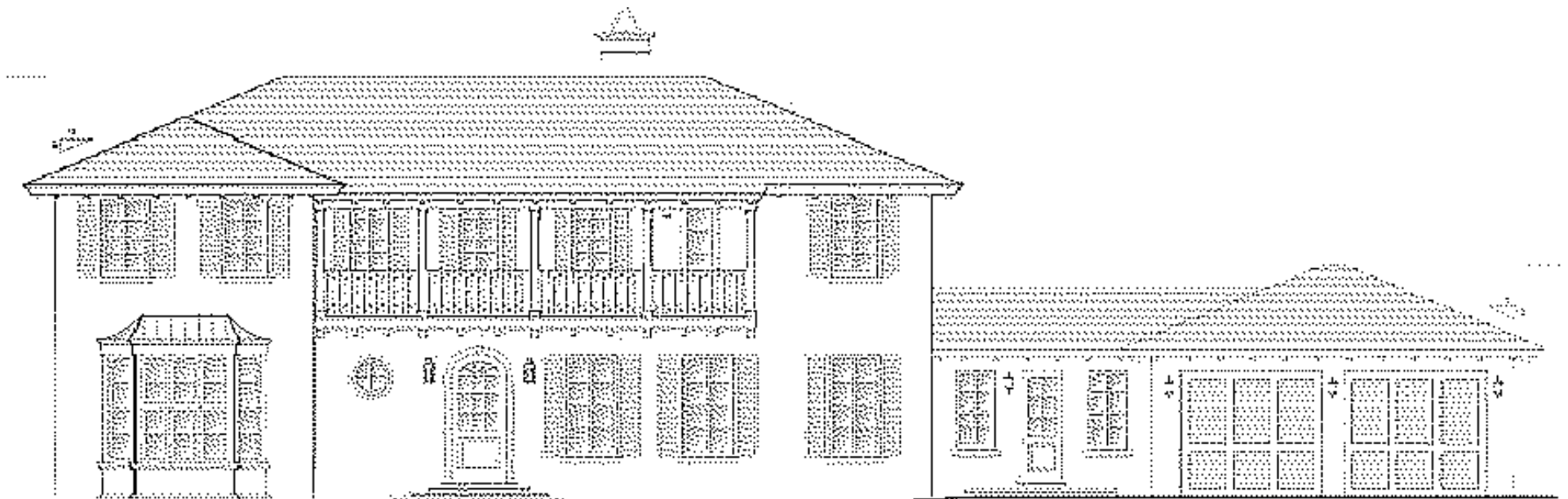
4 - 281 MONTEREY RD



5 - 275 MONTEREY RD



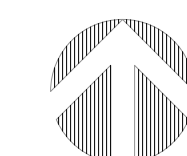
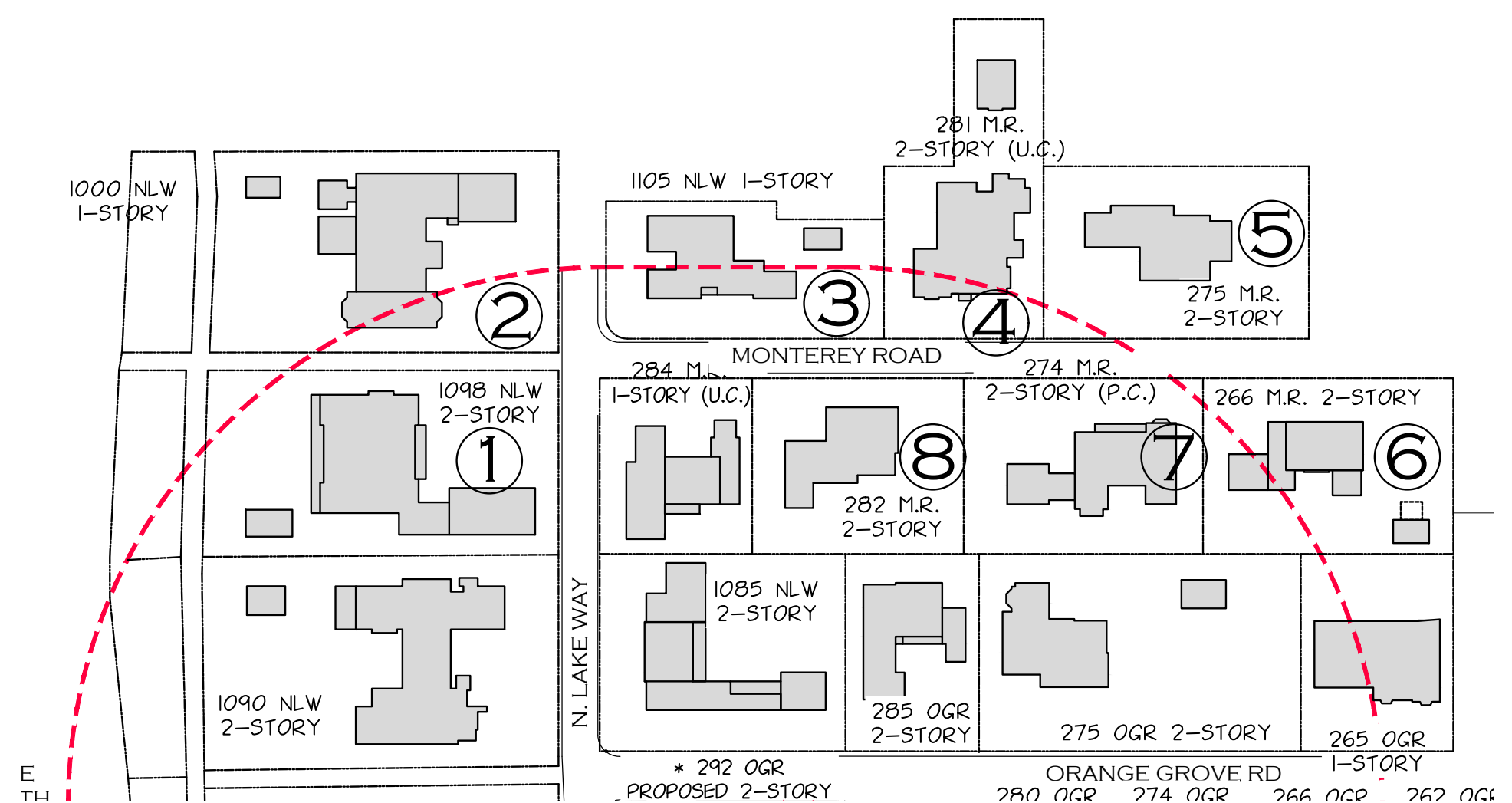
6 - 266 MONTEREY RD



7 - 274 MONTEREY RD



8 - 282 MONTEREY RD



NEIGHBORING PHOTOS & KEY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

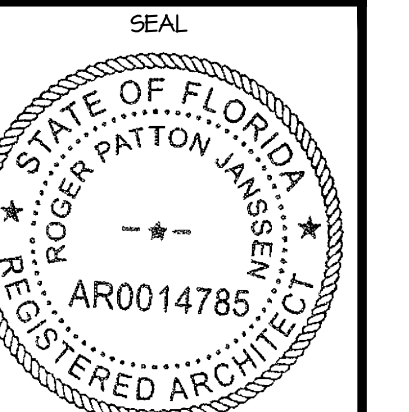
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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

IM-1.05

JOB NUMBER: 22-147



1- INTERSECTION AT OGR AND NLW (NE)



2- INTERSECTION AT OGR AND NLW (WEST)



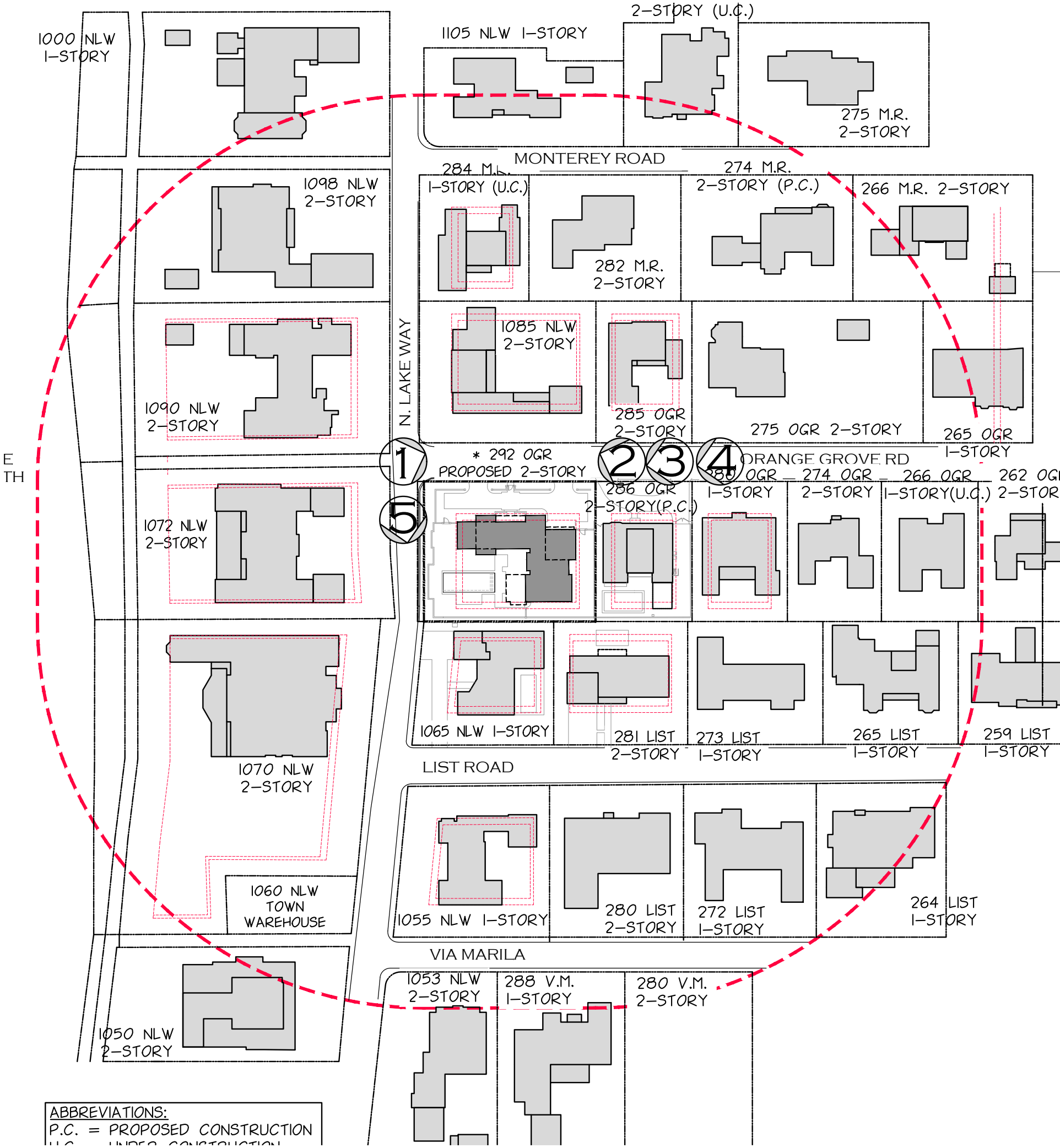
3- INTERSECTION AT OGR AND NLW (WEST)



4- ORANGE GROVE ROAD - FACING WEST



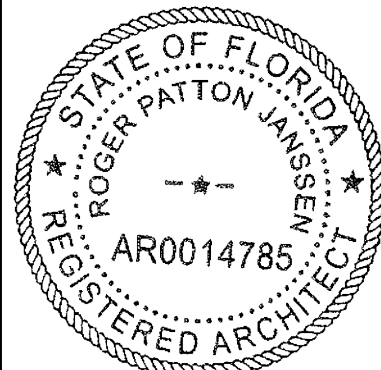
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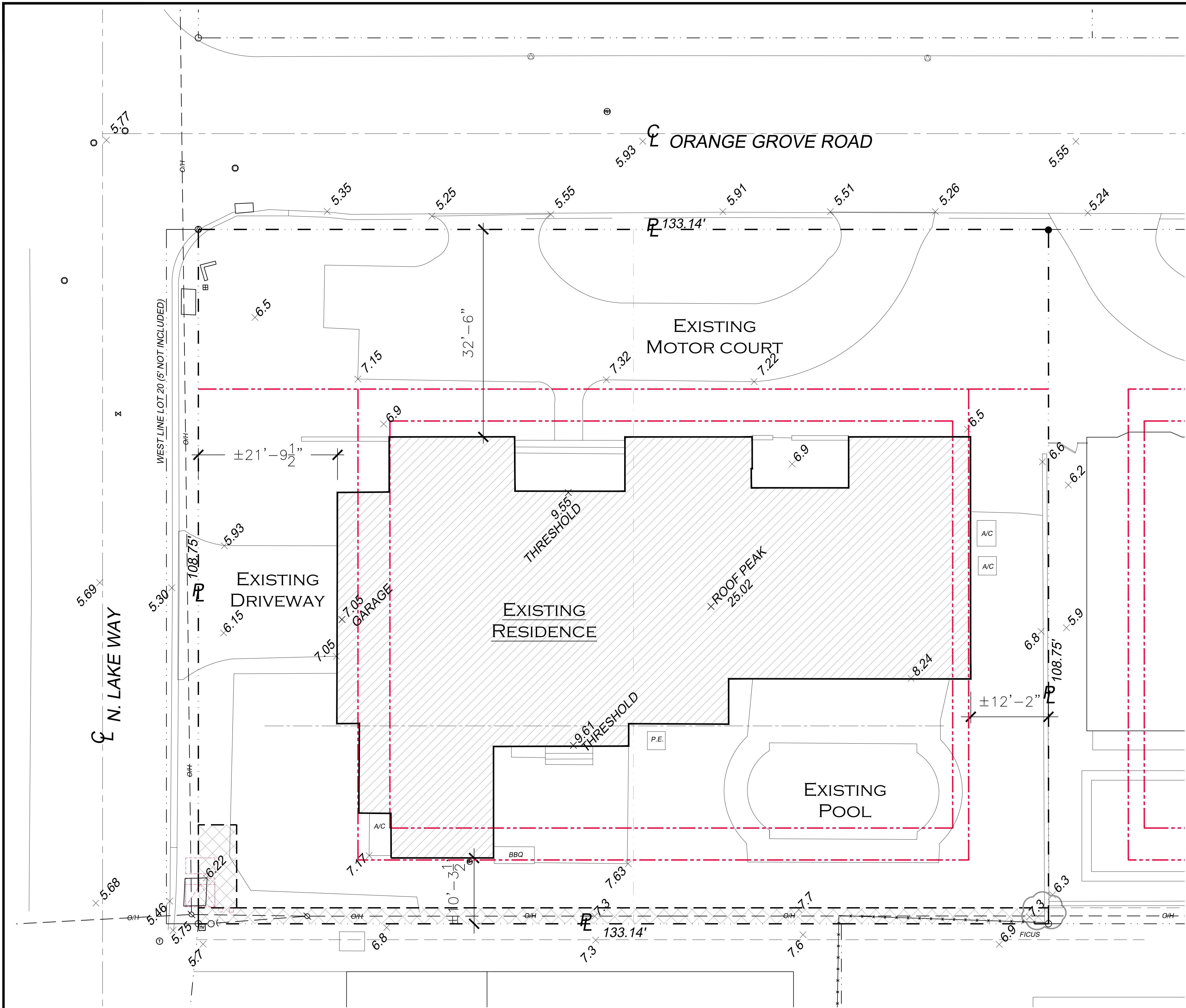


PROPOSED RESIDENCE AT:
292 ORANGE GROVE ROAD
PALM BEACH COUNTY, FLORIDA
TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE #AA-C001914

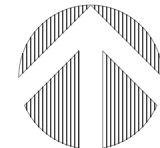
DATE: 04-24-2023
DRAWN: MLM
REVISIONS:
• 04-24-23 PRE-APP
• 05-11-23 FIRST SUBMITTAL
• 05-30-23 SECOND SUBMITTAL
• 07-11-23 FINAL DROP OFF
• 08-18-23 PRESENTATION
• 09-05-23 FINAL DROP OFF REV 01
• 09-22-23 PRESENTATION
• 10-04-23 FINAL DROP OFF REV 02
• 10-16-23 FINAL DROP OFF REV 02
RESUBMIT
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SEAL

ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086
DRAWING NO.
IM-2.01
JOB NUMBER: 22-147



EXISTING RESIDENCE
LOT SIZE = 14,479 SF
FINISH FLR ELEV. = 9.6' NAVD
FOOTPRINT = ± 4,332 SF (30%)
A/C SPACE = ± 3,816 SF

SITE PLAN - EXISTING
SCALE: 1/8"=1'-0"



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

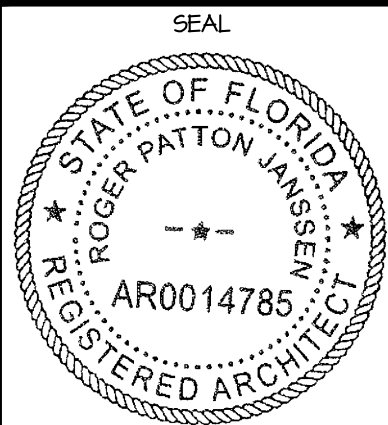
DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-933-4707, LICENSE #AA-C001974

DATE: 04-24-2023
DRAWN: MLM

REVISIONS:
• 04-24-23 PRE-APP
• 05-11-23 FIRST SUBMITTAL
• 05-30-23 SECOND SUBMITTAL
• 07-11-23 FINAL DROP OFF
• 08-18-23 PRESENTATION
• 09-05-23 FINAL DROP OFF REV 01
• 09-22-23 PRESENTATION
• 10-04-23 FINAL DROP OFF REV 02
• 10-16-23 FINAL DROP OFF REV 02
• RESUBMIT

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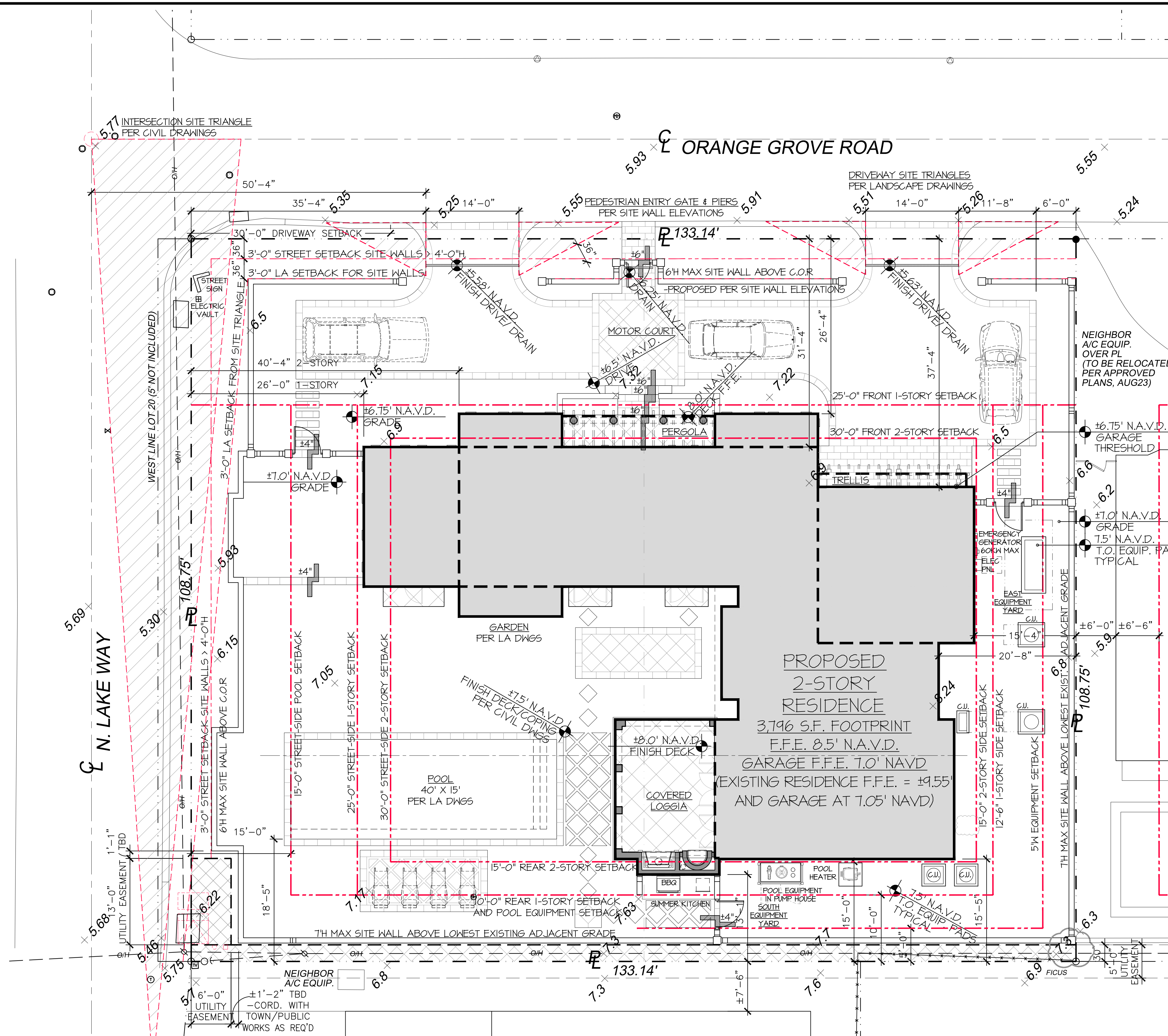


ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

SP-1.00

JOB NUMBER: 22-147



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Zoning Legend			
1	Property Address:	292 ORANGE GROVE ROAD	
2	Zoning District:	R-B	
3	Structure Type:	SINGLE-FAMILY RESIDENCE	
4		Required/Allowed	Existing
5	Lot Size (sq ft)	10,000 SF	14,500 SF
6	Lot Depth	100'	108.75'
7	Lot Width	100'	133.14'
8	Lot Coverage (Sq Ft and %)	4,344 SF (30%)	N/A
9	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs, Structure, etc.)	N/A	5,850 SF
10	Cubic Content Ratio (CCR) (R-B ONLY)	57,420 CF/3.96%	N/A
11	*Front Yard Setback (Ft.)	25'-0"/30'-0"	N/A
12	*Side Yard Setback (1st Story) (Ft.)	12'-6" (25'-0"ST)	N/A
13	*Side Yard Setback (2nd Story) (Ft.)	15'-0" (30'-0"ST)	N/A
14	*Rear Yard Setback (Ft.)	10'-0"/15'-0"	N/A
15	Angle of Vision (Deg.)	100	N/A
16	Building Height (Ft.)	22'-0"	N/A
17	Overall Building Height (Ft.)	30'-0"	N/A
18	Crown of Road (COR) (NAVD)	N/A	5.93'
19	Max. Amount of Fill Added to Site (Ft.)	8.5'+5.9'/2=1.3'	N/A
20	Finished Floor Elev. (F.F.E.) (NAVD)	N/A	9.6' NAVD
21	Zero Datum for point of meas. (NAVD)	7.43'	N/A
22	FEMA Flood Zone Designation	N/A	X
23	Base Flood Elevation (BFE) (NAVD)	N/A	N/A
24	Landscape Open Space (LOS) (Sq Ft and %)	6,516 SF/45%	6,876 SF/47.5%
25	Perimeter LOS (Sq Ft and %)	3,257.5 (50%)	3,824SF/86.2%
26	Front Yard LOS (Sq Ft and %)	1,331.4 (40%)	1,876SF/56.4%
27	**Native Plant Species %	Please refer to separate landscape legend.	

* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

*REFER TO CCR DIAGRAM FOR CALCULATIONS INCLUDING CCR ABOVE F.F.E. AND CCR BELOW F.F.E.

REV BF 20220616

ZERO DATUM

BUILDING HEIGHT PER CORNER LOT:
N. LAKE WAY (5.68' NAVD) + (5.69' NAVD)
= 11.37 / 2 = 5.68' NAVD
ORANGE GROVE RD (5.93' NAVD) + (5.71' NAVD)
= 11.7 / 2 = 5.85' NAVD
5.68 + 5.85 = 11.53 / 2 = 5.76' + 18"
= 7.26' NAVD ZERO DATUM

KEY

0.0' NAVD PROPOSED
+ 0.00 EXISTING

CURRENTLY PROPOSED
SITE PLAN

SCALE: 1/8"=1'-0"



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM

REVISIONS:

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- 05-30-23 SECOND SUBMITTAL
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- 04-05-23 FINAL DROP OFF REV 01
- 04-22-23 PRESENTATION
- W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02

RESUBMIT

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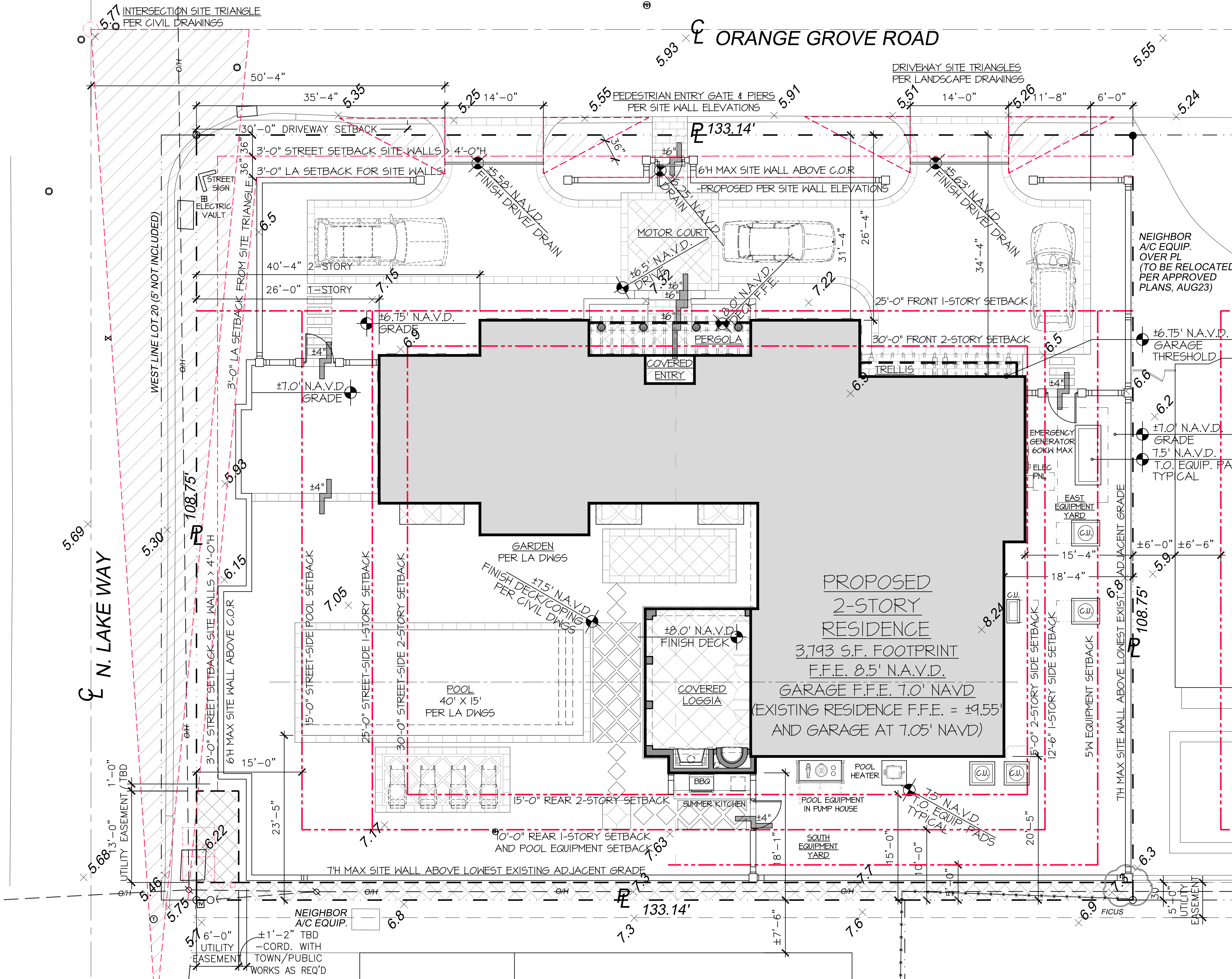
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Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Zoning Legend				ARCOM SEP23	
1	Property Address: 292 ORANGE GROVE ROAD				
2	Zoning District: R-B				
3	Structure Type: SINGLE-FAMILY RESIDENCE				
4		Required/Allowed	Existing	Proposed	REVISIONS
5	Lot Size (sq ft)	10,000 SF	14,479 SF	N/C	
6	Lot Depth	100'	108.75'	N/C	
7	Lot Width	100'	133.14'	N/C	
8	Lot Coverage (Sq Ft and %)	4,344 SF (30%)	N/A	3,724SF (25.7%)	- 69 SF
9	Enclosed Square Footage (1st & 2nd Fl, Basement, Accs, Structure, etc)	N/A	N/A	5,850 SF	- 66 SF
10	Cubic Content Ratio (CCR) (R-B ONLY)	57,337 CF/3.96%	N/A	* 54,490 CF/4.03%	* 1,070 CF OR .07% OVER
11	*Front Yard Setback (Ft.)	25'-0"/30'-0"	N/A	26'-4"/31'-4" N	
12	* Side Yard Setback (1st Story) (Ft.)	12'-6" (25'-0"ST)	N/A	15'-4" E (26'-0" W)	
13	* Side Yard Setback (2nd Story) (Ft.)	15'-0" (30'-0"ST)	N/A	15'-4" E (40'-4" W)	
14	*Rear Yard Setback (Ft.)	10'-0"/15'-0"	N/A	18'-1"/20'-5" S	- 1'-4"
15	Angle of Vision (Deg.)	100	N/A	73	- 1 DEG
16	Building Height (Ft.)	22'-0"	N/A	20'-8 3/8"	
17	Overall Building Height (Ft.)	30'-0"	N/A	27'-11 7/8"	
18	Crown of Road (COR) (NAVD)	N/A	5.76' (AVG)	N/C	
19	Max. Amount of Fill Added to Site (Ft.)	8.5'+5.9'/2=1.3'	N/A	1.3'	
20	Finished Floor Elev. (FFE)(NAVD)	N/A	9.6' NAVD	8.5' NAVD	
21	Zero Datum for point of meas. (NAVD)	7.26'	N/A	7.26'	
22	FEMA Flood Zone Designation	N/A	X	N/C	
23	Base Flood Elevation (BFE)(NAVD)	N/A	N/A	N/A	
24	Landscape Open Space (LOS) (Sq Ft and %)	6,516 SF/45%	6,876 SF/47.5%	6,887 SF/47.6%	+ 335 SF
25	Perimeter LOS (Sq Ft and %)	3,256 (50%)	3,824SF/86.2%	3,359 SF/75%	
26	Front Yard LOS (Sq Ft and %)	1,331.4 (40%)	1,876SF/56.4%	1,337 SF/40.2%	
27	**Native Plant Species %	Please refer to separate landscape legend.			

* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

(1) VARIANCE REQUEST FOR CUBIC CONTENT RATIO OF 4.03 IN LIEU OF 3.96. SITE SPECIFIC HARDSHIP (DETAILED PER LETTER OF INTENT AND CCR DIAGRAM)

- 1,757 CF OR .12%

ZERO DATUM

BUILDING HEIGHT PER CORNER LOT:
N. LAKE WAY (5.68' NAVD) + (5.69' NAVD)
= 11.37 / 2 = 5.68' NAVD
ORANGE GROVE RD (5.93' NAVD) + (5.71' NAVD)
= 11.7 / 2 = 5.85' NAVD
5.68 + 5.85 = 11.53 / 2 = 5.76' + 18"
= 7.26' NAVD ZERO DATUM

KEY

0.0' NAVD PROPOSED
+ 0.00 EXISTING

**PREVIOUSLY PROPOSED
SITE PLAN**

SCALE: 1/8"=1'-0"



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

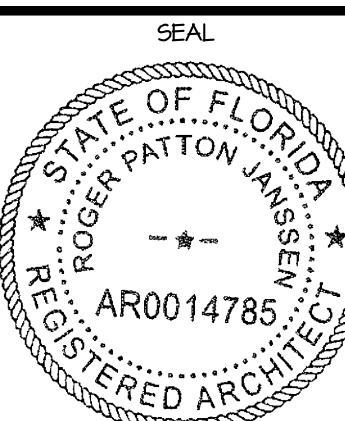
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM

REVISIONS:

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- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
- 07-11-23 FINAL DROP OFF
- 08-18-23 PRESENTATION
- 04-05-23 FINAL DROP OFF REV 01
- 04-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

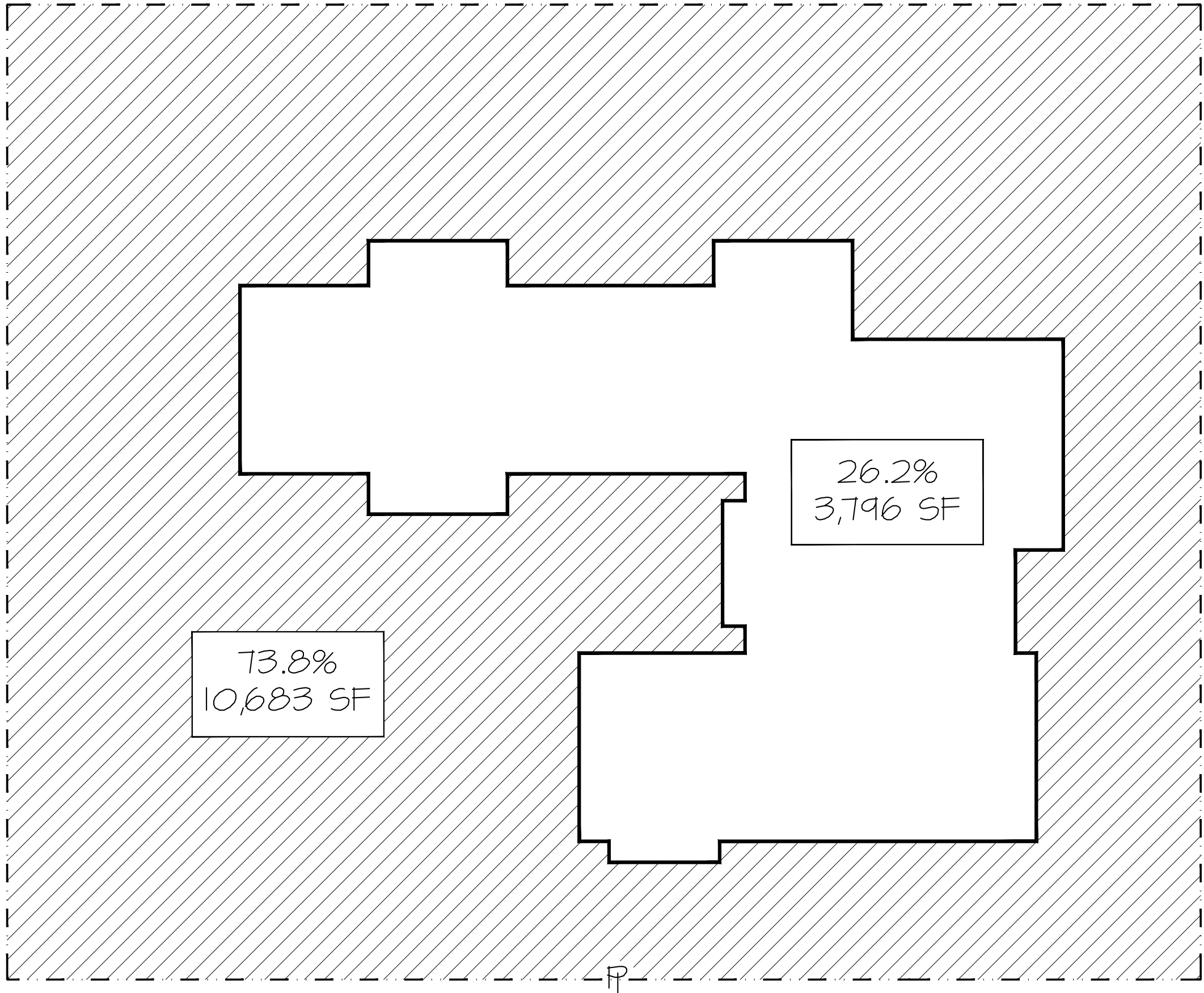
DRAWING NO.

SP-1.01A

JOB NUMBER: 22-147

DIAGRAM - LOT COVERAGE

TOTAL PROPOSED LOT COVERAGE/FOOTPRINT: 26.2% AT 3,796 S.F.
TOTAL ALLOWED LOT COVERAGE/FOOTPRINT: 30 % AT 4,344 S.F.

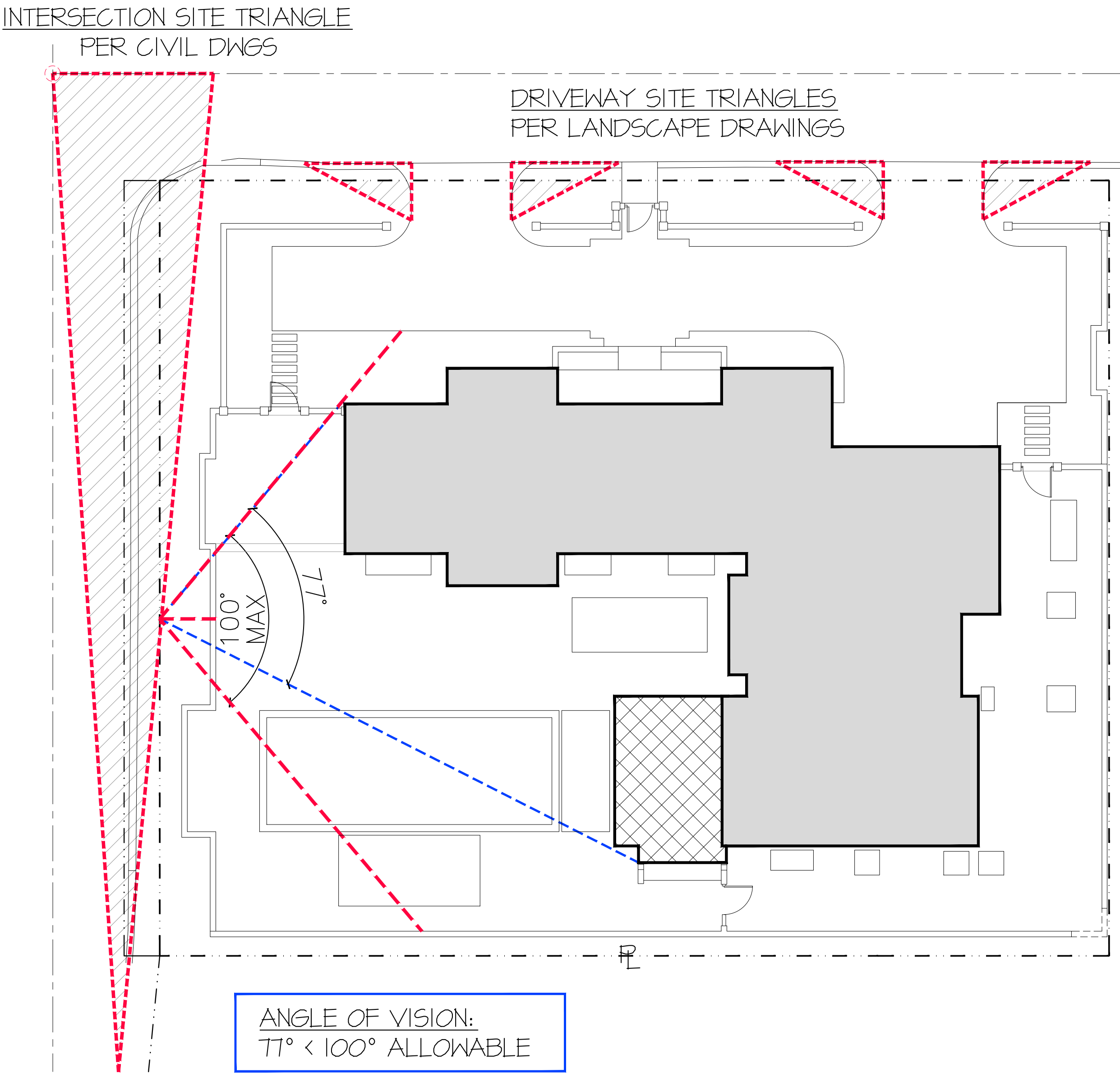


LOT SIZE: 14,479 SQUARE FEET

PROPOSED SQUARE FOOT DATA

RESIDENCE AREA CALCULATIONS:	SQUARE FOOTAGE:
AREA:	
FIRST FLOOR (AC):	2,801 S.F. 2,872 S.F.
SECOND FLOOR (AC):	2,447 S.F. 2,569 S.F.
TOTAL:	5,248 S.F. 5,441 S.F.
GARAGES:	
2 CAR GARAGE:	552 S.F.
PATIOS/ TERRACES (UNENCLOSED):	
FIRST FLOOR COVERED ENTRY:	28 S.F.
FIRST FLOOR COVERED LOGGIA:	364 S.F.
TOTAL:	392 S.F.
TRELLIS/ PERGOLA STRUCTURES:	142 S.F.
GRAND TOTAL ENCLOSED SPACE:	5,850 S.F. 5,993 S.F.
WITH COVERED UNENCLOSED SPACE:	6,242 S.F. 6,385 S.F.
2ND FLOOR UNCOVERED SPACE (BALCONY & TERRACE):	405 S.F. 385 S.F.
BUILDING FOOTPRINT:	25.7% AT 3,724 S.F. 26.2% 3,796
2-STORY ALLOWABLE LOT COVERAGE/ BUILDING FOOTPRINT:	30% AT 4,344 SF

DIAGRAM - ANGLE OF VISION AND SAFE SITE TRIANGLES



ZONING DIAGRAMS
N.T.S.



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

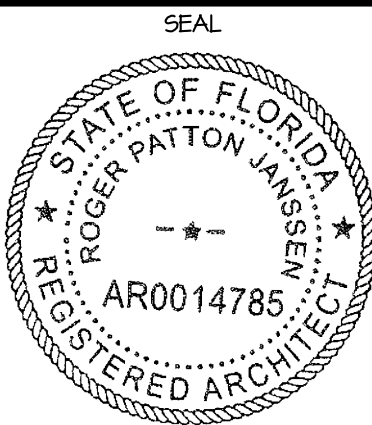
TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-833-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM

- REVISIONS:
- 04-24-23 PRE-APP
 - 05-11-23 FIRST SUBMITTAL
 - 05-30-23 SECOND SUBMITTAL
 - 07-11-23 FINAL DROP OFF
 - 08-18-23 PRESENTATION
 - 09-05-23 FINAL DROP OFF REV 01
 - 09-22-23 PRESENTATION W/ CORRECTIONS
 - 10-04-23 FINAL DROP OFF REV 02
 - 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

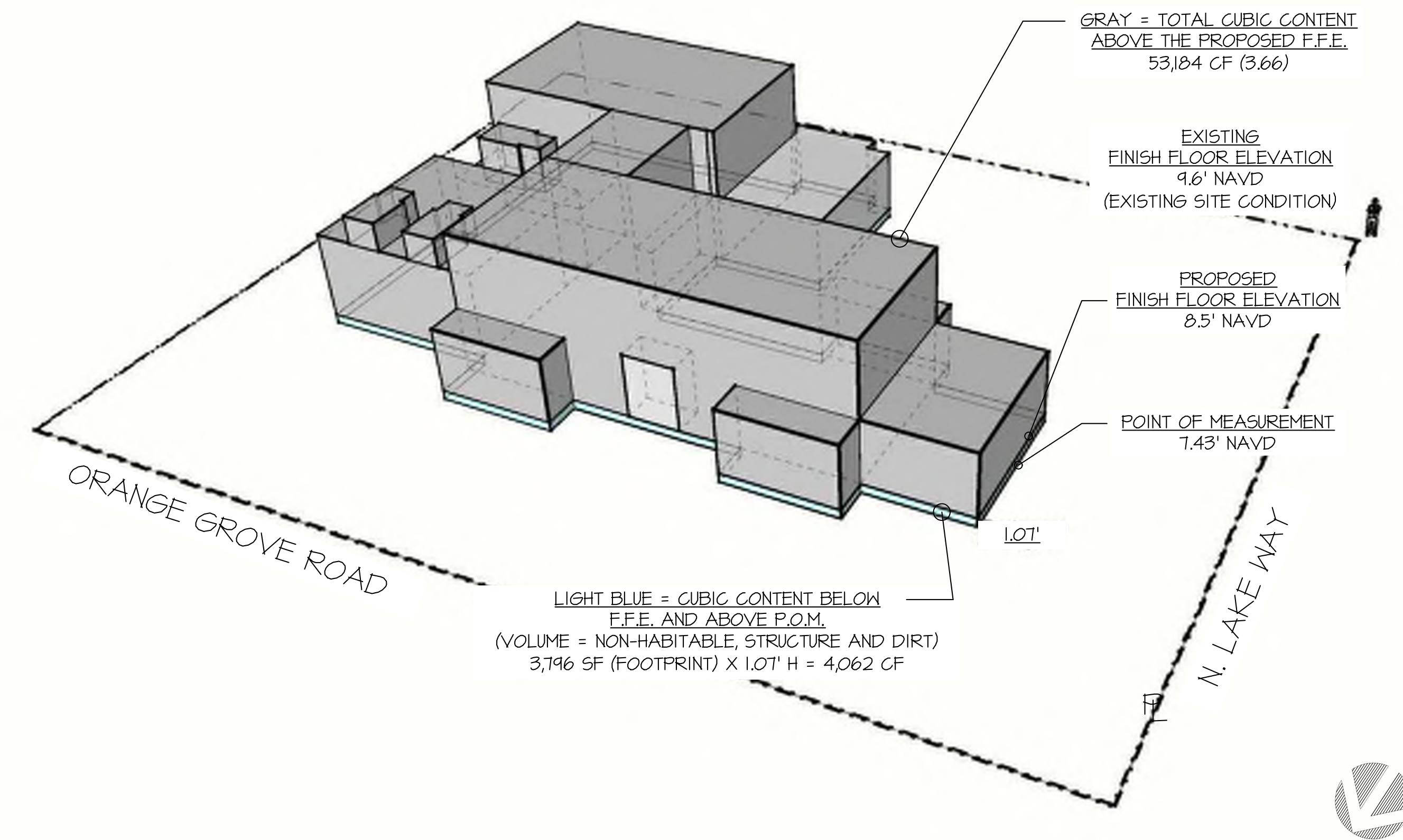
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SP-1.02

JOB NUMBER: 22-147

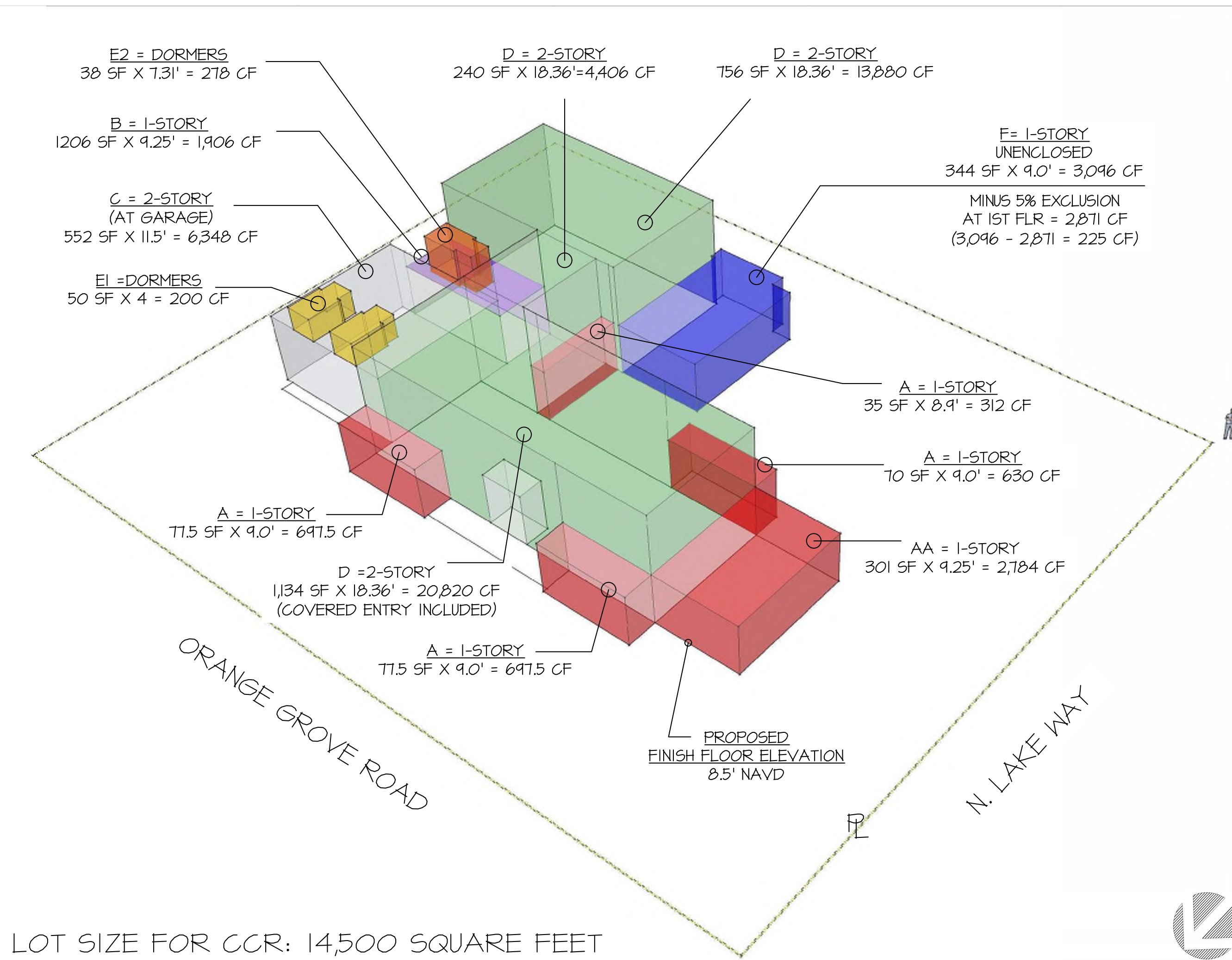
AXONOMETRIC 2 - CUBIC CONTENT BELOW F.F.E. + CUBIC CONTENT ABOVE F.F.E.

TOTAL PROPOSED CCR: 53,184 (ABOVE F.F.E.) + 4,062 (BELOW F.F.E./P.O.M.) = 57,246 CF OR 3.95%
MAX ALLOWABLE CCR: 57,420 CF OR 3.96%



AXONOMETRIC 1 - PROPOSED CUBIC CONTENT ABOVE PROPOSED F.F.E.

PROPOSED CUBIC CONTENT: 53,184 CF OR 3.66%
MAX ALLOWABLE CUBIC CONTENT: 57,420 CF OR 3.96%



VARIANCE (HARDSHIP DUE TO THE EXISTING SITE CONDITIONS)

VARIANCES 134-201
SECTION 134-893 (B) (13) : REQUEST A VARIANCE TO CONSTRUCT A RESIDENCE IN THE R-B ZONING DISTRICT WITH A CUBIC CONTENT RATIO OF 4.15 4.03 IN LIEU OF THE 3.96 MAXIMUM ALLOWED.
1) THE PROPERTY IS LOCATED IN THE R-B ZONING DISTRICT AND IS A CORNER LOT. TAKING THE TOWN'S POINT OF MEASUREMENT FROM AVERAGING THE CROWNS OF THE ROADS IS LOWER THAN THE NATURAL GRADE AND EXISTING RESIDENCE FINISHED FLOOR ELEVATION, WHICH NECESSITATES THE NEED FOR A CCR VARIANCE.
2) THE APPLICANT WAS NOT THE CAUSE OF THE SPECIAL CONDITIONS OF THE PROPERTY OR RESIDENCE. THE GRADE OF THE PROPERTY IS A NATURAL OCCURRENCE.
3) THE GRANTING OF THE VARIANCE WILL NOT CONFER ON THE APPLICANT A SPECIAL PRIVILEGE THAT IS DENIED TO THE NEIGHBORING PROPERTIES AS THE PROPOSED FINISHED FLOOR IS LOWER THAN THE EXISTING FFE.
4) THE HARDSHIP, WHICH RUNS WITH THE LAND, IS THAT THE GRADE OF THE PROPERTY AND EXISTING FFE IS HIGHER THAN THE TOWN'S POINT OF MEASUREMENT CALCULATION WHICH WOULD COUNT DIRT IN THE CCR CALCULATION NOT ACTUAL HOUSE VOLUME.
5) THE VARIANCE REQUESTED IS THE MINIMUM NECESSARY TO MAKE REASONABLE USE OF THE LAND CONSIDERING THE EXISTING FFE AND NATURAL GRADE OF THE SURROUNDING PROPERTY.
6) THE GRANTING OF THE VARIANCE WILL NOT BE INJURIOUS TO THE NEIGHBORHOOD.

EXISTING SITE CONDITONS VS. PROPOSED

PROPOSED F.F.E. = 8.5' NAVD -7.26' ZERO DATUM = 1.24' DIFFERENCE (IF F.F.E. WAS THE P.O.M. NO VARIANCE WOULD BE REQUIRED)

EXISTING FINISH FLOOR = 9.6' NAVD
PROPOSED FINISH FLOOR IS 1.1' LOWER THAN THE EXISTING F.F.E.
THE PROP. ZERO DATUM IS 2.34' LOWER THAN THE EXIST. F.F.E.

CUBIC CONTENT RATIO PER DIAGRAM/AXO 2

LOT SIZE FOR CCR:	14500 SF	AREA-SQ FT	HEIGHT	VOLUME-CUBIC FEET
1- TOTAL PROPOSED ABV F.F.E.:		PER DIAGRAM 1		53,184 CF (3.66)
2- FOOTPRINT X CCR BELOW F.F.E.:		3,796 SF	1.07'	4,062 CF
TOTAL PROPOSED CCR:				57,246 CF (3.95)
MAX ALLOWABLE CCR:				57,420 CF (3.96)

CUBIC CONTENT RATIO PER DIAGRAM/AXO 1 (ABOVE 8.5')

LOT SIZE FOR CCR:	14500 SF	AREA-SQ FT	HEIGHT	VOLUME-CUBIC FEET
A- ENCLOSED 1-STORY:	260 SF	9.0'/8.9'		2,337 CF
AA- ENCLOSED 1-STORY:	301 SF	9.25'		2,784 CF
B- ENCLOSED 1-STORY:	209 SF	9.25'		1,906 CF
C- ENCLOSED 2-STORY (GARAGE):	552 SF	11.5'		6,348 CF
D- ENCLOSED 2-STORY:	2,130 SF	18.36'		39,106 CF
EI- DORMERS:	50 SF	4.0'		200 CF
E2- DORMER:	38 SF	7.31'		278 CF
ENCLOSED TOTAL:				52,954 CF
F- UNENCLOSED:	344 SF	9.0'		3,096 CF
MINUS 5% EXCLUSION AT 1ST FLR:				2,871 CF
UNENCLOSED TOTAL:				225 CF
G- TRELLIS/ PERGOLA:	142 SF	9'-0"		N/A
PERGOLA 3%:	434 SF			(289 REMAINING)
TOTAL PROPOSED:				53,184 CF (3.66)

PER R-B SECT. 134-893 13B= LOT SIZE TO BE ROUNDED TO NEAREST 100'
MAX. ALLOWABLE CCR = $3.50 + ((60,000-14,500) / 50,000) \times .5$ = 3.96
= 57,337 C.F. 57,420 C.F.
UNENCLOSED LOGGAS ON 1ST FLR (5%) EXCLUSION TO CCR = 2,871 C.F.
PERGOLA /AWNING ALLOWABLE (3%) ALLOWABLE BEYOND FOOTPRINT = 434 S.F.

ZONING DIAGRAMS

N.T.S. CUBIC CONTENT & VARIANCE

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-833-4101, LICENSE #AA-C001914

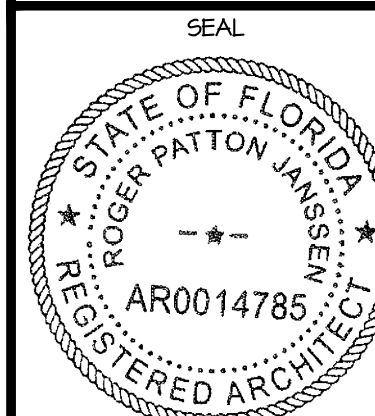
DATE: 04-24-2023

DRAWN: MLM

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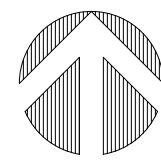
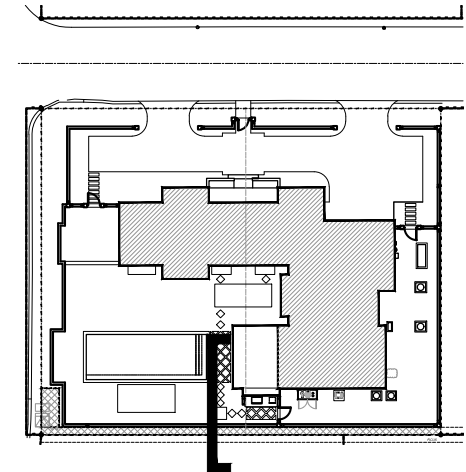
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

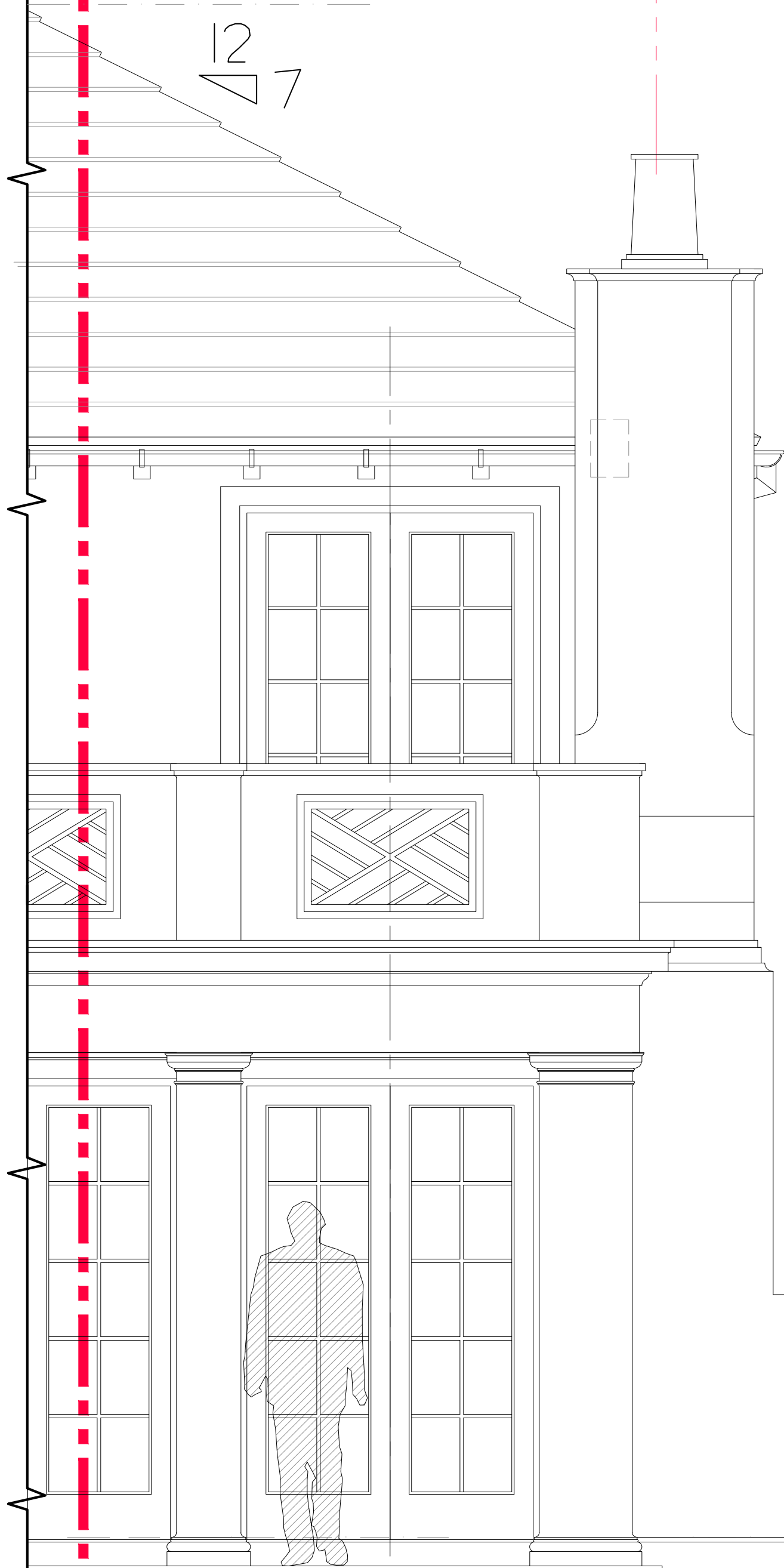
SP-1.03

JOB NUMBER: 22-147

KEY PLAN
N.T.S.



25'-0" REAR
HEIGHT PLANE SETBACK



- PROPOSED -
292 ORANGE GROVE ROAD
SUBJECT PROPERTY

15'-0" REAR
2-STORY SETBACK

10'-0" REAR
1-STORY SETBACK

2.5' UTILITY
EASEMENT
AND REAR
SITE WALL
SETBACK

PROPERTY LINE

37.26' N.A.V.D.
MAX ALLOWABLE
35.25' N.A.V.D.
MAX PROPOSED
OVERALL HEIGHT

27.94' N.A.V.D.
2-STORY T.O.B.

27'-9 1/2" OVERALL BLDG. HT.

20'-6" BLDG. HT.

1ST F.F.E.
8.5' N.A.V.D.
7.43' N.A.V.D.

ZERO DATUM FROM
5.93'
CROWN OF RD

DIAGRAM - REAR HEIGHT PLANE
N.T.S. R-B DISTRICT

2.5' UTILITY EASEMENT AND
REAR SITE WALL SETBACK

36.66' N.A.V.D.
MAX ALLOWABLE

31.16' N.A.V.D.
MAX ALLOWABLE

28.66' N.A.V.D.
MAX ALLOWABLE

10'-0" REAR
1-STORY SETBACK

15'-0" REAR
2-STORY SETBACK

8 1/2

8'-0" PITCH ROOF

30'-0" MAX ALLOWABLE OVERALL 2-STORY HEIGHT

29'-4"

25'-0" REAR
HT PLANE SETBACK

EXISTING 1ST F.F.E.
±7.89' N.A.V.D.

ZERO DATUM
1ST F.F.E. (P.O.M.)
±6.66' N.A.V.D.

± 5.16' N.A.V.D.
CROWN OF ROAD

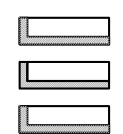
26'-0" MAX ALLOWABLE T.O. BEAM

- ALLOWABLE -
1065 N LAKE WAY
SOUTH NEIGHBORING PROPERTY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

TOWN OF PALM BEACH



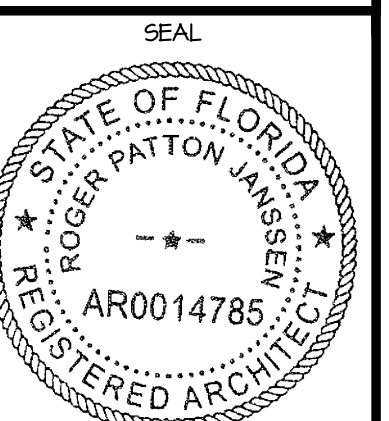
DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
- 07-11-23 FINAL DROP OFF
- 08-18-23 PRESENTATION
- 09-05-23 FINAL DROP OFF REV 01
- 09-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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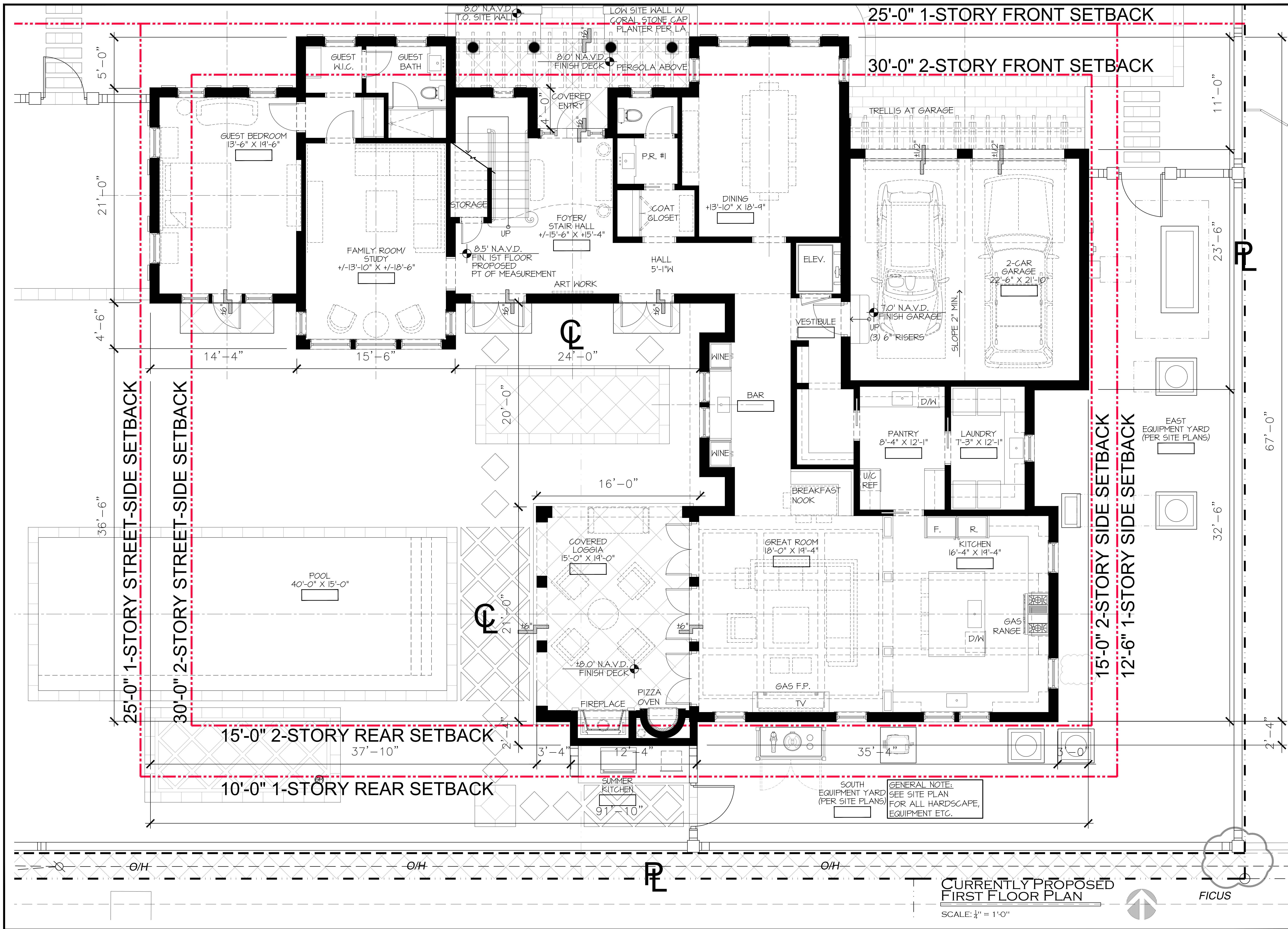


ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

SP-1.04

JOB NUMBER: 22-141



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

PALM BEACH COUNTY, FLORIDA

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C0014

DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
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- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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SEAL

STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER P. JANSSEN AR-14785

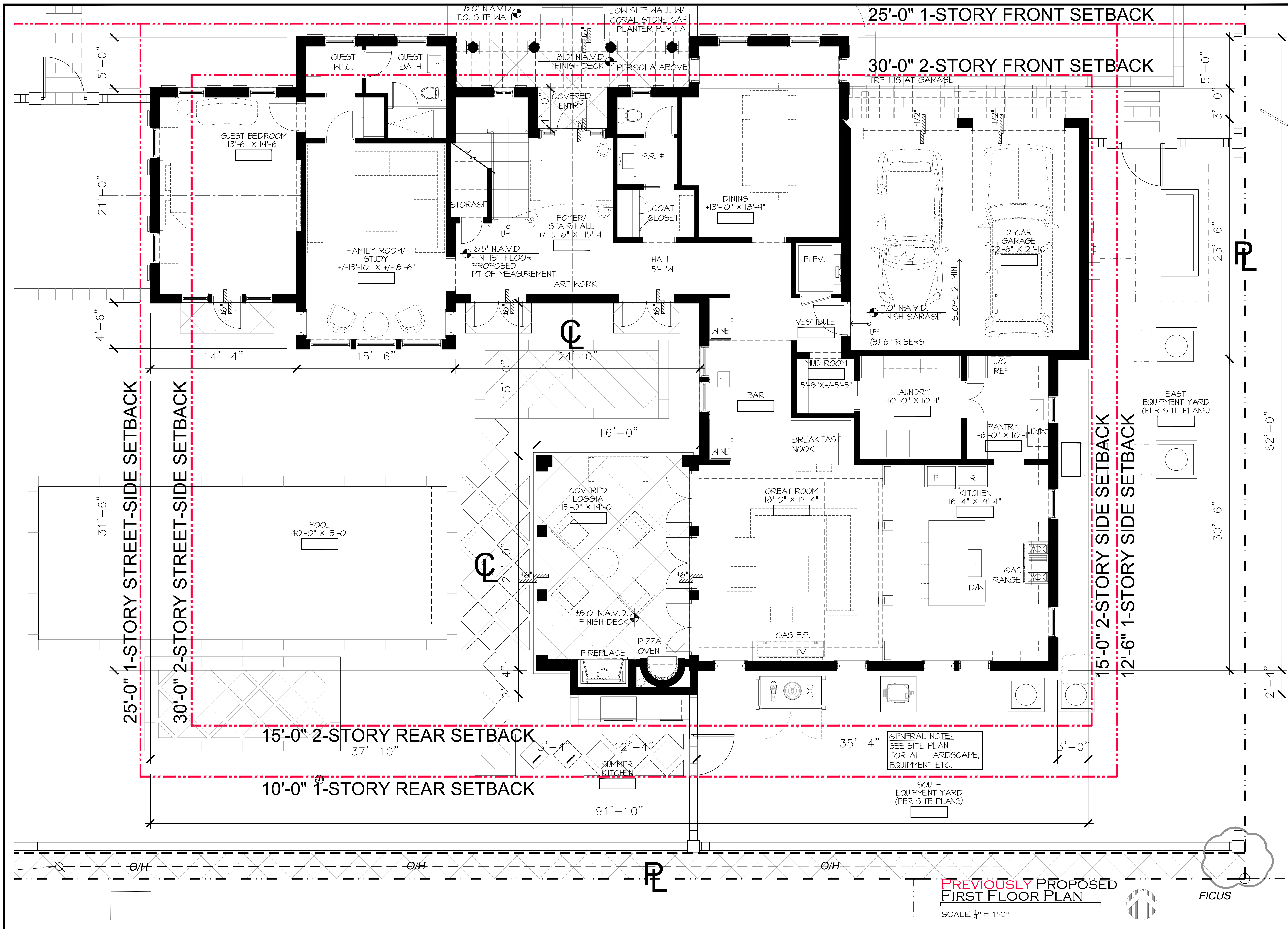
ARCOM # ARC-23-088

T.C. # ZON-23-086

DRAWING NO.

A-1.01

JOB NUMBER: 22-147



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

PALM BEACH COUNTY, FLORIDA

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
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- 04-05-23 FINAL DROP OFF REV 01
- 04-22-23 PRESENTATION
- W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02

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SEAL

STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER P. JANSSEN AR-14785

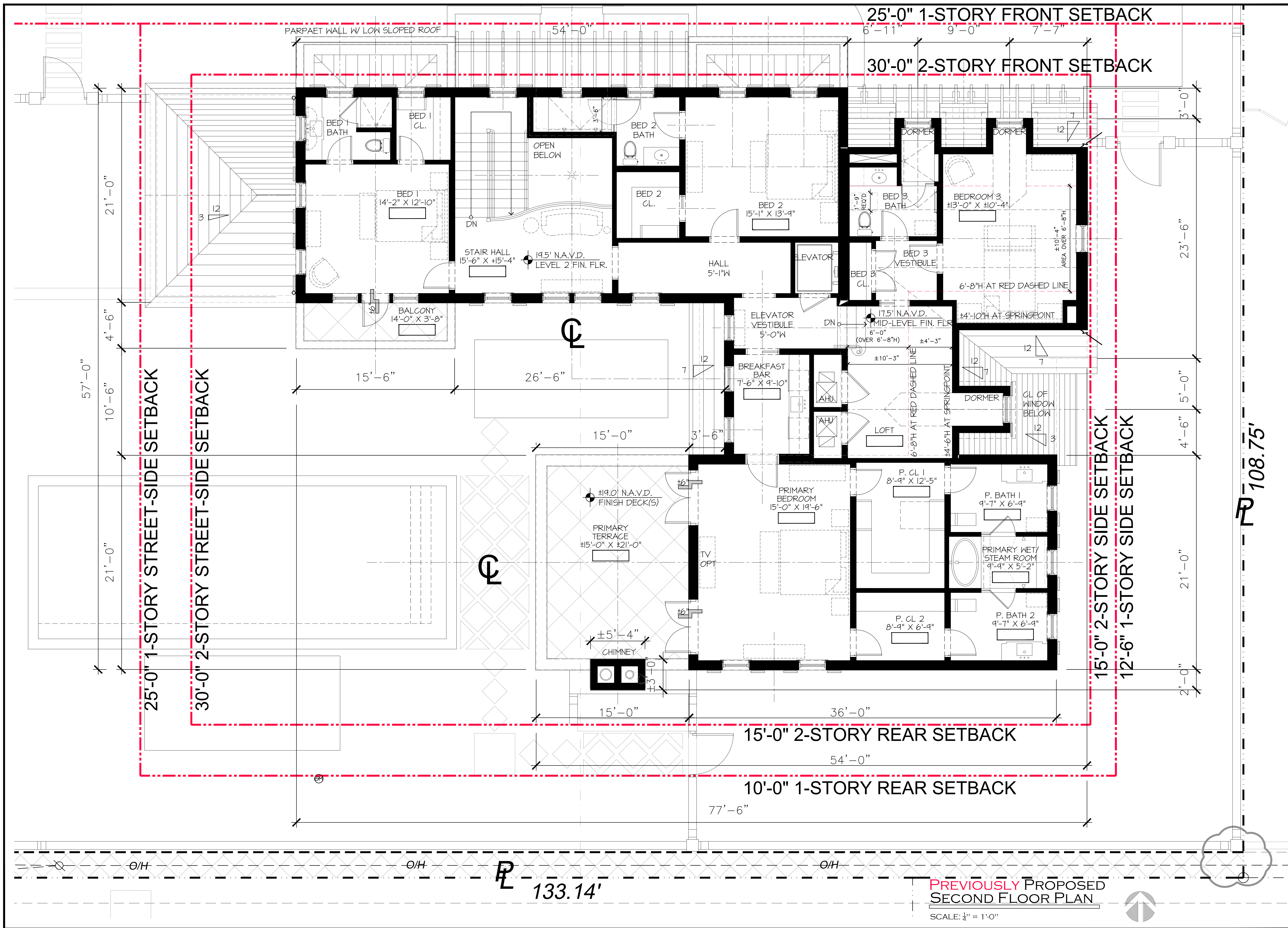
ARCOM # ARC-23-088

T.C. # ZON-23-086

DRAWING NO.

A-1.01A

JOB NUMBER: 22-147



PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

PALM BEACH COUNTY, FLORIDA

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
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- W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02

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SEAL

STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER P. JANSSEN

AR-14185

ARCOM # ARC-23-088

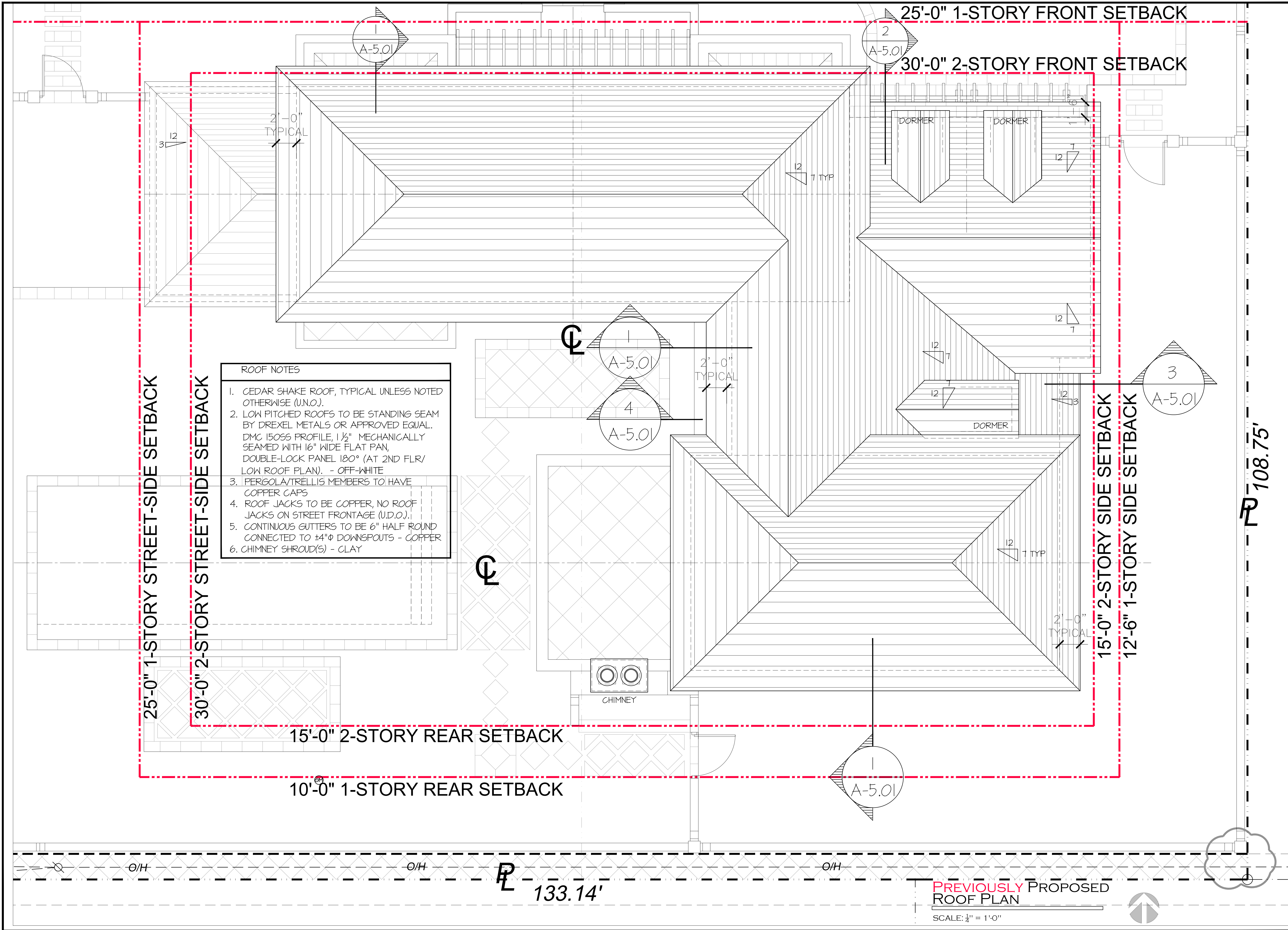
T.C. # ZON-23-086

DRAWING NO.

A-1.02A

JOB NUMBER:

22-141



- ROOF NOTES
1. CEDAR SHAKE ROOF, TYPICAL UNLESS NOTED OTHERWISE (U.N.O.).
 2. LOW PITCHED ROOFS TO BE STANDING SEAM BY DREXEL METALS OR APPROVED EQUAL. DMC 15055 PROFILE, 1 1/2" MECHANICALLY SEAMED WITH 16" WIDE FLAT PAN, DOUBLE-LOCK PANEL 180° (AT 2ND FLR/ LOW ROOF PLAN). - OFF-WHITE
 3. PERGOLA/TRELLIS MEMBERS TO HAVE COPPER CAPS
 4. ROOF JACKS TO BE COPPER, NO ROOF JACKS ON STREET FRONTAGE (U.N.O.).
 5. CONTINUOUS GUTTERS TO BE 6" HALF ROUND CONNECTED TO 1/4"Ø DOWNSPOUTS - COPPER
 6. CHIMNEY SHROUD(S) - CLAY

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

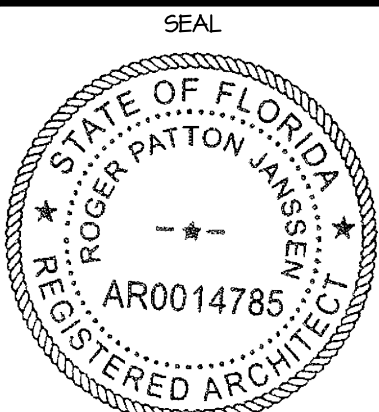
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C0014

DATE: 04-24-2023
DRAWN: MLM

REVISIONS:

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- W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

JOB NUMBER: 22-147

A-1.03A



CURRENTLY PROPOSED NORTH ENTRY ELEVATION

SCALE $\frac{1}{4}" = 1'-0"$

NO CHANGE

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C00114

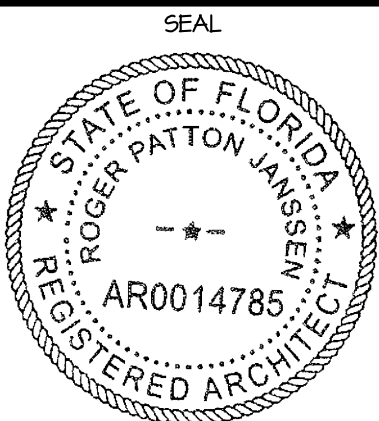
DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
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- 04-05-23 FINAL DROP OFF REV 01
- 04-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-2.01A

JOB NUMBER: 22-147



CURRENTLY PROPOSED SOUTH ELEVATION

SCALE 1/4" = 1'-0"

NO CHANGE

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

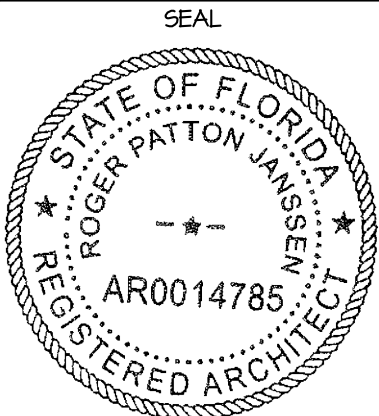
DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
- 07-11-23 FINAL DROP OFF
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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-2.01B

JOB NUMBER: 22-147

CENTERLINE OF ORANGE GROVE ROAD

PROPERTY LINE
3'-0" STREET-SIDE SETBACK
AND SITE WALLS > 4'-0" H

25'-0" FRONT 1-STORY SETBACK

30'-0" FRONT 2-STORY SETBACK

6 12

15'-0" REAR
2-STORY SETBACK

10'-0" REAR
1-STORY SETBACK

25' UTILITY EASEMENT AND
REAR SITE WALL SETBACK

PROPERTY LINE



PREVIOUSLY PROPOSED WEST STREET-SIDE ELEVATION

SCALE $\frac{1}{4}" = 1'-0"$

35.25' N.A.V.D.
MAX PROPOSED
OVERALL HEIGHT

27.94' N.A.V.D.
2-STORY BLDG HT

19.5' N.A.V.D.
2ND F.F.E.

17.5' N.A.V.D.
PLATE HEIGHT

8.5' N.A.V.D.
1ST F.F.E.

1.28' N.A.V.D.
ZERO DATUM

5.76' AVG C.O.R.

CENTERLINE OF ORANGE GROVE ROAD

PROPERTY LINE
3'-0" STREET-SIDE SETBACK
AND SITE WALLS > 4'-0" H

25'-0" FRONT 1-STORY SETBACK

30'-0" FRONT 2-STORY SETBACK

7 12

15'-0" REAR
2-STORY SETBACK

10'-0" REAR
1-STORY SETBACK

25' UTILITY EASEMENT AND
REAR SITE WALL SETBACK

PROPERTY LINE



CURRENTLY PROPOSED WEST STREET-SIDE ELEVATION

SCALE $\frac{1}{4}" = 1'-0"$

35.25' N.A.V.D.
MAX PROPOSED
OVERALL HEIGHT

27.94' N.A.V.D.
2-STORY T.O.B.

19.5' N.A.V.D.
2ND F.F.E.

17.5' N.A.V.D.
PLATE HEIGHT

8.5' N.A.V.D.
1ST F.F.E.

1.45' N.A.V.D.
ZERO DATUM

5.93' C.O.R.

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C0014

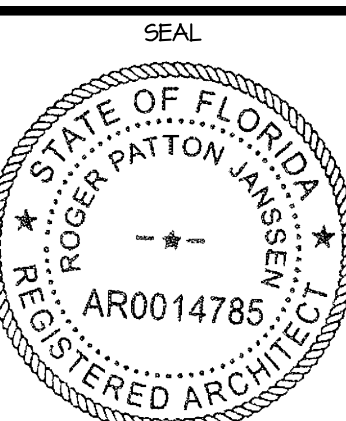
DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
- 07-11-23 FINAL DROP OFF
- 08-18-23 PRESENTATION
- 04-05-23 FINAL DROP OFF REV 01
- 04-22-23 PRESENTATION
- W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02
- RESUBMIT

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ROGER P. JANSSEN AR-14785

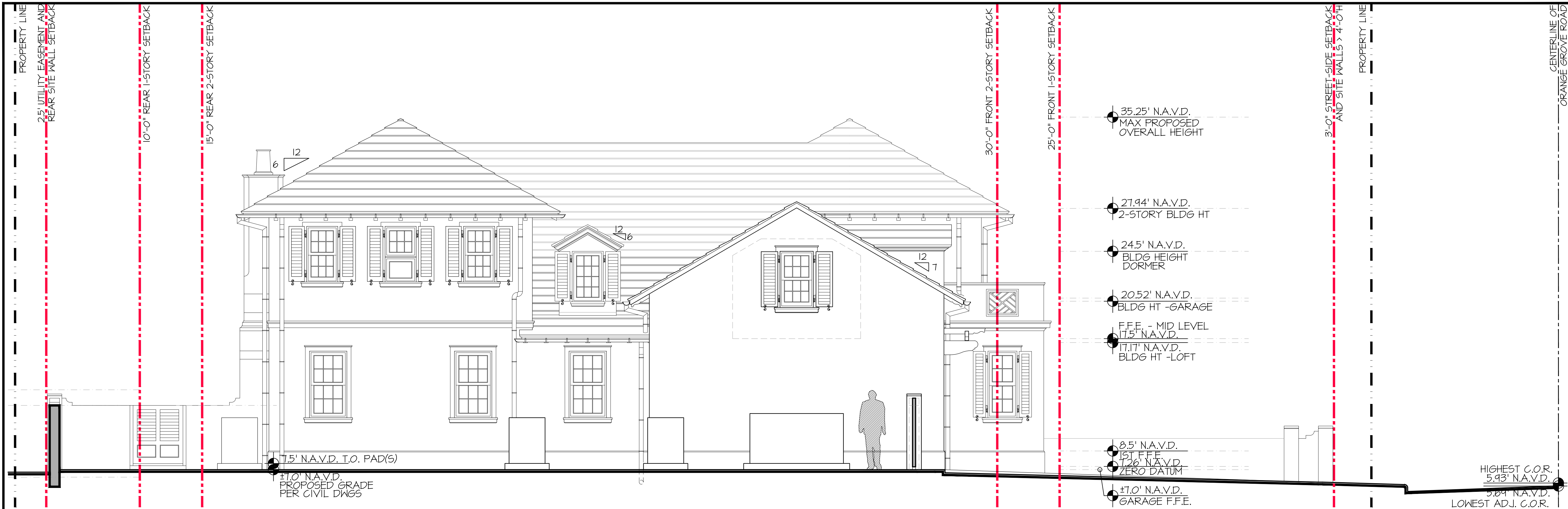
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-2.02A

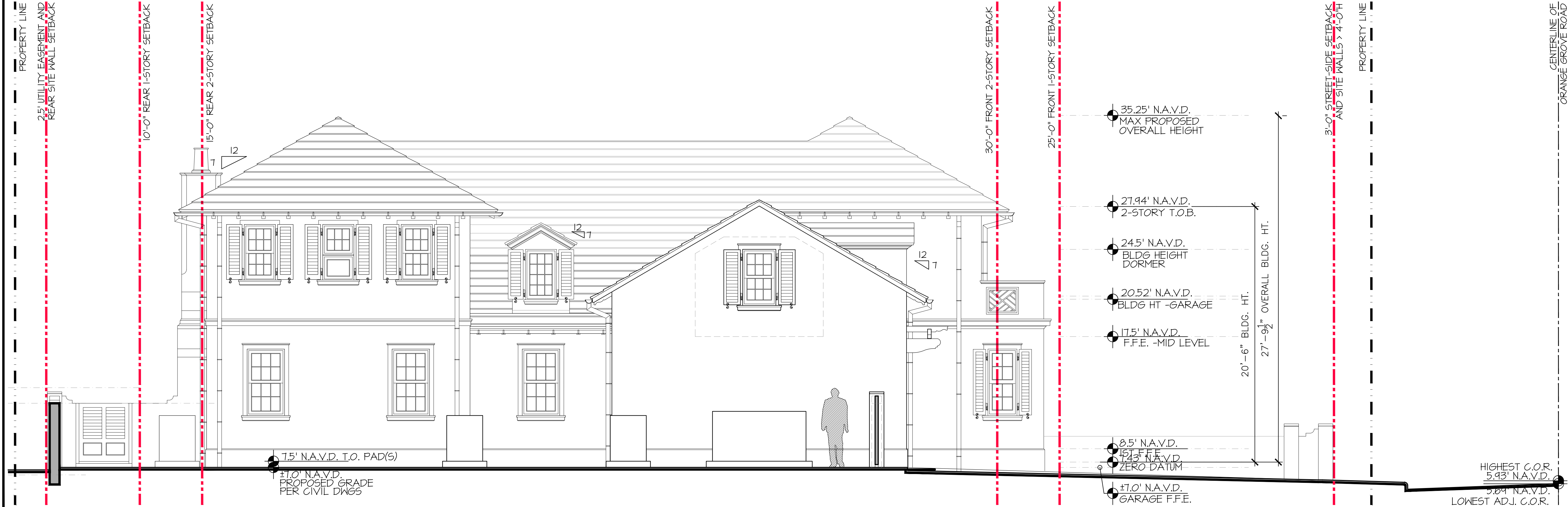
JOB NUMBER:

22-141



PREVIOUSLY PROPOSED EAST SIDE ELEVATION

SCALE 1/4" = 1'-0"



CURRENTLY PROPOSED EAST SIDE ELEVATION

SCALE 1/4" = 1'-0"

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C0014

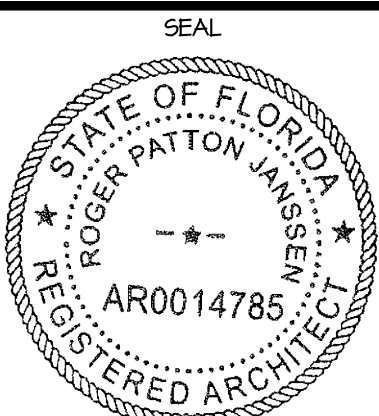
DATE: 04-24-2023

DRAWN: MLM

REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
- 07-11-23 FINAL DROP OFF
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- 04-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088 T.C. # ZON-23-086

DRAWING NO.

JOB NUMBER: 22-147

A-2.02B



EXAMPLE IMAGE

- COLONIAL SHUTTERS
POWDER COATED ALUMINUM
OFF-WHITE (BLACK HARDWARE)
- DOUBLE-HUNG WINDOWS
ALUMINUM CLAD WOOD
OFF-WHITE



EXAMPLE IMAGE - 303 MADDOCK WAY

- ENTRY DOOR - LIME WASH CYPRESS
- ROOF - CEDAR SHAKE
- BODY - OFF-WHITE



TYPICAL ROOF

- CEDAR SHAKE
- COPPER GUTTERS & DOWNSPOUTS



LOW SLOPE METAL ROOF

- STANDING SEAM (FLAT PAN)
- OFF-WHITE (BONE WHITE OR EQUAL)
- SHUTTERS & PEDESTRIAN GATES TO MATCH



POOL COPING

- POOL COPING SIMILAR
CORAL STONE



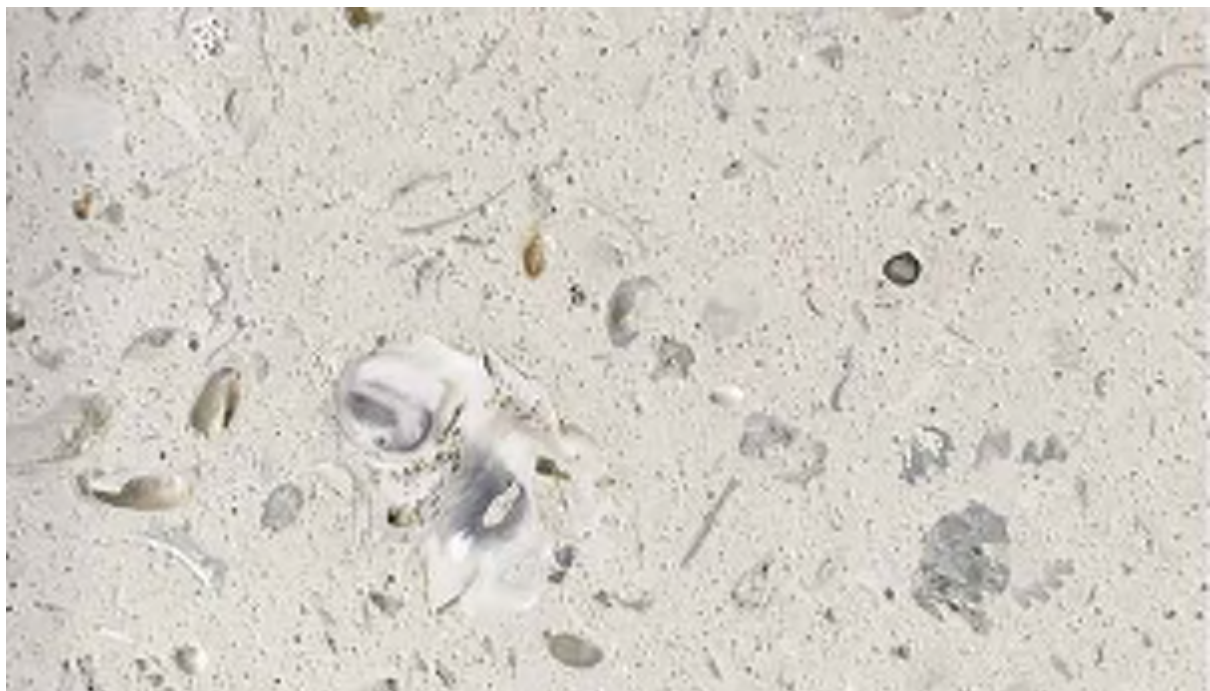
OFF-WHITE

- GLACIER WHITE OC-37
BY BENJAMIN MOORE
OFF-WHITE COLLECTION



HARDSCAPE

- CORAL STONE
- DRIVEWAY BORDER AND DETAILING
- POOL COPING AND REAR HARDSCAPE



HARDSCAPE

- TABBY CONCRETE
- DRIVEWAY BODY

MATERIALS

- SHAKE ROOF TILE
- CEDAR
- HALF ROUND GUTTERS AND DOWNSPOUTS
- COPPER
- SMOOTH STUCCO FINISH AT BODY & SITE WALLS
- PAINTED OFF-WHITE
- STUCCO TRIM WORK (SMOOTH)
- PAINTED OFF-WHITE
- STUCCO FINISH AT PARAPET/GUARDRAIL WALLS
AND POWDER COATED ALUMINUM GUARD DETAIL
- OFF-WHITE
- IMPACT RATED ENTRY DOOR ASSEMBLY
- LIME CYPRESS
- IMPACT RATED FRENCH DOORS (& ASSEMBLIES)
- ALUMINUM CLAD WOOD
- OFF-WHITE
- IMPACT RATED DOUBLE-HUNG WINDOWS
- ALUMINUM CLAD WOOD
- OFF-WHITE
- IMPACT RATED OVERHEAD GARAGE DOORS
- CLADDING PAINTED OFF-WHITE
- COLONIAL SHUTTERS (NON-IMPACT)
- POWDER COATED ALUMINUM
- OFF-WHITE
- BLACK HINGES AND SHUTTER DOGS
- PEDESTRIAN GATES
- POWDER COATED ALUMINUM
- OFF-WHITE

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4707, LICENSE #AA-C001914

DATE: 04-24-2023

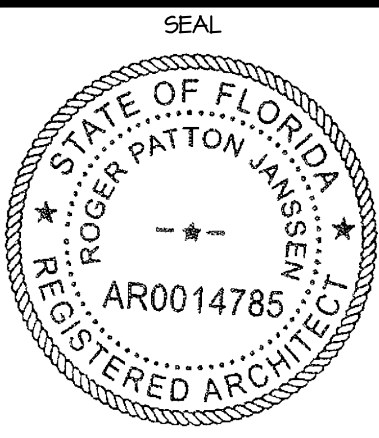
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REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
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W/ CORRECTIONS
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- 10-16-23 FINAL DROP OFF REV 02
RESUBMIT

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

M-1.01

JOB NUMBER:

22-147



PARTIAL ENTRY ELEVATION
N.T.S. TRELLIS AT GARAGE



PARTIAL ENTRY ELEVATION
N.T.S. COVERED ENTRY/PERGOLA

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

TOWN OF PALM BEACH

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

DATE: 04-24-2023

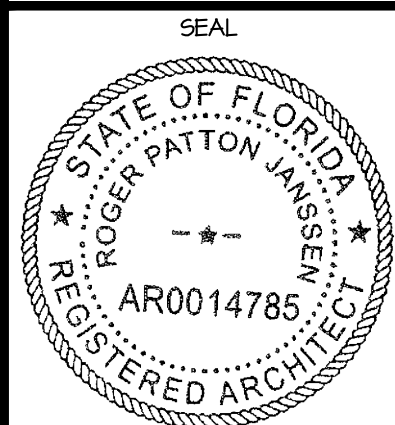
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REVISIONS:

- 04-24-23 PRE-APP
- 05-11-23 FIRST SUBMITTAL
- 05-30-23 SECOND SUBMITTAL
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- 09-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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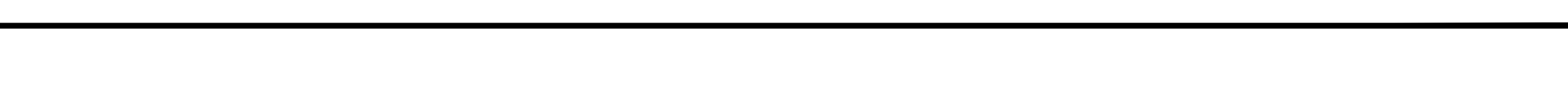
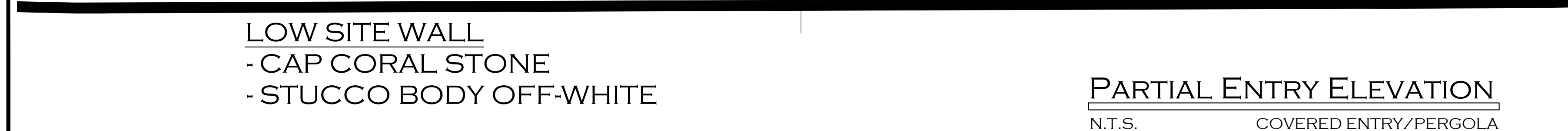
ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-4.00

JOB NUMBER: 22-141



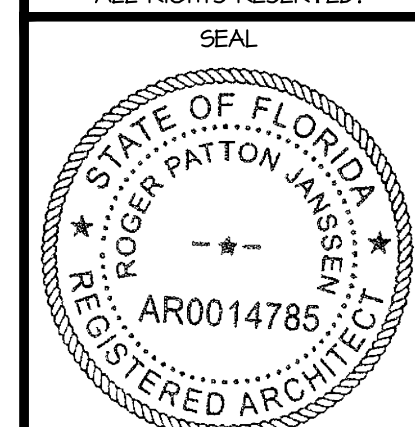
PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4701, LICENSE #AA-C0019174
TOWN OF PALM BEACH PALM BEACH COUNTY, FLORIDA

DATE:	04-24-2023
DRAWN:	MLM
REVISIONS:	• 04-24-23 PRE-APP • 05-11-23 FIRST SUBMITTAL • 05-30-23 SECOND SUBMITTAL • 07-11-23 FINAL DROP OFF • 08-18-23 PRESENTATION • 09-05-23 FINAL DROP OFF REV 0 • 04-22-23 PRESENTATION W/ CORRECTIONS • 10-04-23 FINAL DROP OFF REV 0 • 10-16-23 FINAL DROP OFF REV 02
SEQUENT	

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-4.01

JOB NUMBER: 22-147

ROOF
CEDAR SHAKES

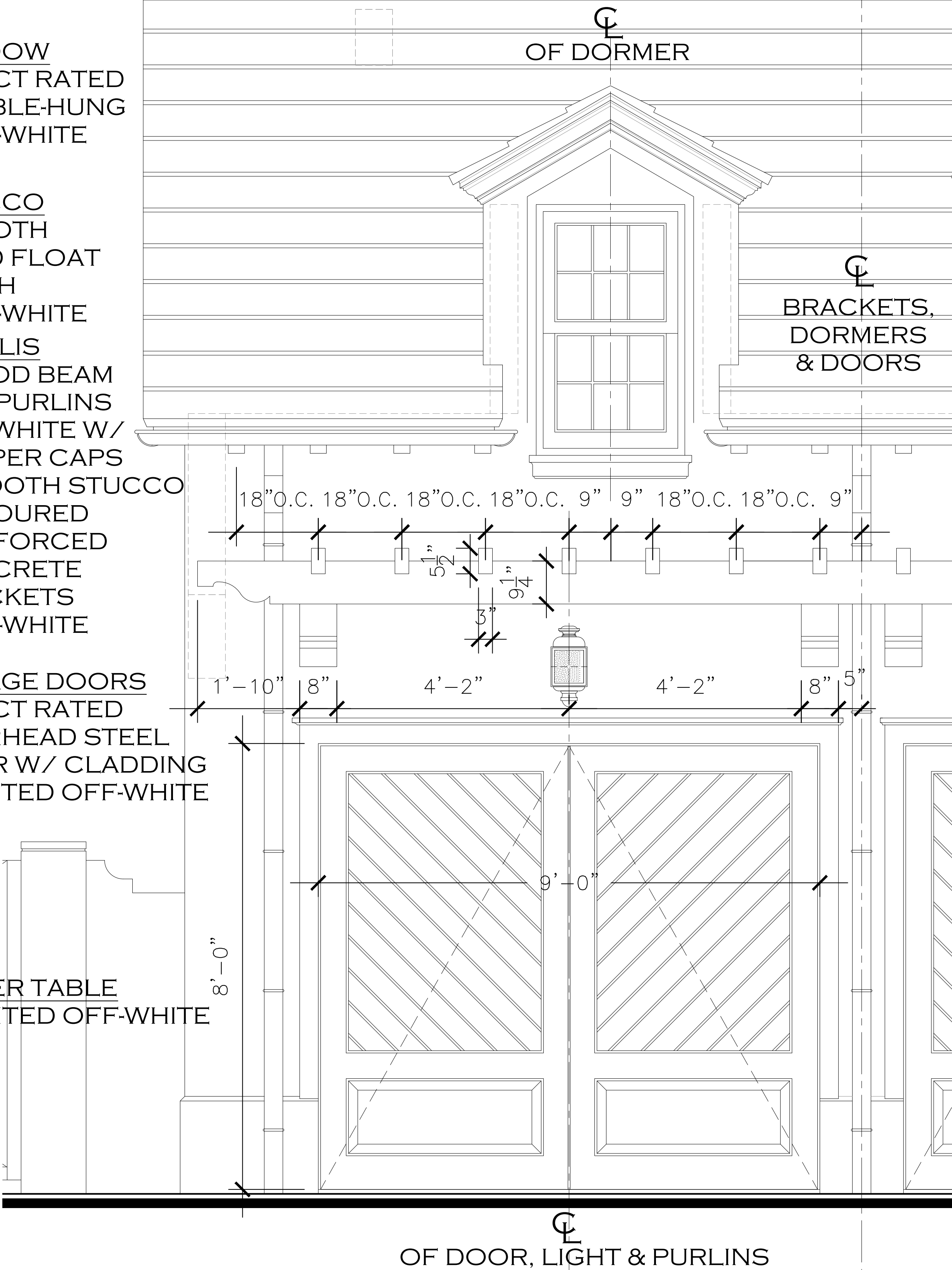
DORMER
STUCCO CORNICE
- OFF-WHITE

WINDOW
IMPACT RATED
DOUBLE-HUNG
- OFF-WHITE

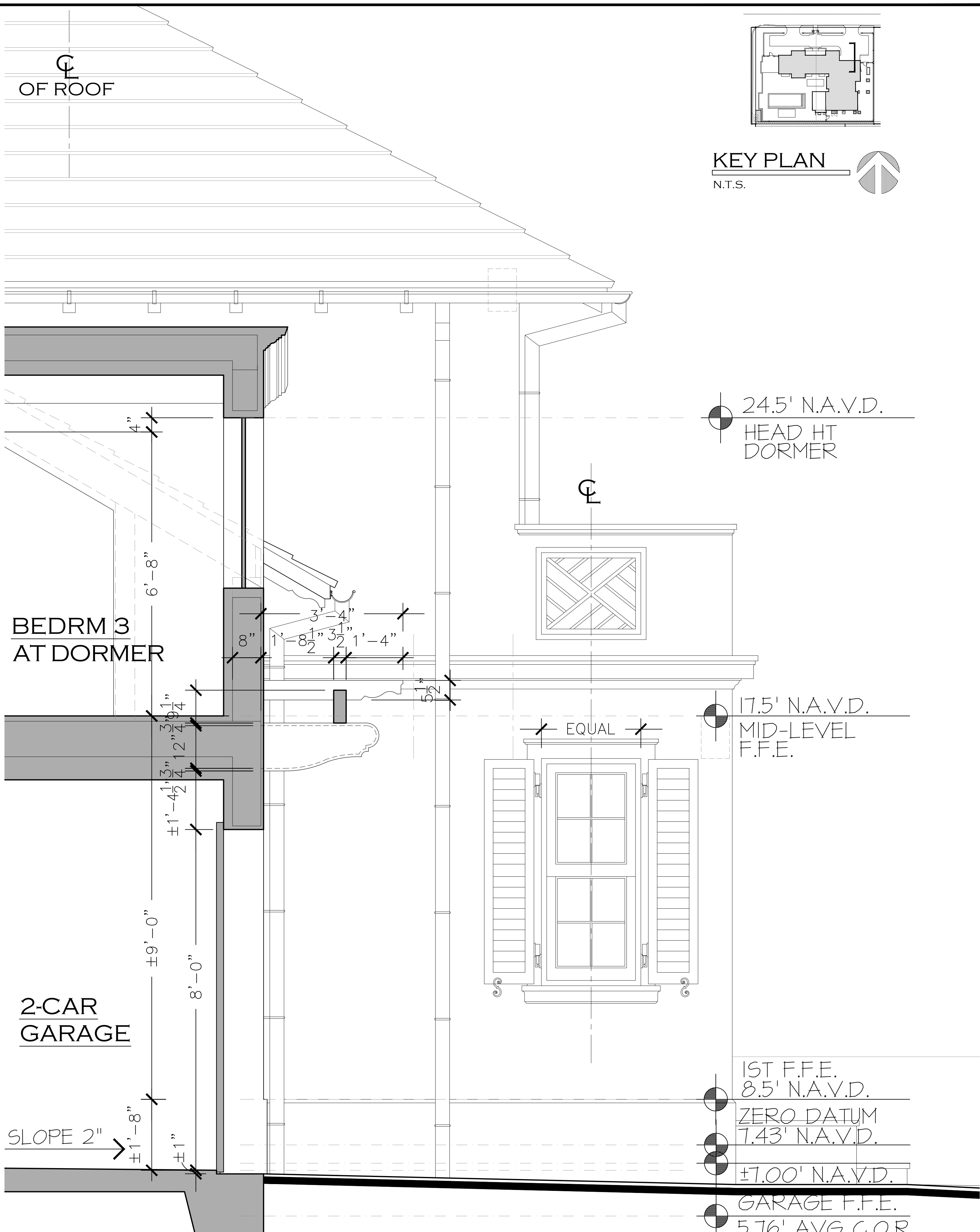
STUCCO
SMOOTH
SAND FLOAT
FINISH
- OFF-WHITE
TRELLIS
- WOOD BEAM
AND PURLINS
OFF-WHITE W/
COPPER CAPS
- SMOOTH STUCCO
O/ POURED
REINFORCED
CONCRETE
BRACKETS
- OFF-WHITE

GARAGE DOORS
IMPACT RATED
OVERHEAD STEEL
DOOR W/ CLADDING
- PAINTED OFF-WHITE

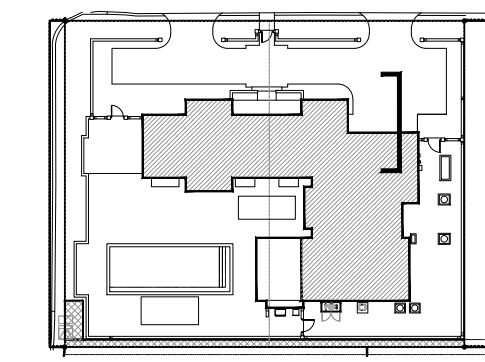
WATER TABLE
- PAINTED OFF-WHITE



PARTIAL ENTRY ELEVATION
N.T.S. AT GARAGE



BUILDING SECTION B
N.T.S. AT GARAGE



KEY PLAN
N.T.S.

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

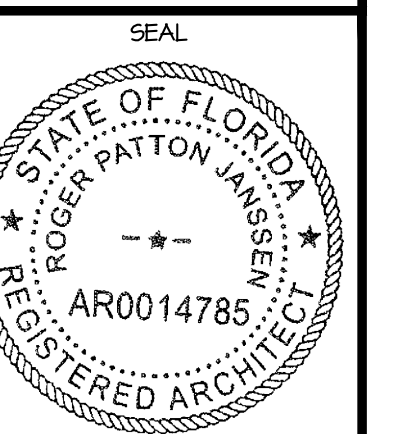
DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM

REVISIONS:
• 04-24-23 PRE-APP
• 05-11-23 FIRST SUBMITTAL
• 05-30-23 SECOND SUBMITTAL
• 07-11-23 FINAL DROP OFF
• 08-18-23 PRESENTATION
• 04-05-23 FINAL DROP OFF REV 01
• 04-22-23 PRESENTATION
• 10-04-23 FINAL DROP OFF REV 02
• 10-16-23 FINAL DROP OFF REV 02
RESUBMIT

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

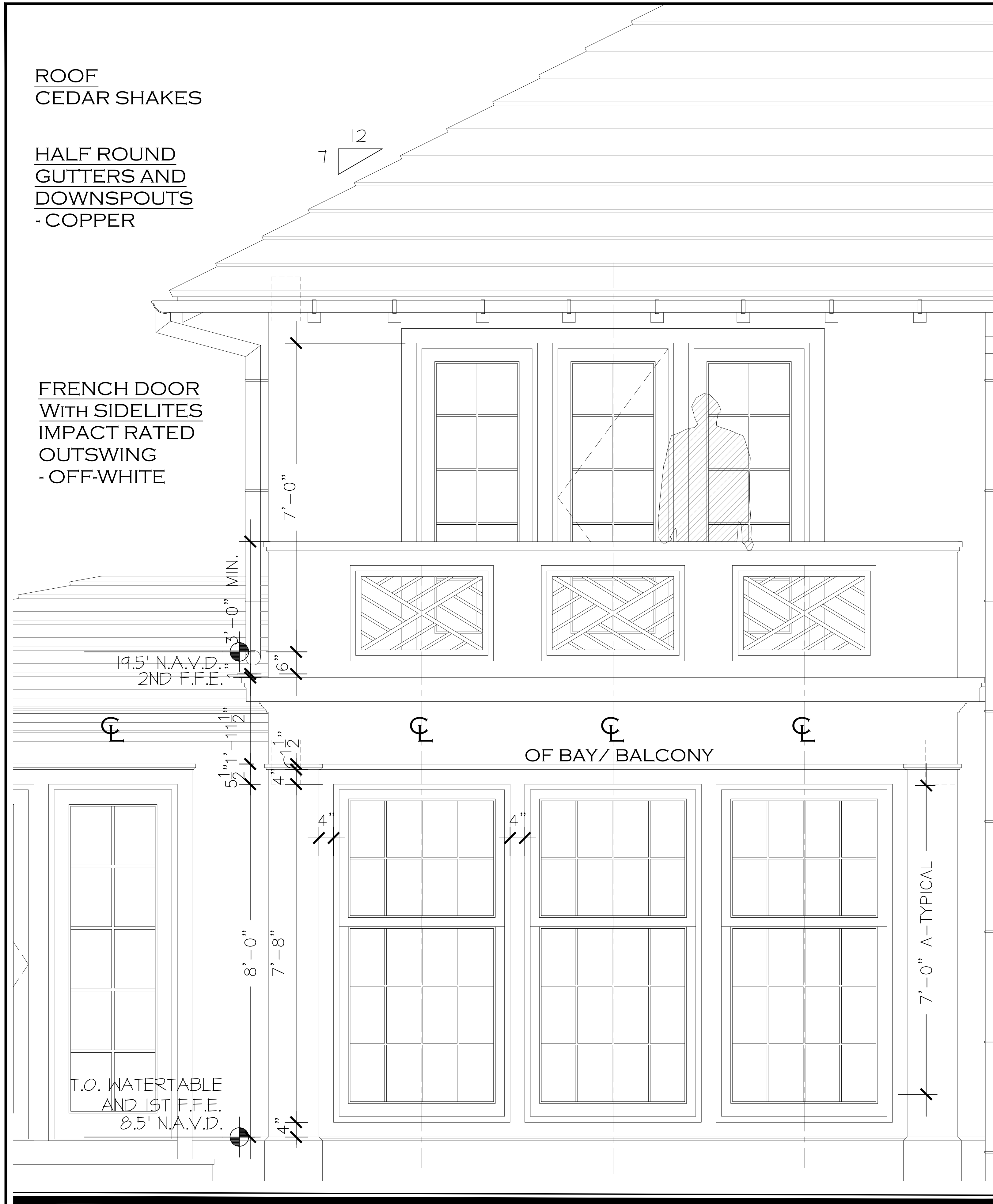
A-4.02

JOB NUMBER: 22-147

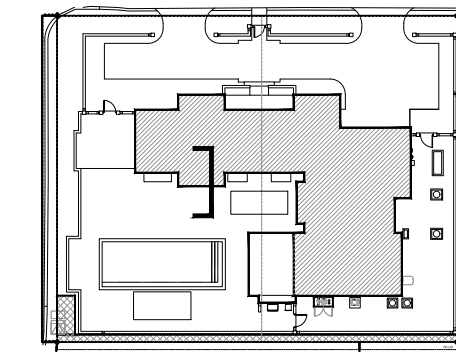
ROOF
CEDAR SHAKES

HALF ROUND
GUTTERS AND
DOWNSPOUTS
- COPPER

FRENCH DOOR
WITH SIDELITES
IMPACT RATED
OUTSWING
- OFF-WHITE



PARTIAL SOUTH ELEVATION
N.T.S. AT BALCONY



KEY PLAN
N.T.S.

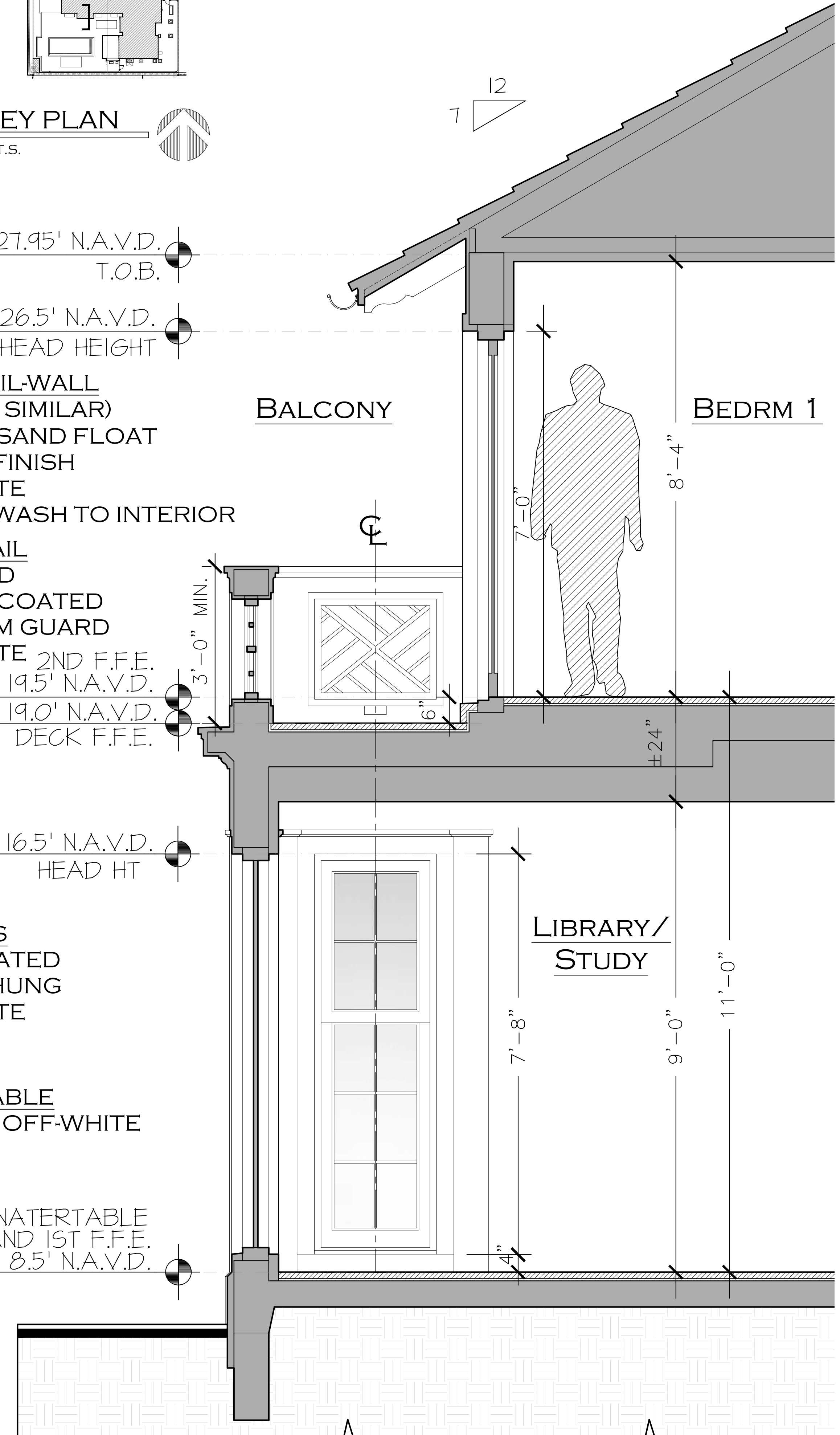
GUARDRAIL-WALL
(PARAPET SIMILAR)
SMOOTH SAND FLOAT
STUCCO FINISH
- OFF-WHITE
- CAP W/ WASH TO INTERIOR

RAIL DETAIL
RECESSED
POWDER COATED
ALUMINUM GUARD
- OFF-WHITE

WINDOWS
IMPACT RATED
DOUBLE-HUNG
- OFF-WHITE

WATER TABLE
- PAINTED OFF-WHITE

T.O. WATERTABLE
AND 1ST F.F.E.
8.5' N.A.V.D.



BUILDING SECTION C
N.T.S. AT BALCONY

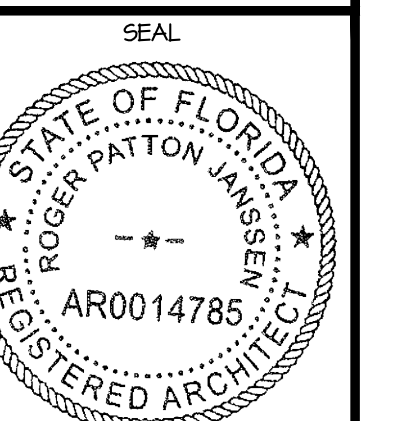
PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD
PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 04-24-2023
DRAWN: MLM
REVISIONS:
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• 05-30-23 SECOND SUBMITTAL
• 07-11-23 FINAL DROP OFF
• 08-18-23 PRESENTATION
• 04-05-23 FINAL DROP OFF REV 01
• 04-22-23 PRESENTATION
W/ CORRECTIONS
• 10-04-23 FINAL DROP OFF REV 02
• 10-16-23 FINAL DROP OFF REV 02
RESUBMIT

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ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-088
T.C. # ZON-23-086

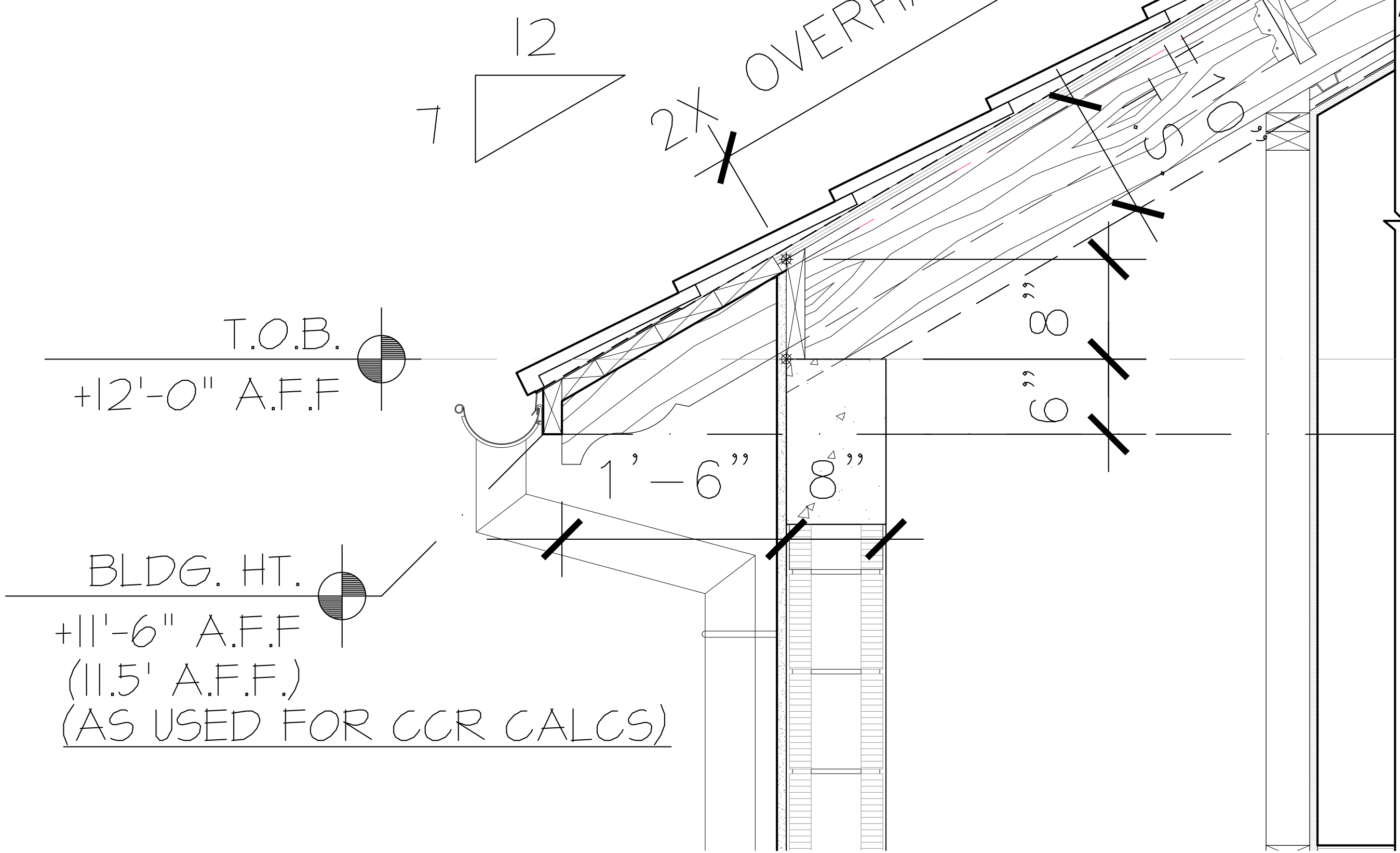
DRAWING NO.

A-4.03

JOB NUMBER: 22-147

A-TYPICAL EAVE DETAIL NOTE:

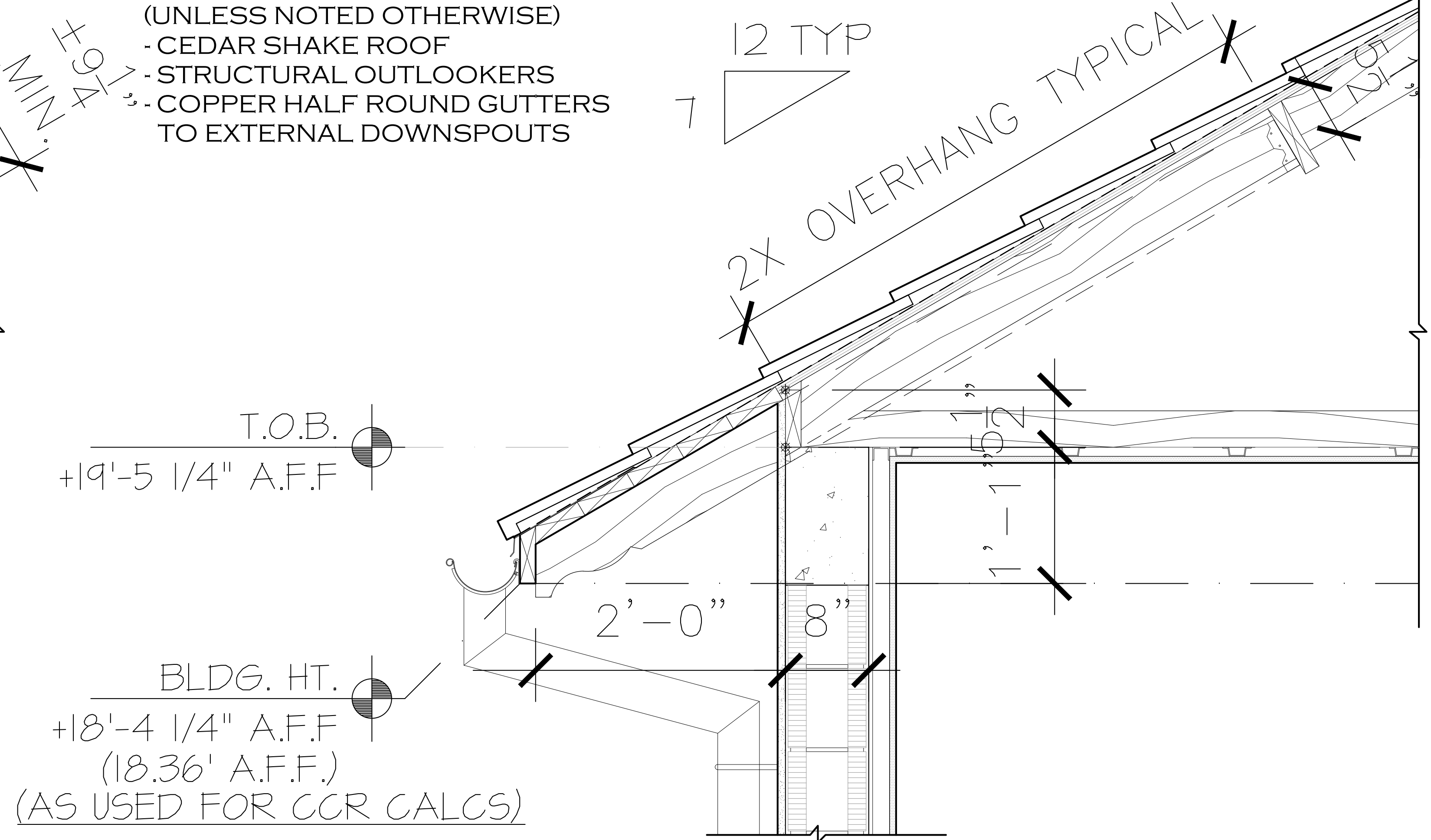
- TUBULAR STEEL STRUCTURE AS REQUIRED
- SEE STEEL RIDGE BEAM PER BUILDING S-N CROSS SECTION (THROUGH THE GARAGE)



2 EAVE DETAIL - GARAGE
N.T.S.

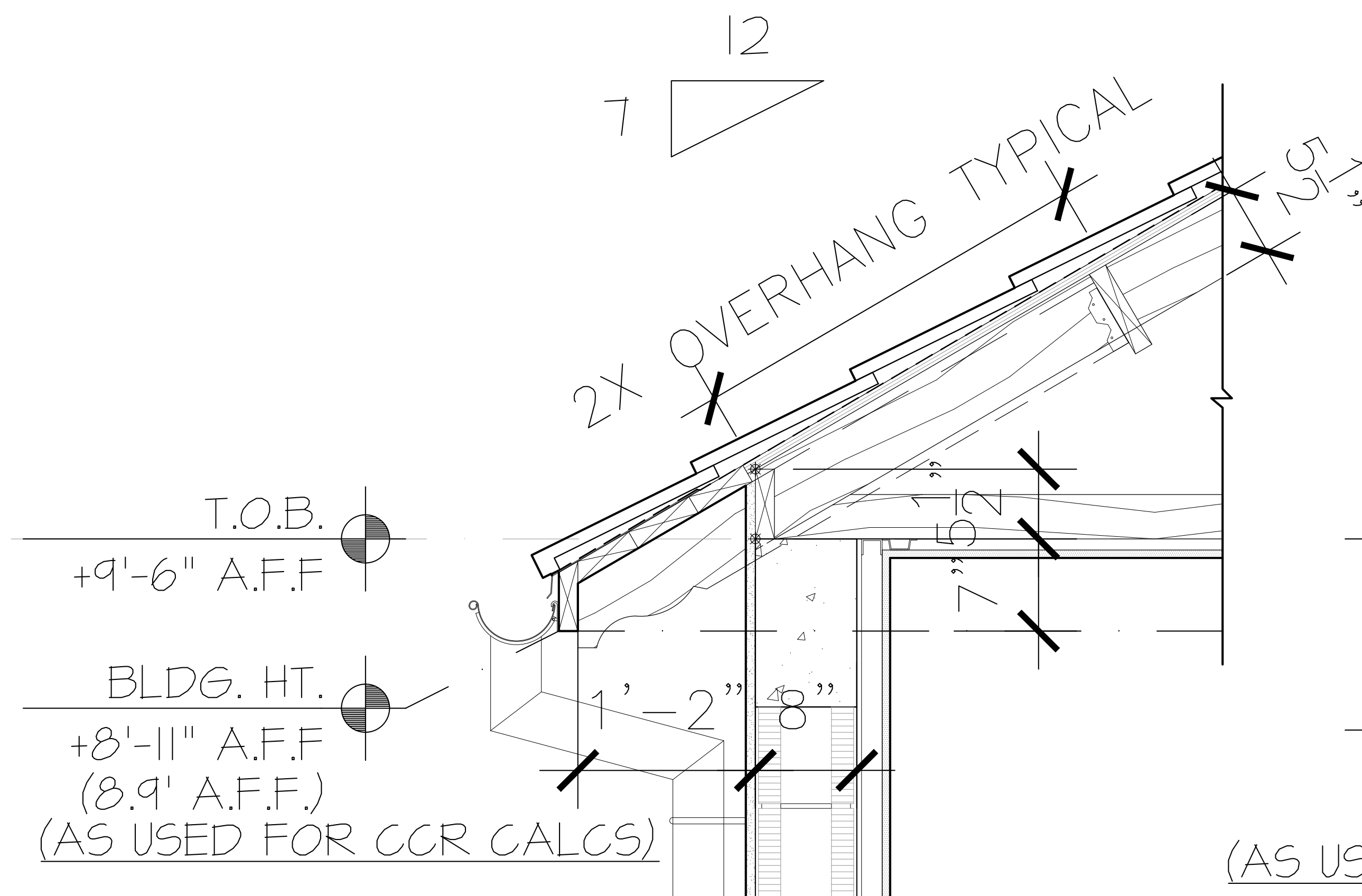
TYPICAL EAVE DETAIL NOTES:

- (UNLESS NOTED OTHERWISE)
- CEDAR SHAKE ROOF
- STRUCTURAL OUTLOOKERS
- COPPER HALF ROUND GUTTERS TO EXTERNAL DOWNSPOUTS

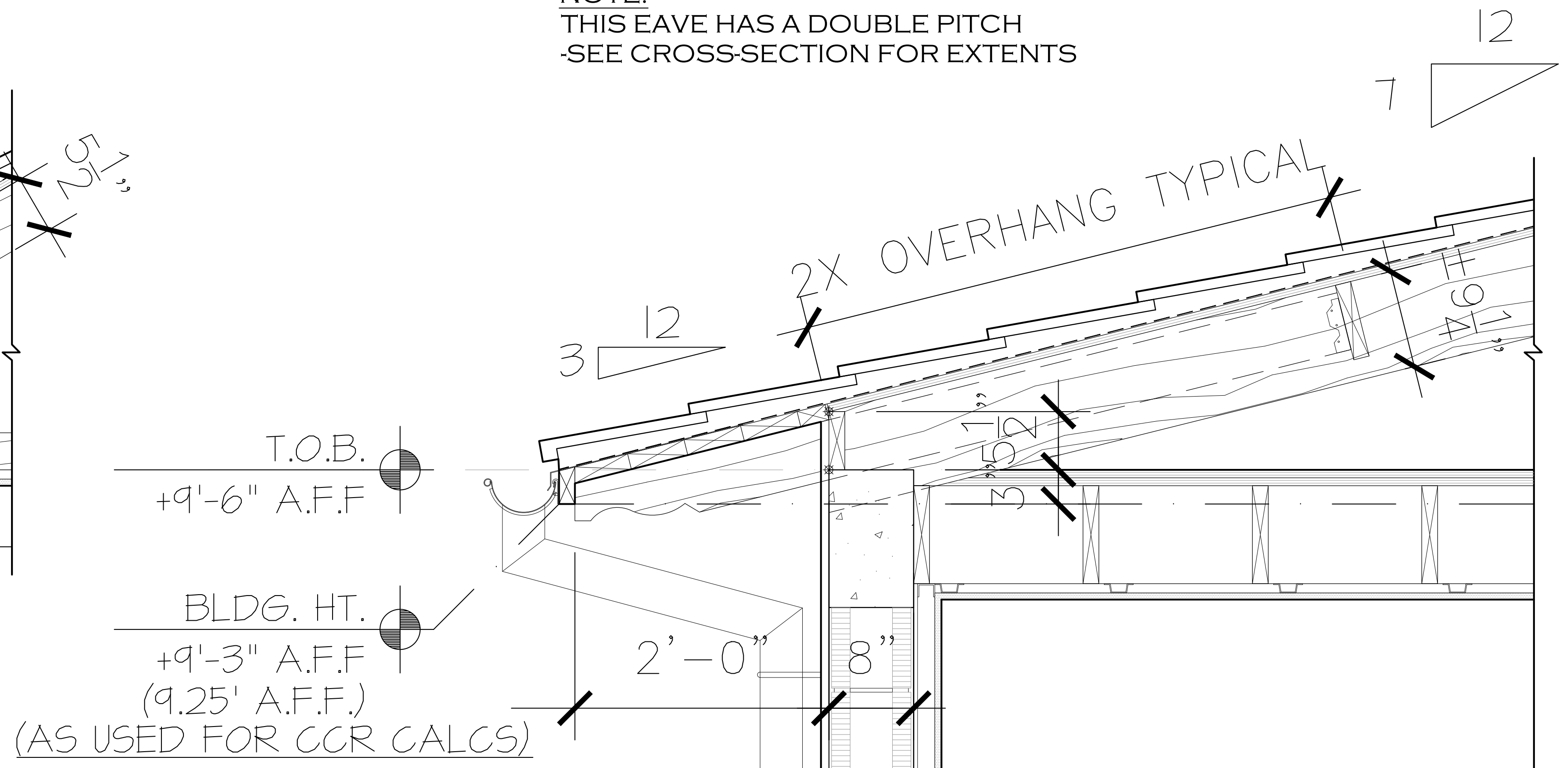


1 EAVE DETAIL - TYPICAL
2-STORY EAVE
N.T.S.

NOTE:
THIS EAVE HAS A DOUBLE PITCH
-SEE CROSS-SECTION FOR EXTENTS



4 EAVE DETAIL - WEST ELEV.
ATYPICAL 1-STORY (BAR)
N.T.S.



3 EAVE DETAIL - EAST ELEV.
ATYPICAL 1-STORY (LOFT)
N.T.S.

PROPOSED RESIDENCE AT:

292 ORANGE GROVE ROAD

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-933-4101, LICENSE #AA-C00174

DATE: 04-24-2023

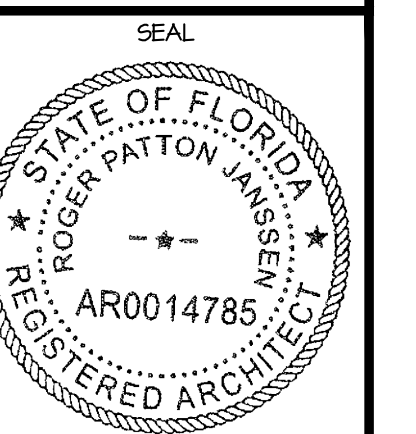
DRAWN: MLM

REVISIONS:

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- 09-05-23 FINAL DROP OFF REV 01
- 09-22-23 PRESENTATION W/ CORRECTIONS
- 10-04-23 FINAL DROP OFF REV 02
- 10-16-23 FINAL DROP OFF REV 02 RESUBMIT

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-088
T.C. # ZON-23-086

DRAWING NO.

A-5.02

JOB NUMBER: 22-147

