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Winthrop House

100 Worth Avenue Palm Beach, Florida
Proposed Exterior Renovations



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Project Team

CLIENT:	WINTHROP HOUSE 100 WORTH AVENUE PALM BEACH, FLORIDA 33480
ARCHITECT:	DAVID MILLER AND ASSOCIATES P.A. 319 CLEMATIS STREET SUITE 802 WEST PALM BEACH, FL 33401
LANDSCAPE ARCHITECT:	ENVIRONMENTAL DESIGN GROUP 139 NORTH COUNTY ROAD, SUITE 20-B PALM BEACH, FL 33480
ATTORNEY:	MAURA A. ZISKA, ESQ. 222 LAKEVIEW AVENUE SUITE 1500 WEST PALM BEACH, FL 33401

SCOPE OF WORK:

The Winthrop House Condominium will undergo a full exterior renovation. The required renovations include full removal of the brick veneer facade, wall and waterproofing repairs under the brick, concrete repairs, stucco repairs, balcony guardrail replacement, porte cochere slab removal and waterproofing replacement, and structural repairs to the existing roof cornice.

The proposed building improvements include new stucco and paint finishes, new decorative balcony guardrails, new decorative roof cornice, new decorative treatments at the porte cochere, and new metal grilles at the garage openings. Proposed site improvements will include new landscape, infill site walls, decorative piers at entries, new pedestrian gates along both Hammon Avenue and Worth Avenue, a new vehicular "exit only" gate along South Ocean Boulevard, and associated improvements.

Winthrop House
100 Worth Avenue
Palm Beach, Florida 33480

Final Submittal - 10.09.23

Hearing Dates:
ARCOM - 10.25.23

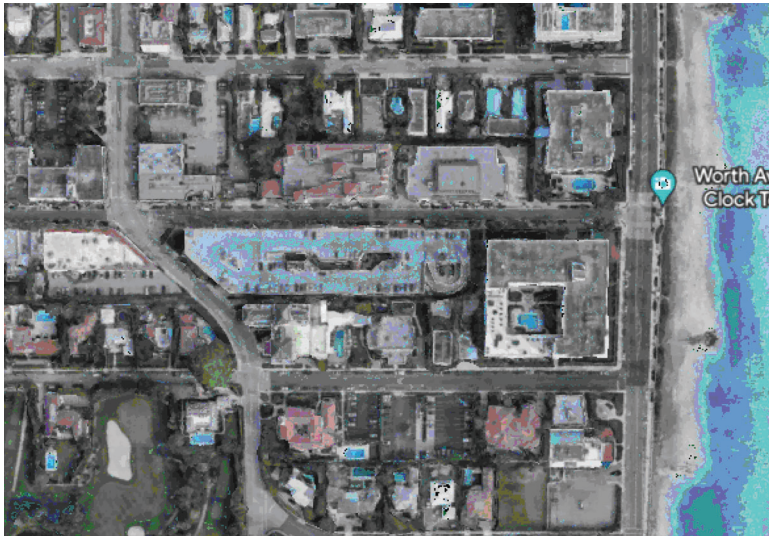
CS-1
10.25.23

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319 Clematis Street Suite 802
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
dmas@davidmillerarchitect.com

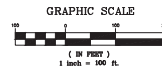
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WINTHROP HOUSE
PROPOSED EXTERIOR RENOVATIONS
ARC-23-074
10.25.2023

Winthrop House

100 Worth Avenue Palm Beach, Florida
Proposed Exterior Renovations



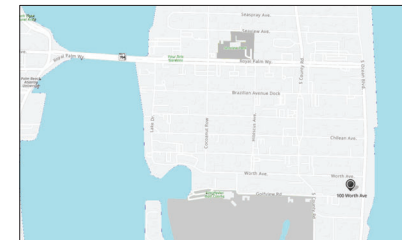
VICINITY LOCATION PLAN
APPROX. SCALE: 1"=100'



LOCATION PLAN
APPROX. SCALE: 1"=100'



Location Plans



VICINITY LOCATION MAP
N.T.S.



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319 Clematis Street Suite 802
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dma@davidmillerarchitect.com

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EC-1
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Existing Conditions

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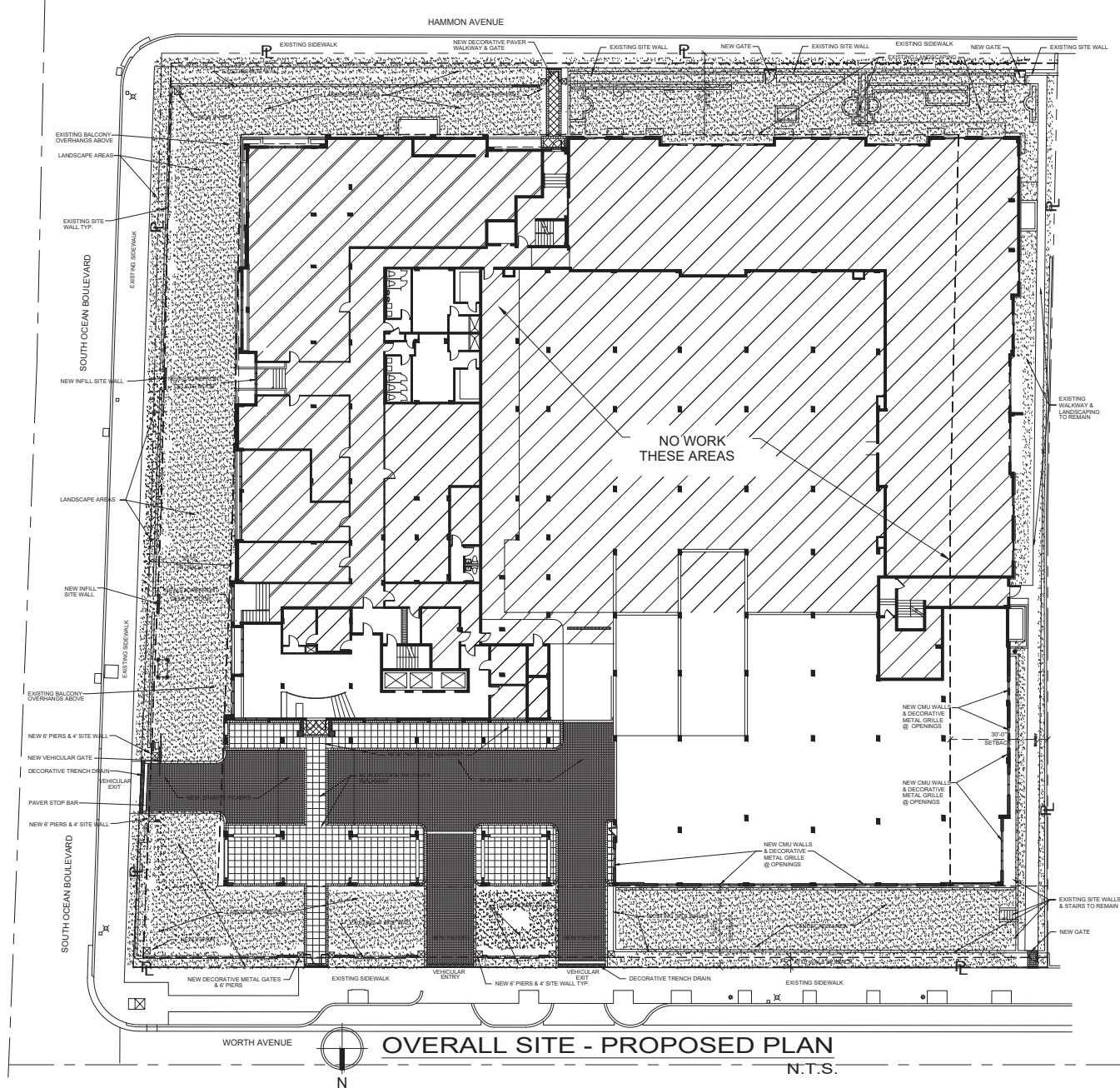
EC-2
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David Miller and Associates, P.A.
319 Clematis Street Suite 802
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100 Worth Avenue Palm Beach, Florida
Proposed Exterior Renovations



Town of Palm Beach
Planning, Zoning and Building
300 S. County Rd.
Palm Beach, FL 33480
www.palmbeach.com

Zoning Legend			
Property Address	100 Worth Avenue		
Zoning District	B-02 (Heavy Density Residential)		
Structure Type	Condominium	Existing	Proposed
1	Lot Area (sq. ft.)	20,000	84,160
2	Lot Depth	200'	292.0'
3	Lot Width	150'	285.33'
4	Lot Coverage (Sq Ft and %)	40%	55,196 s.f. 65.6%
5	Minimum Lot Area (sq. ft.)	N/A	N/A
6	Minimum Lot Area (sq. ft.)	N/A	N/A
7	Minimum Lot Area (sq. ft.)	N/A	N/A
8	Minimum Lot Area (sq. ft.)	N/A	N/A
9	Minimum Lot Area (sq. ft.)	N/A	N/A
10	Minimum Lot Area (sq. ft.)	N/A	N/A
11	Minimum Lot Area (sq. ft.)	N/A	N/A
12	Minimum Lot Area (sq. ft.)	N/A	N/A
13	Minimum Lot Area (sq. ft.)	N/A	N/A
14	Minimum Lot Area (sq. ft.)	N/A	N/A
15	Minimum Lot Area (sq. ft.)	N/A	N/A
16	Minimum Lot Area (sq. ft.)	N/A	N/A
17	Minimum Lot Area (sq. ft.)	N/A	N/A
18	Minimum Lot Area (sq. ft.)	N/A	N/A
19	Minimum Lot Area (sq. ft.)	N/A	N/A
20	Minimum Lot Area (sq. ft.)	N/A	N/A
21	Minimum Lot Area (sq. ft.)	N/A	N/A
22	Minimum Lot Area (sq. ft.)	N/A	N/A
23	Minimum Lot Area (sq. ft.)	N/A	N/A
24	Minimum Lot Area (sq. ft.)	N/A	N/A
25	Minimum Lot Area (sq. ft.)	N/A	N/A
26	Minimum Lot Area (sq. ft.)	N/A	N/A
27	Minimum Lot Area (sq. ft.)	N/A	N/A

* Indicate each yard area with central dimension N/A or 0
** Provide Native plant species calculation per category as required by Ord. 24-2022 on separate table
If value is not applicable, enter N/A
If value is not changing, enter N/C

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OVERALL SITE - PROPOSED PLAN

David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
dms@davidmillerarchitect.com

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SP-1
10.25.23

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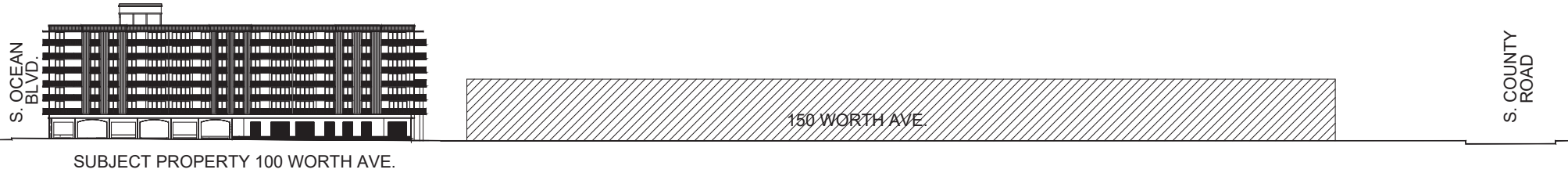
SP-2
10.25.23

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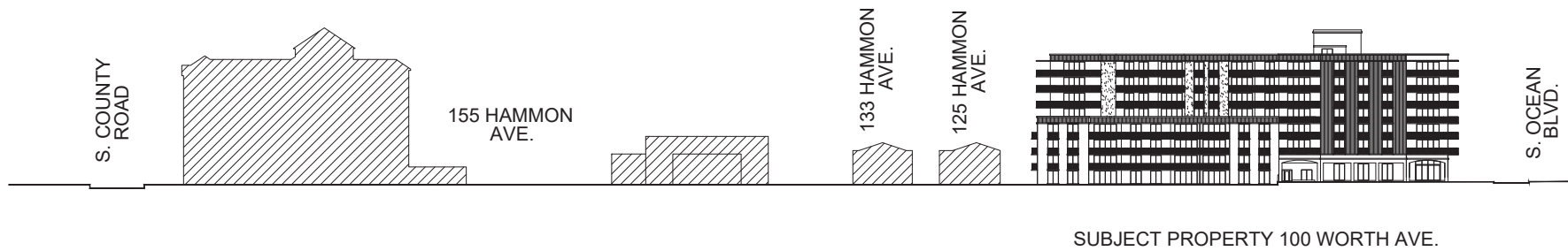
100 Worth Avenue Palm Beach, Florida
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STREETSCAPE VIEW FROM WORTH AVENUE



STREETSCAPE VIEW FROM SOUTH OCEAN BLVD.



STREETSCAPE VIEW FROM HAMMON AVE.

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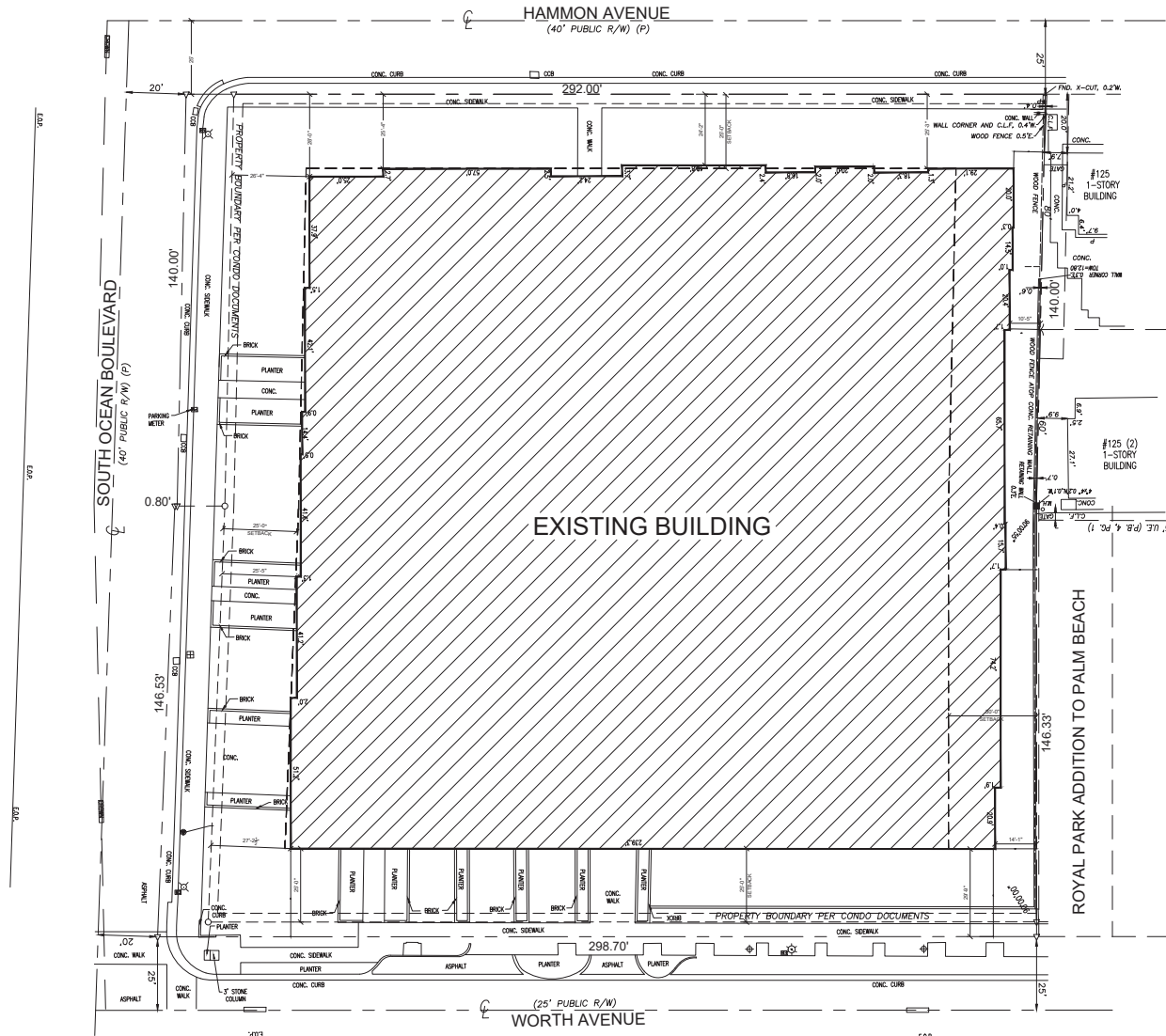
SP-3
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David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
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dma@davidmillerarchitect.com

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EXISTING SITE PLAN
N.T.S.

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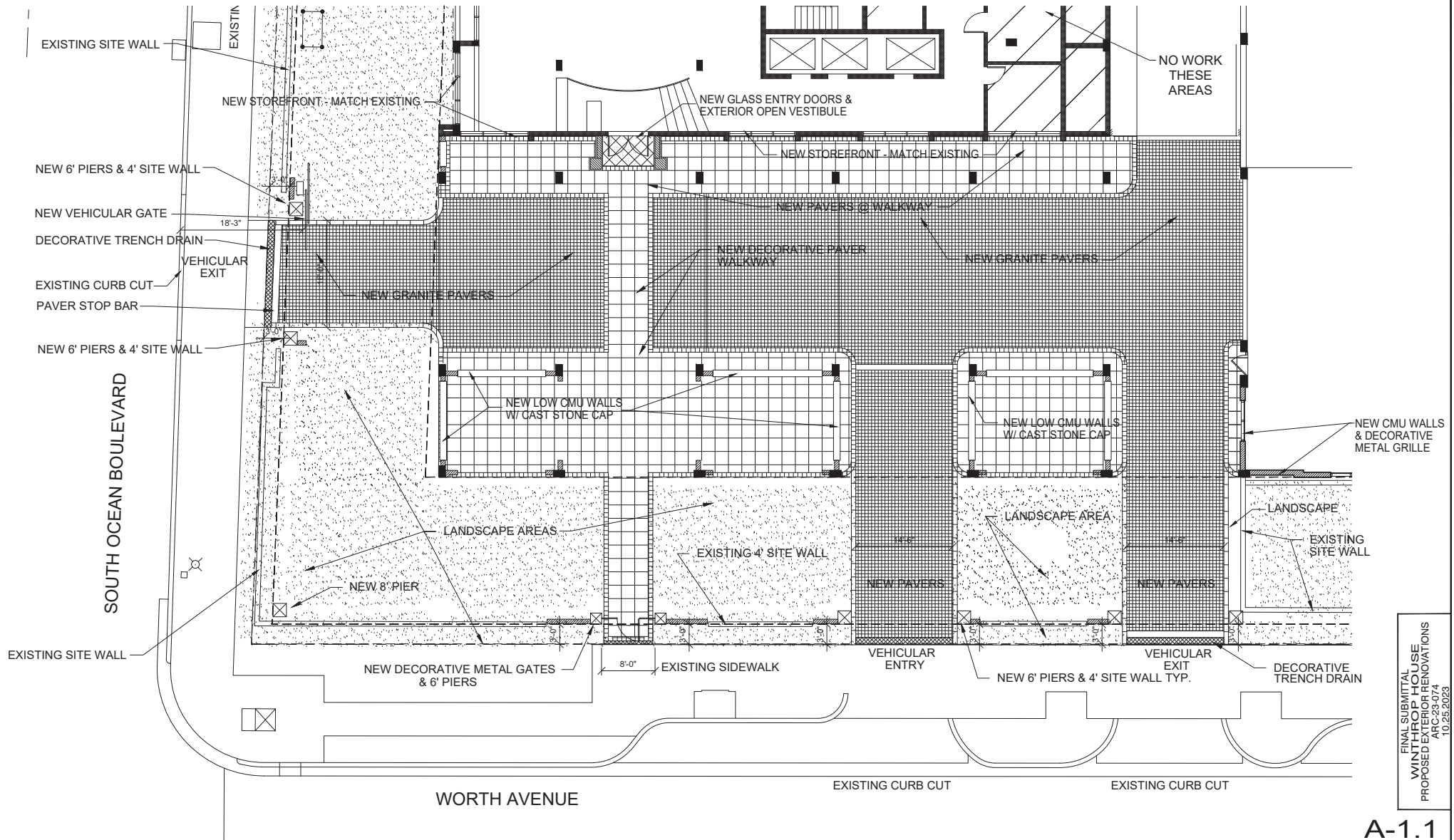
SP-4
10.25.23

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100 Worth Avenue
Palm Beach, Florida 33480

David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
dmas@davidmillerarchitect.com

Winthrop House

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A-1.1
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Winthrop House
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PROPOSED PLAN - N.E. SITE
SCALE: 3/16" = 1'-0"

David Miller and Associates, P.A.
319 Clematis Street Suite 802
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dmas@davidmillerarchitect.com

Site plan of the rear of a building showing proposed and existing features. The plan includes an existing garage, landscape areas, new CMU walls with decorative metal grilles at openings, new pavers, a decorative trench drain, a vehicular exit, and a new gate. Dimensions for setbacks and site wall setbacks are provided. A north arrow points towards the top of the page.

Key features and dimensions:

- EXISTING GARAGE**: Located at the top center of the plan.
- NEW CMU WALLS & DECORATIVE METAL GRILLE @ OPENINGS**: Indicated at three locations along the perimeter walls.
- LANDSCAPE AREA**: Three areas are designated, including a large one on the left and two on the right.
- NEW PAVERS**: Located in the lower-left corner.
- VEHICULAR EXIT**: Located at the bottom left, with a note "NEW 6' PIERS & 4' SITE WALL TYP."
- DECORATIVE TRENCH DRAIN**: Located along the bottom edge of the site.
- EXISTING SIDEWALK**: Located at the bottom of the site.
- NEW GATE**: Located on the right side of the site.
- EXISTING SITE WALLS & STAIRS TO REMAIN**: Located on the right side, near the gate.
- EXISTING BALCONY OVERHANGS ABOVE**: Located on the right side, above the existing site walls.
- SETBACKS**:
 - 30'-0" SETBACK**: Indicated on the right side.
 - 25'-0" SETBACK**: Indicated on the left side.
 - 3'-0" SITE WALL SETBACK**: Indicated at the bottom.
- EXISTING CURB CUT**: Located at the very bottom of the plan.

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A-1.2
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PROPOSED PLAN - N.W. SITE
SCALE: 3/16" = 1'-0"

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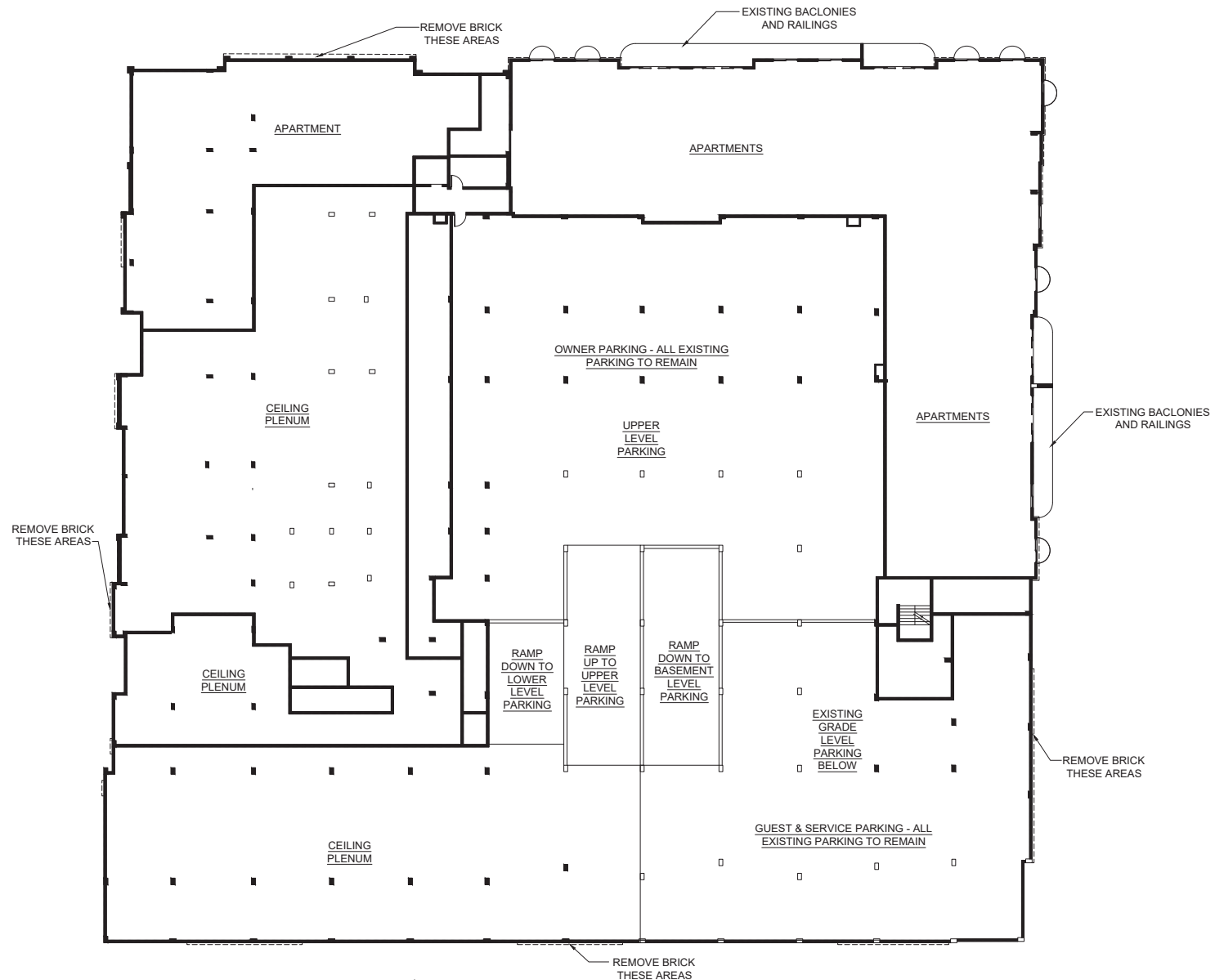
HAMMON AVENUE



David Miller and Associates, P.A.
319 Clematis Street Suite 802 AA 26000963
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
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FLOOR PLAN @ 2nd LEVEL

SCALE: 3/32" = 1'-0"

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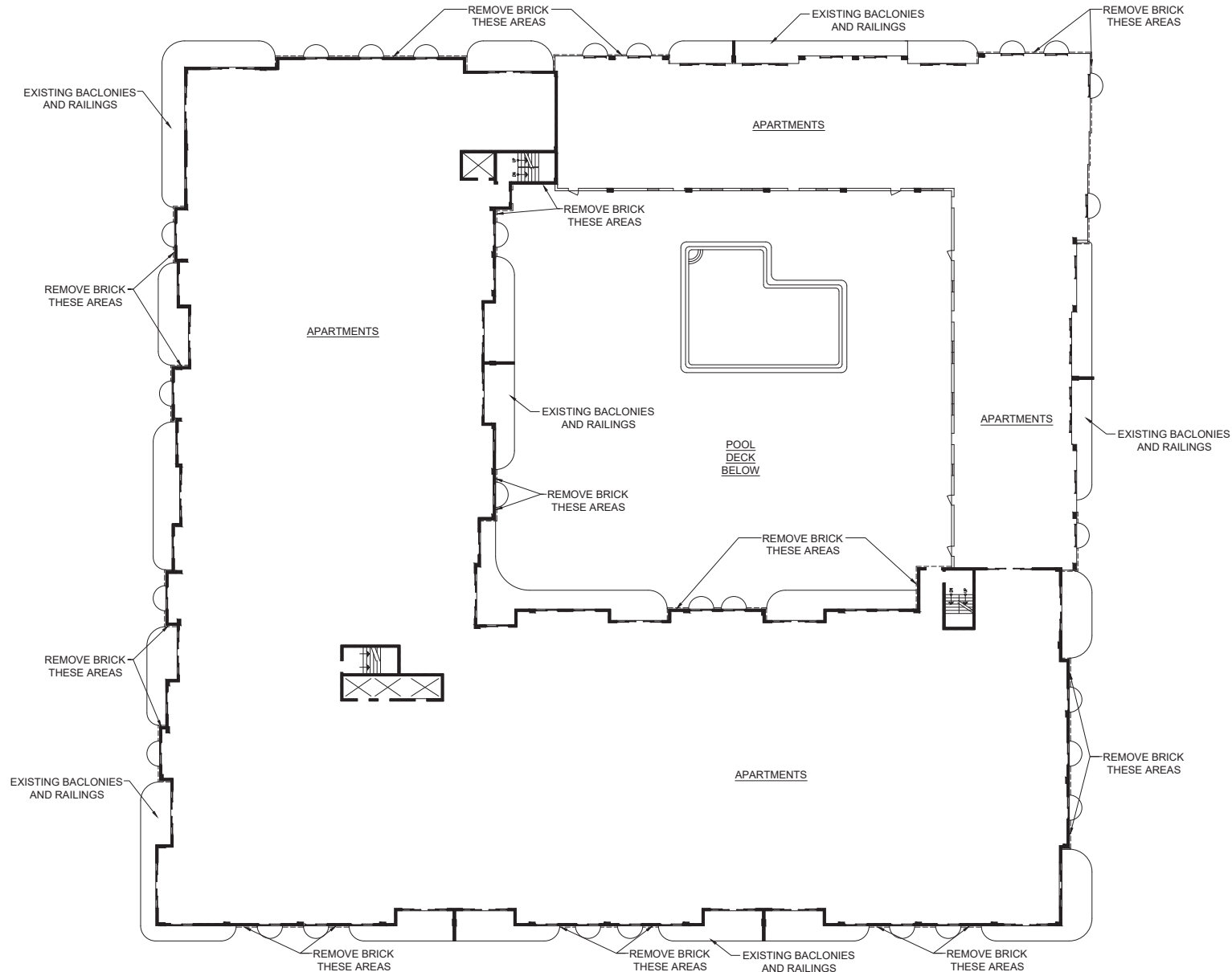
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West Palm Beach, Florida 33401
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FLOOR PLAN @ 3rd & 4th LEVELS

SCALE: 3/32" = 1'-0"

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A-4.1
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FLOOR PLAN @ 5th Thru 8th LEVELS
SCALE: 3/32" = 1'-0"

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319 Clematis Street Suite 802
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(561) 833-0164 (561) 833-0165 fax
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PROPOSED NORTH ELEVATION - FROM WORTH AVENUE



N.T.S.

- REMOVE BRICK SCREEN WALLS

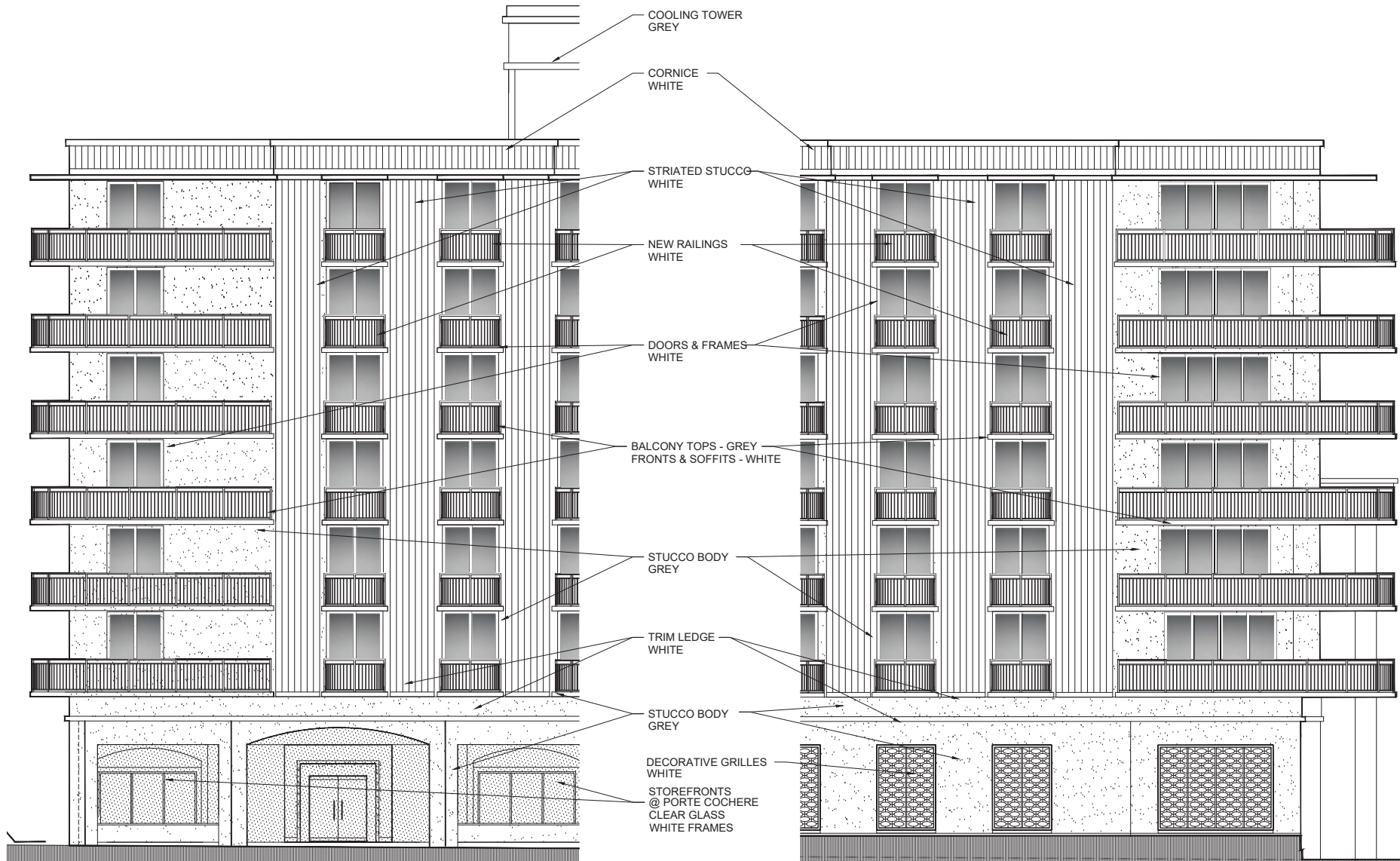
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PROPOSED NORTH ELEVATION - COLOR SELECTIONS

NTS

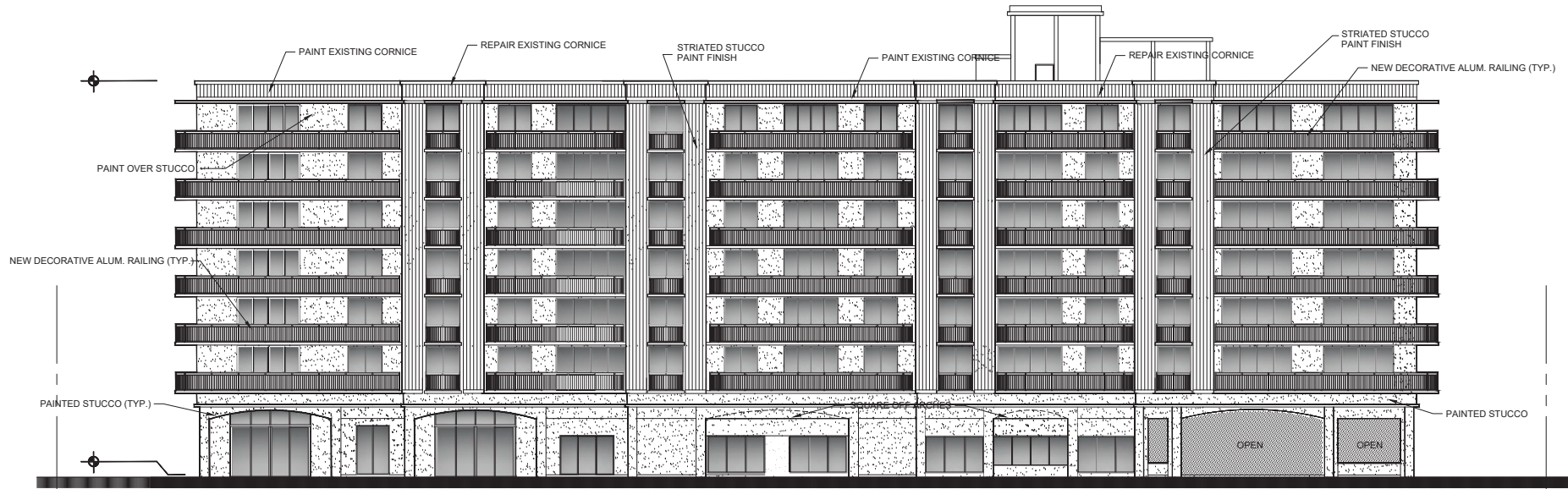
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PROPOSED EAST ELEVATION - FROM SOUTH OCSN BLVD

Scale: 1/8" = 1'-0"



EXISTING EAST ELEVATION - FROM SOUTH OCEAN BLVD

Scale: 1/8" = 1'-0"

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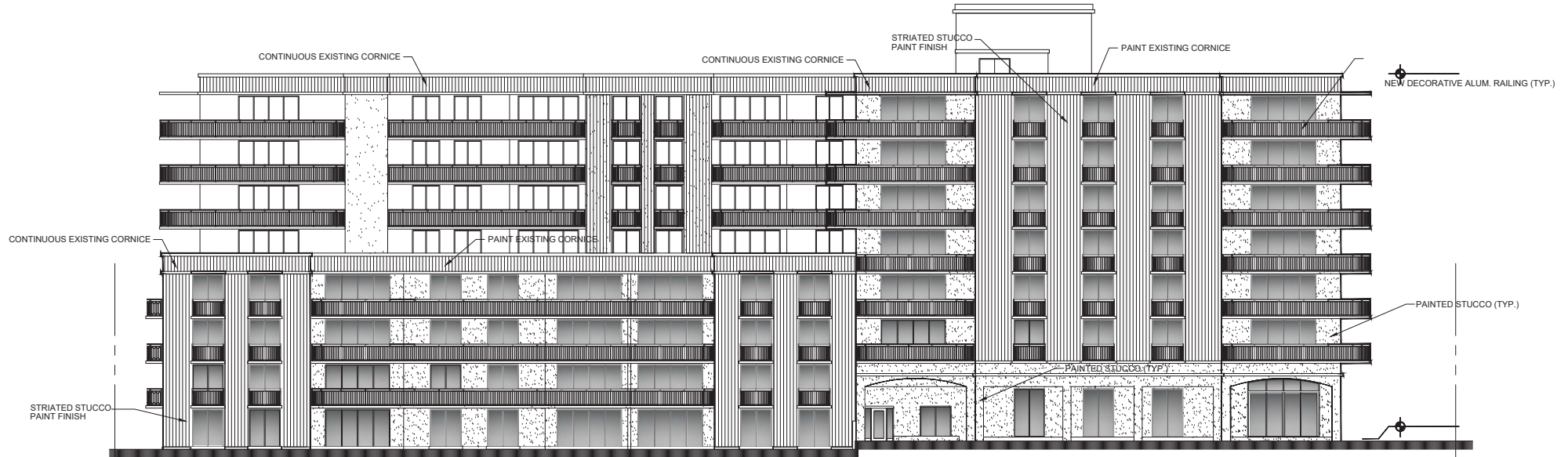
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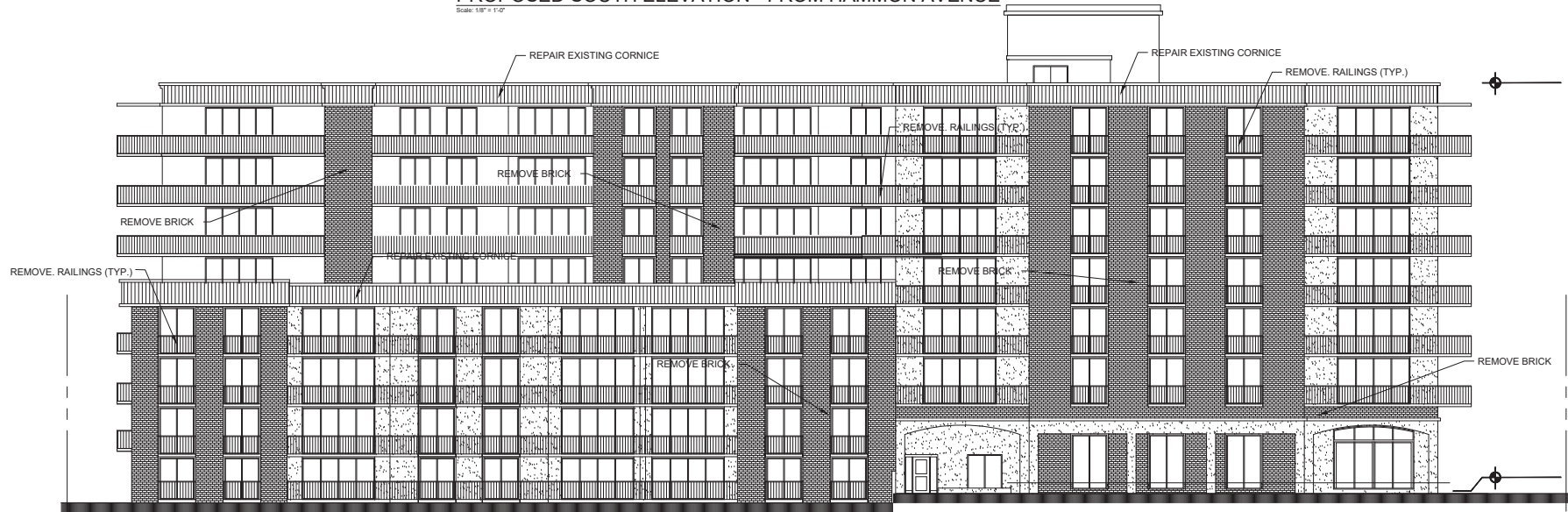
Winthrop House

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PROPOSED SOUTH ELEVATION - FROM HAMMON AVENUE

Scale: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION - FROM HAMMON AVENUE

N.T.S.

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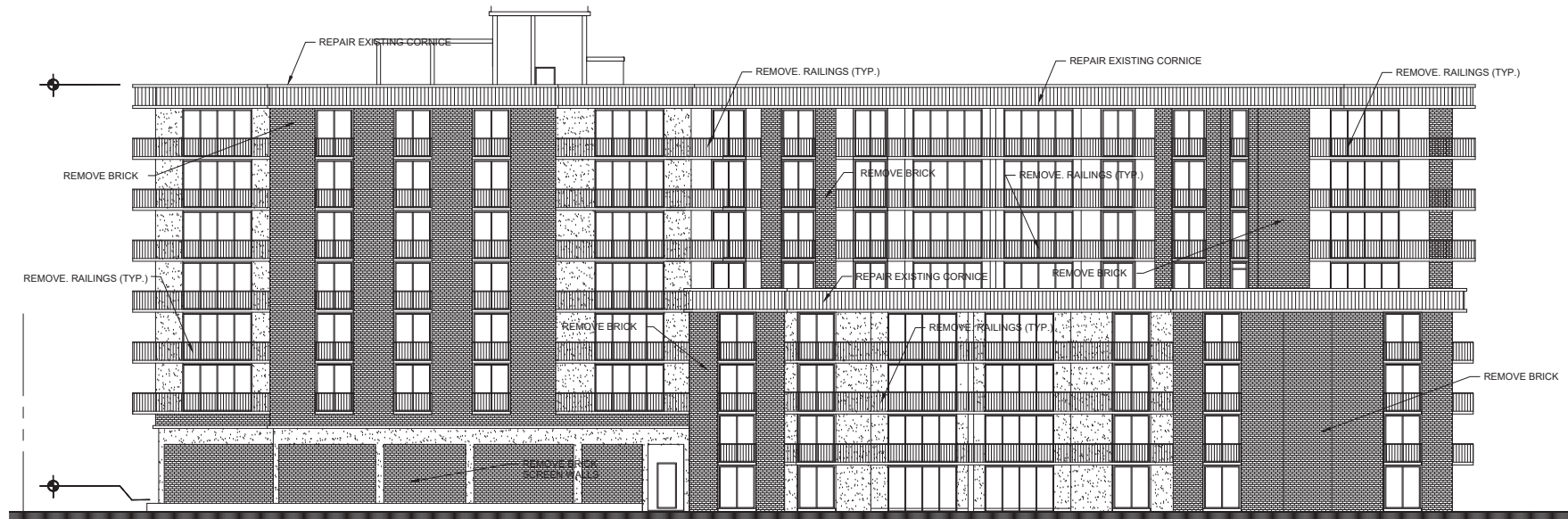
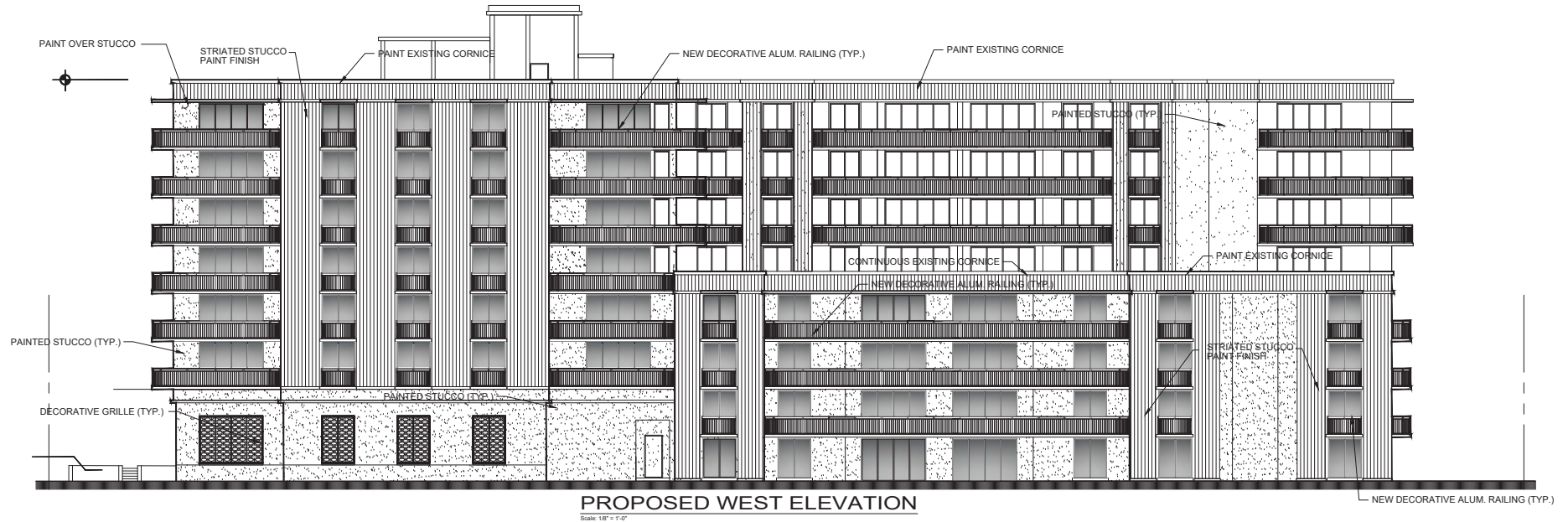
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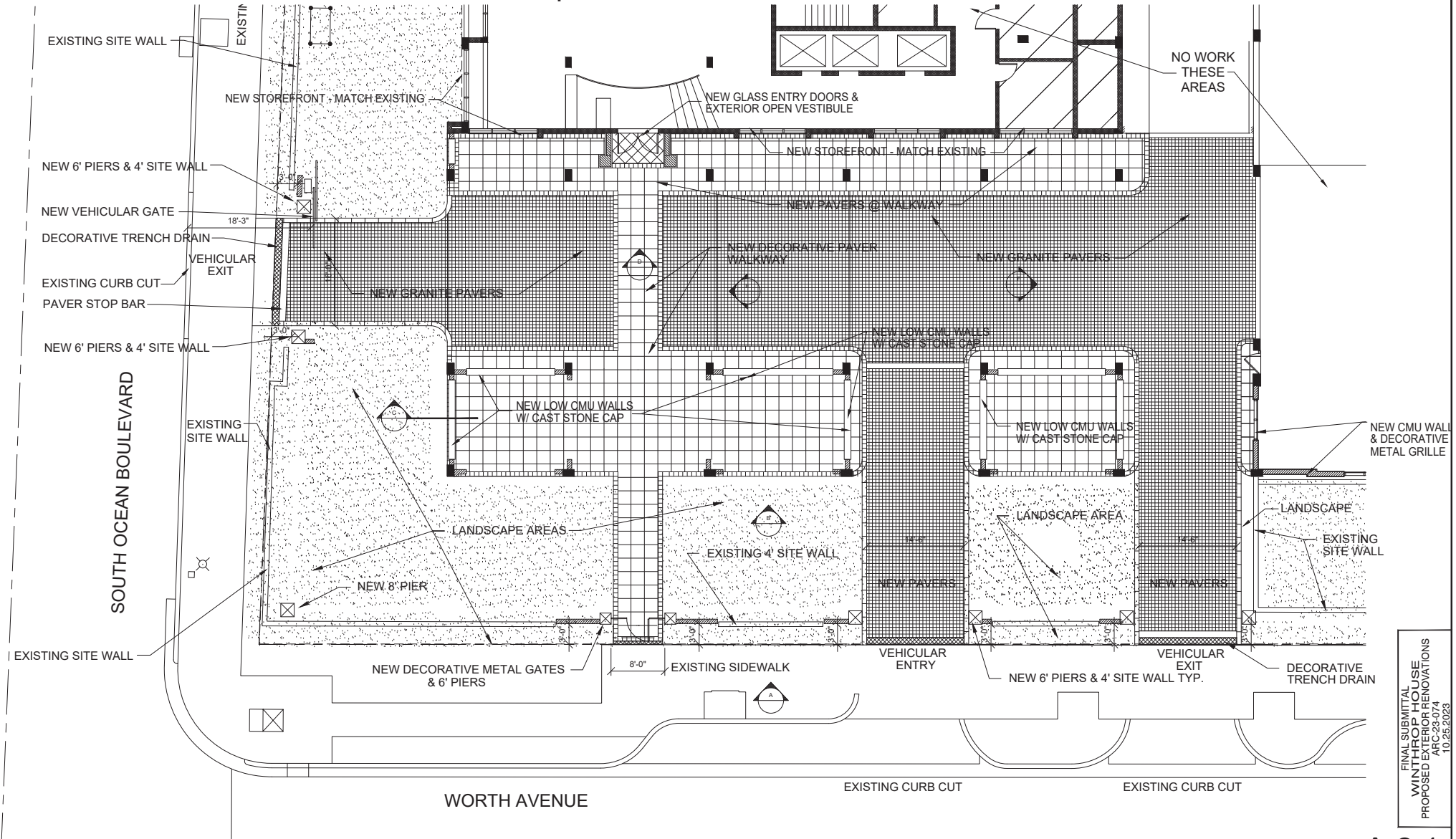
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PORTE COCHERE FLOOR PLAN

SCALE: 3/16" = 1'-0"

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Existing Conditions

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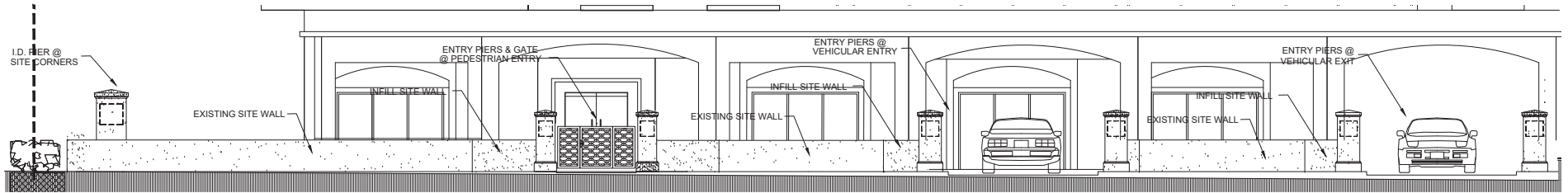
A-10.0
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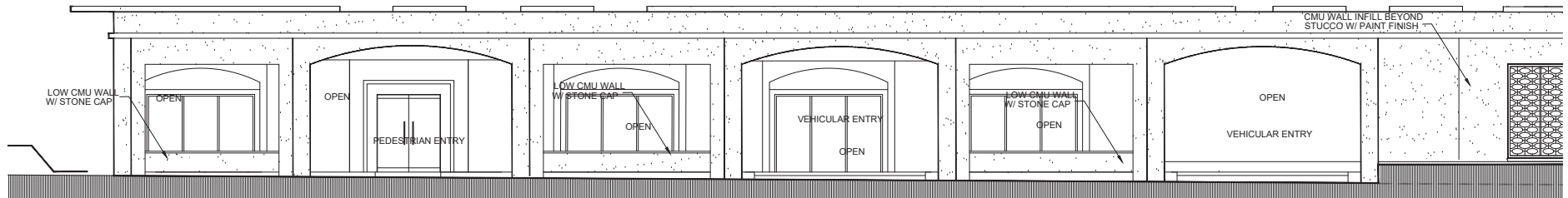
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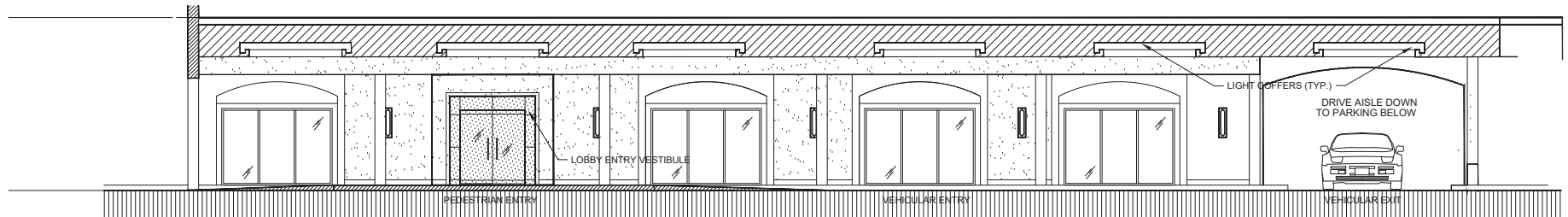
Proposed Exterior Renovations



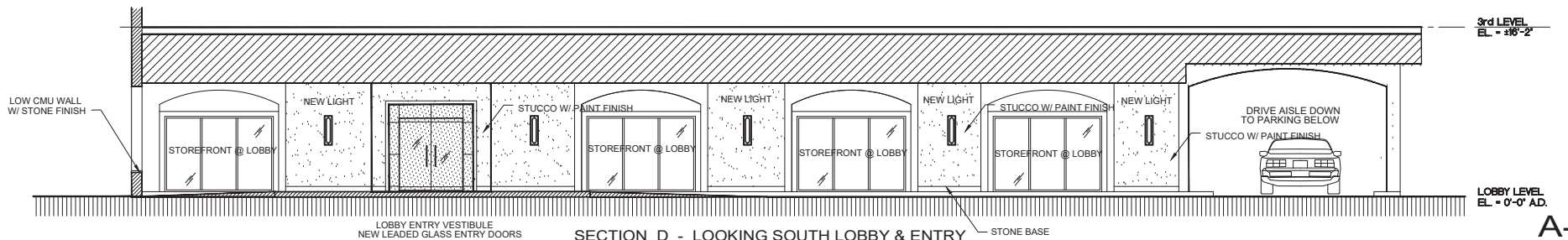
SECTION A - LOOKING SOUTH FROM WORTH AVENUE



SECTION B - LOOKING SOUTH FROM LANDSCAPED AREA



SECTION C - LOOKING SOUTH FROM THE PORTE COCHERE



SECTION D - LOOKING SOUTH LOBBY & ENTRY

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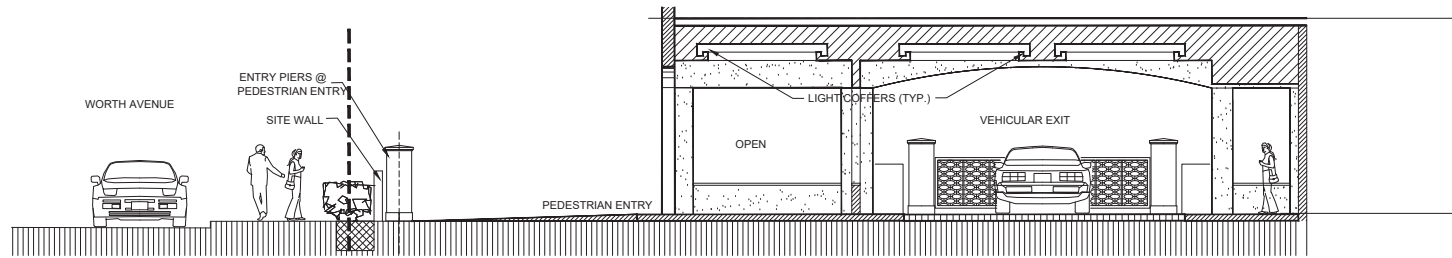
Proposed Porte Cochere Sections & Elevations

scale: 1/4" = 1'-0"

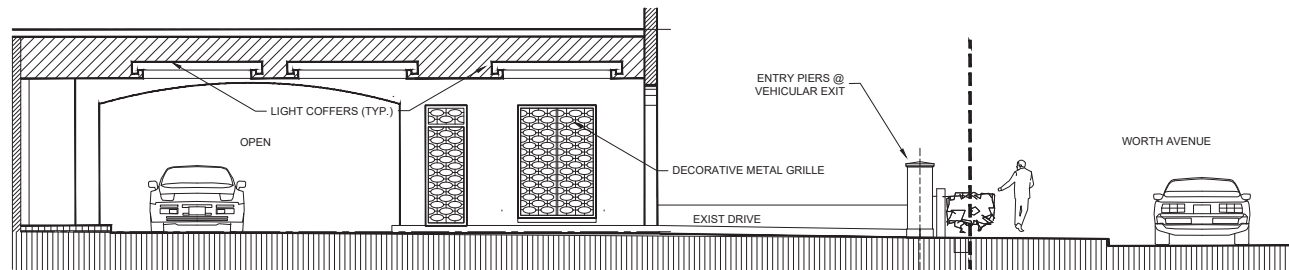
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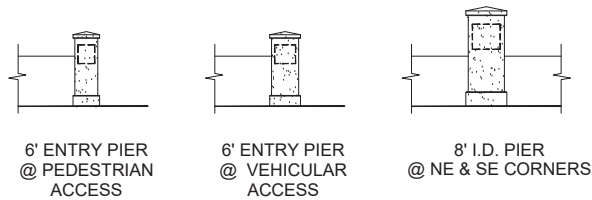
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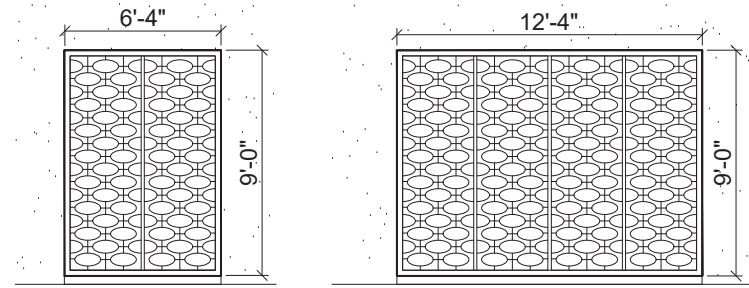
SECTION E - LOOKING EAST



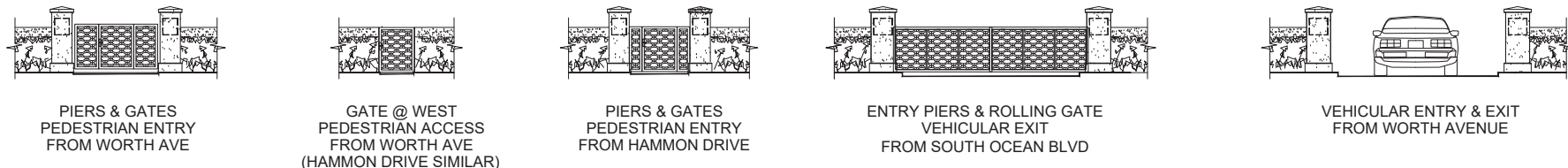
SECTION F - LOOKING WEST



SITE DETAILS - NEW PIERS



GRILLE DETAILS - 1/4" ALUMINUM FLATBAR IN WHITE FINISH



SITE DETAILS - PIERS & ENTRY GATES

SECTION & SITE DETAILS

SCALE: 1/4" = 1'-0"

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100 Worth Avenue
Palm Beach, Florida 33480

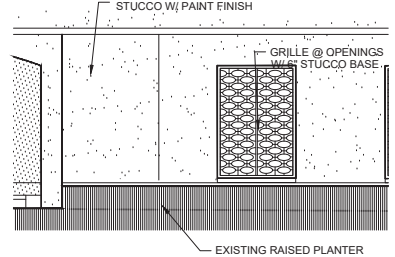
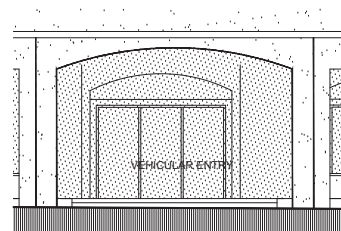
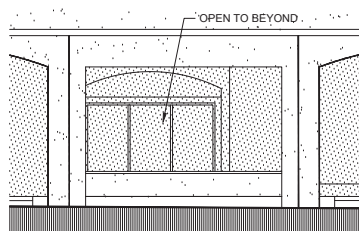
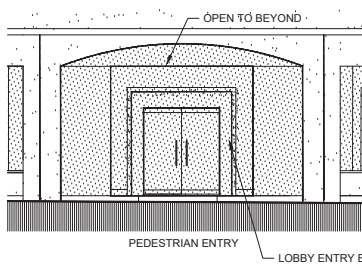
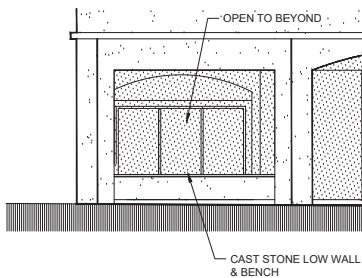
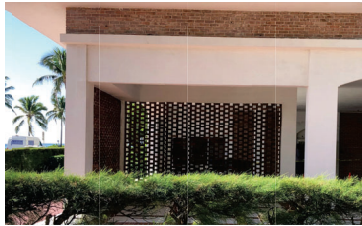
David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
dma@davidmillerarchitect.com

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WINTHROP HOUSE
PROPOSED EXTERIOR RENOVATIONS
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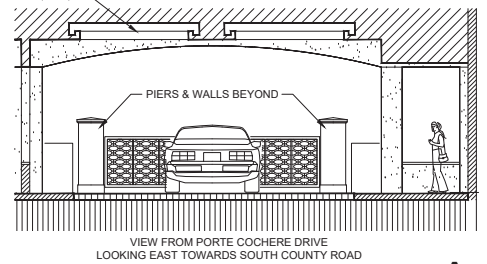
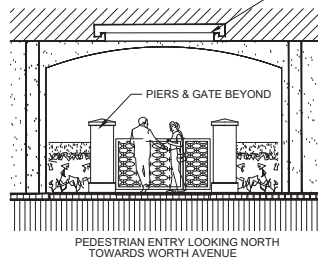
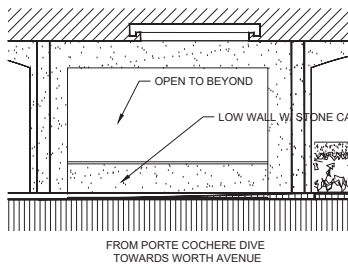
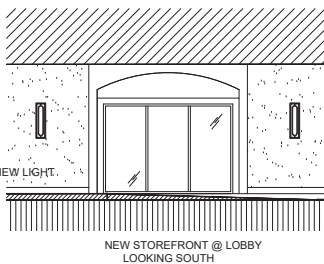
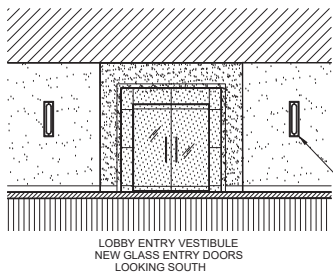
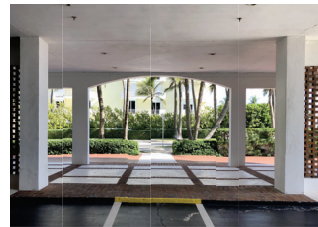
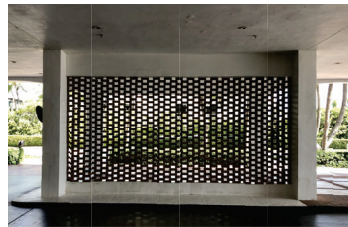
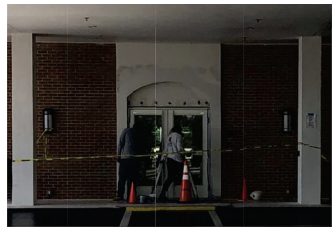
A-10.2
10.25.23

Winthrop House

100 Worth Avenue Palm Beach, Florida
Proposed Exterior Renovations



EXISTING & PROPOSED PORTE COCHERE VIEWS FROM EXTERIOR LOOKING SOUTH
SCALE: 1" = 1'-0"



EXISTING & PROPOSED PORTE COCHERE VIEWS FROM INTERIOR
SCALE: 1" = 1'-0"

Proposed Porte Cochere Details

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Palm Beach, Florida 33480

David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
dms@davidmillerarchitect.com

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A-10.3
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