

ARC - 23 - 129
FINAL SUBMITAL

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By yfigueroa at 7:28 am, Aug 15, 2023

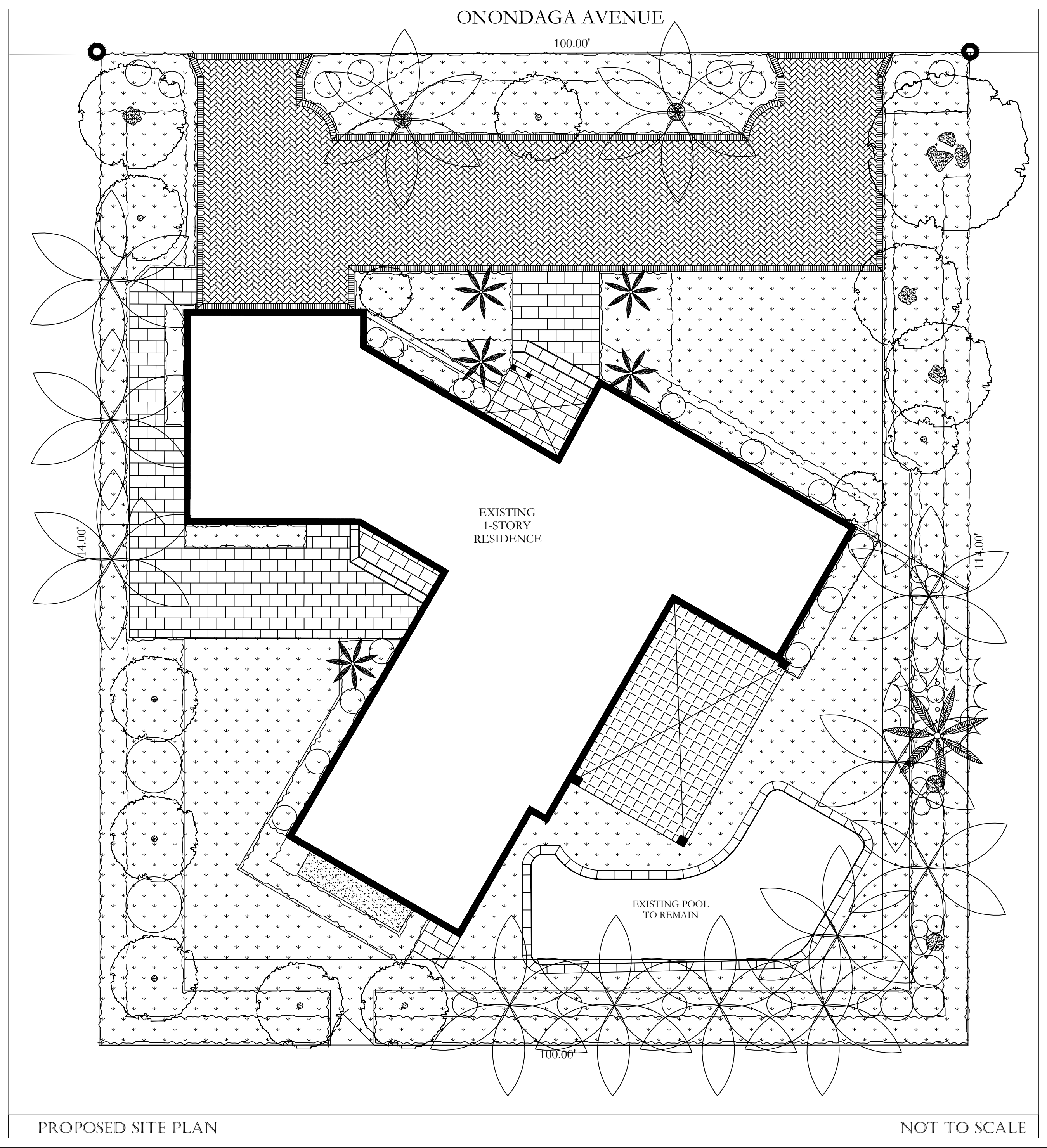
NOTES:
1. ALL EXISTING VEGETATION TO BE REMOVED WILL BE DONE UPON THE INCEPTION OF CONSTRUCTION.
2. CONSTRUCTION FENCING & ACCESS GATES W/ OPAQUE SCREEN, 6' HT WILL BE INSTALLED ALONG THE FRONT PROPERTY LINE TO KEEP DIRT/DEBRIS FROM NEIGHBORING PROPERTIES & THE ROAD.
3. EXISTING VEGETATION & FENCING TO REMAIN DURING CONSTRUCTION.

CONSTRUCTION SCHEDULE

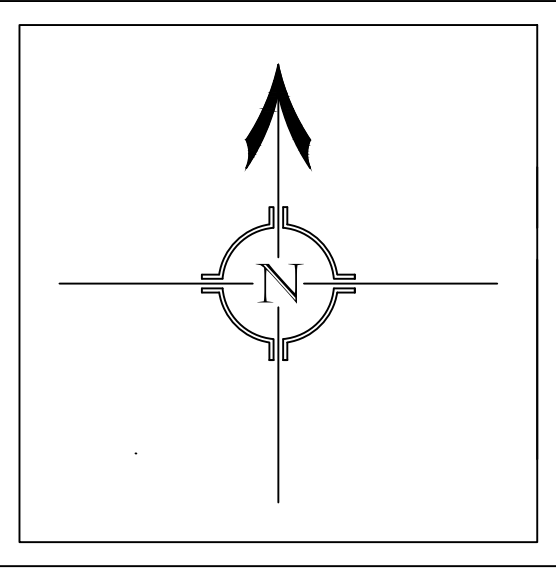
BELOW IS A ROUGH CONSTRUCTION TIMELINE TO COMPLETE THE WORK REFLECTED ON THE PROPOSED EXTERIOR RENOVATION AT THE SAYER RESIDENCE LOCATED AT 220 ONONDAGA AVENUE IN PALM BEACH, FLORIDA. ANY & ALL CONSTRUCTION ACTIVITIES WILL BE DONE CONCURRENTLY, IF POSSIBLE, IN ORDER TO COMPLETE THE PROJECT IN A MORE TIMELY MANNER.

+ DEMOLITION	1 WEEK
+ DRAINAGE INSTALLATION	2 WEEKS
+ HARDSCAPE INSTALLATION	3 WEEKS
+ LANDSCAPE INSTALLATION	3 WEEKS
+ NEW ALUMINUM FENCING & GATES	3 DAYS
+ IRRIGATION	2 WEEKS

SCOPE OF WORK-
- PROPOSED FRONTYARD/
DRIVEWAY HARDSCAPE
- PROPOSED LANDSCAPE
- PROPOSED PVC FENCING @
SIDE/REAR YARDS



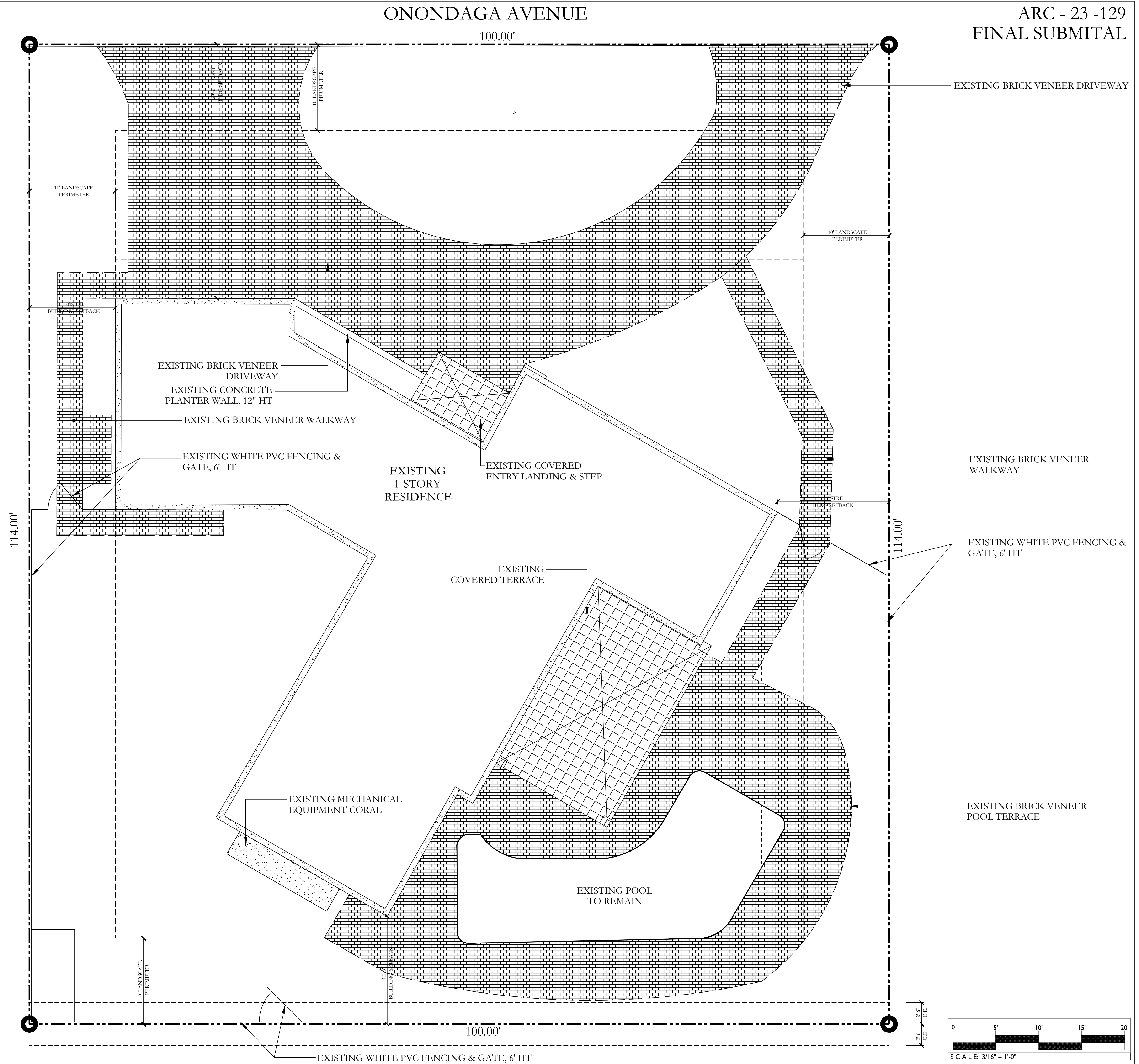
SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

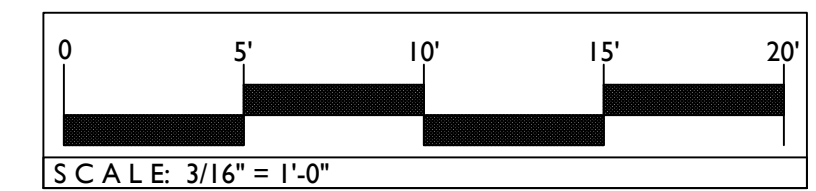


-DRAWING INDEX-	
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SL-	SITE LOCATION MAP
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LP1.2_	PERIMETER LANDSCAPE PLAN
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ELEVS_	PROPOSED LANDSCAPE ELEVATIONS
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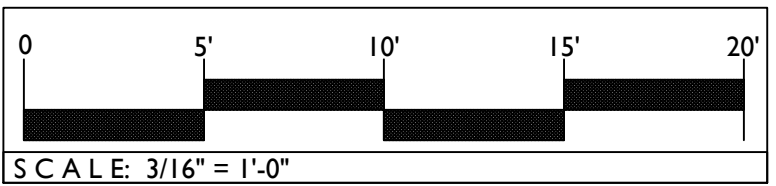
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WEST PALM BEACH, FLORIDA
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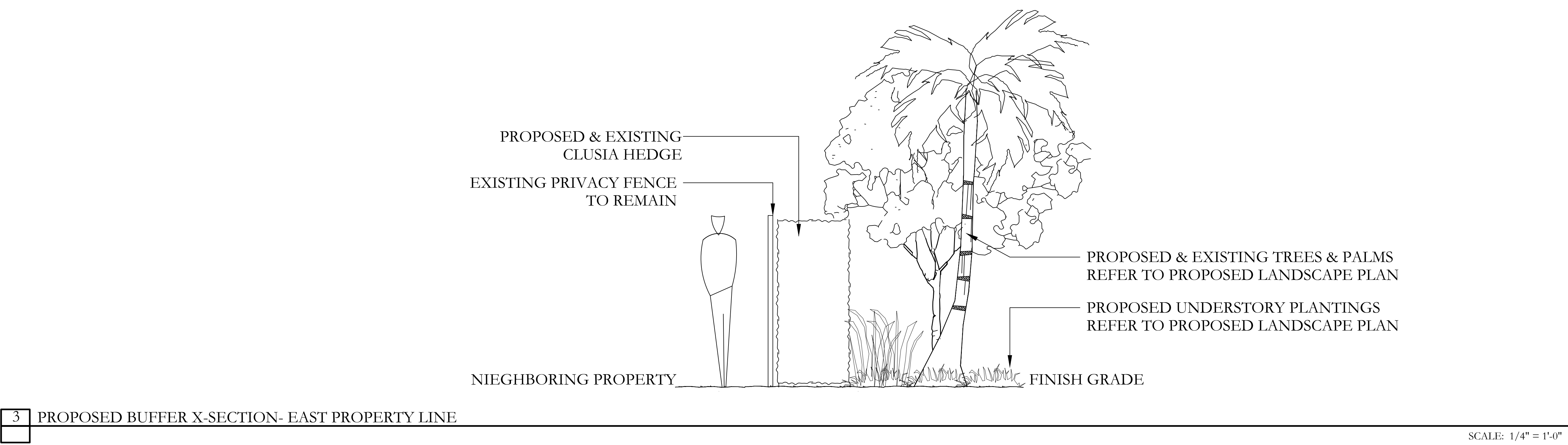
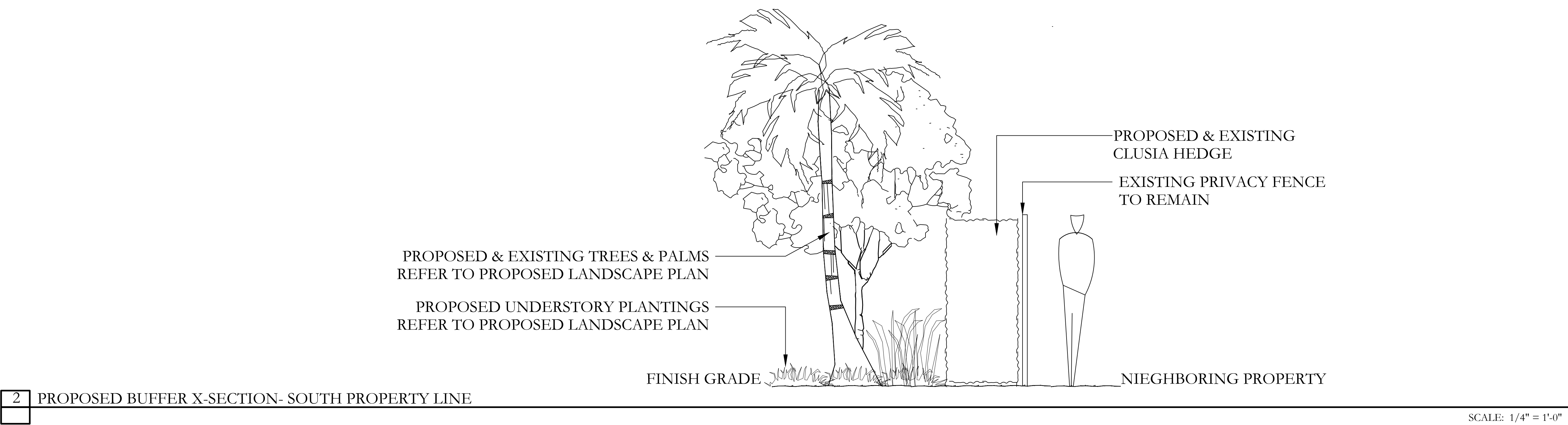
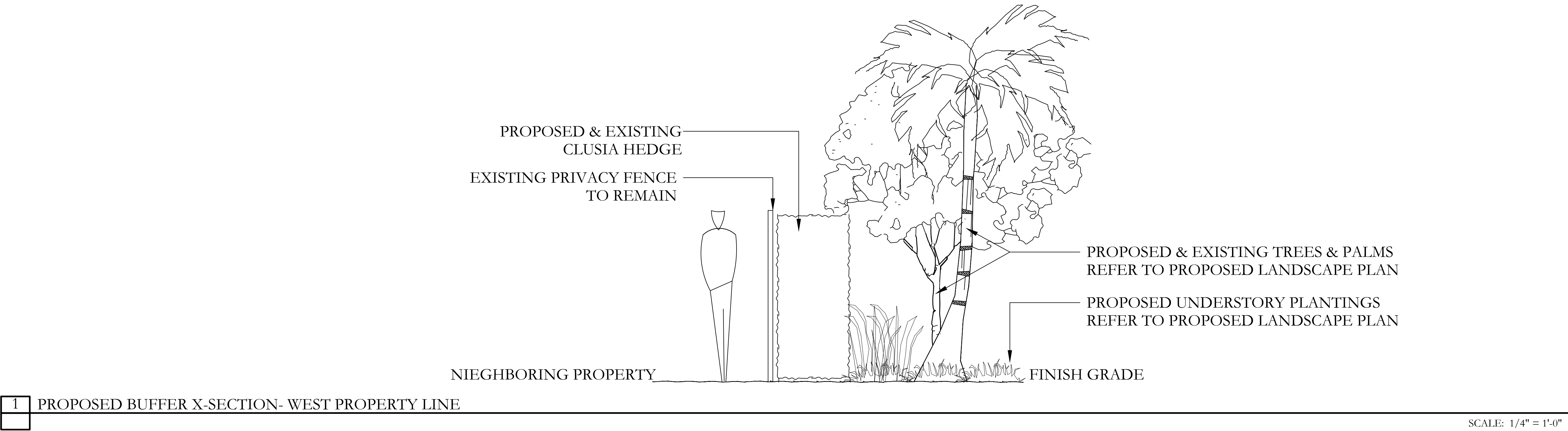


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LANDSCAPE BUFFER DETAILS

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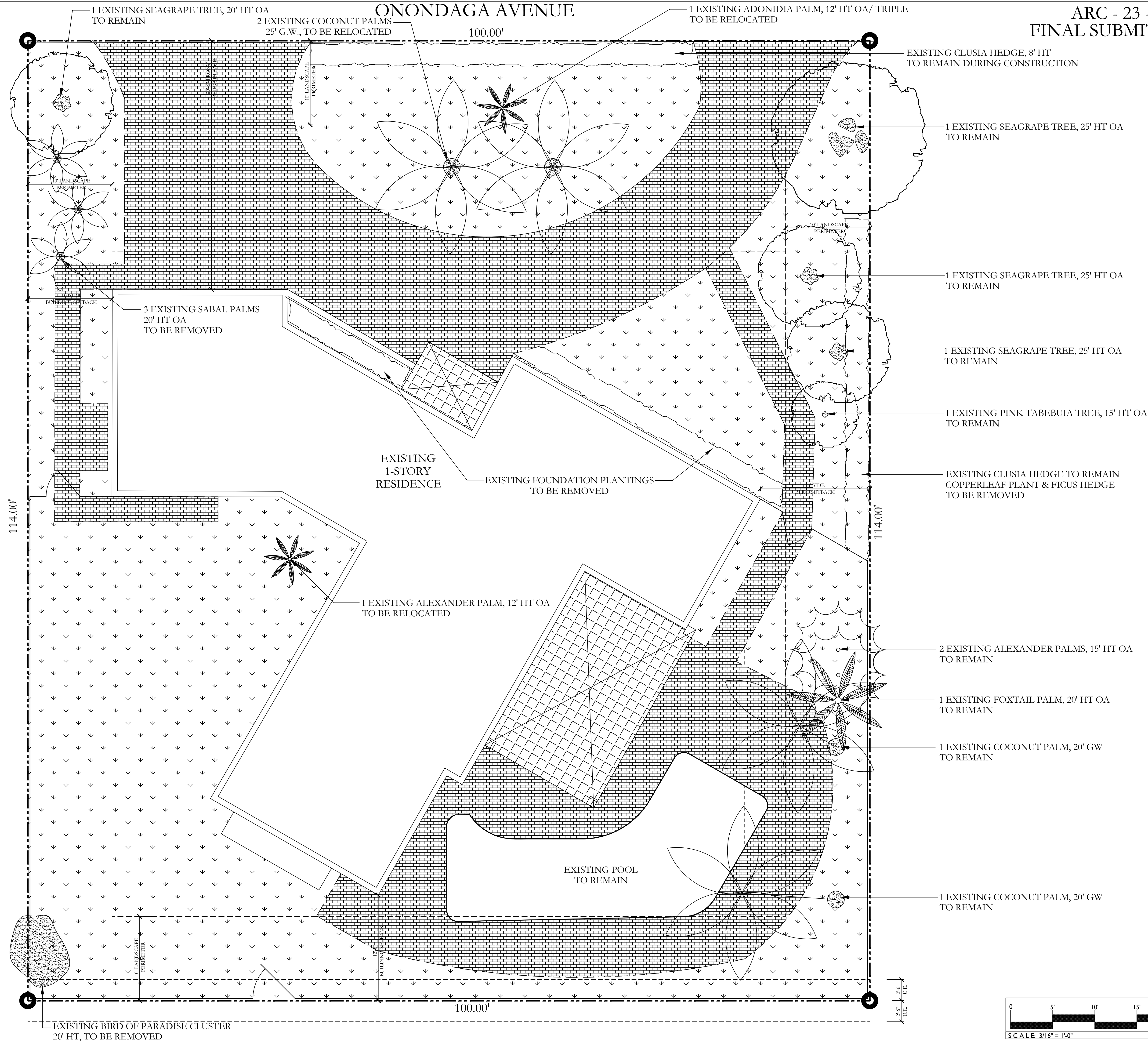
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SCALE AS SHOWN

LP1.5

DATE:
14 AUGUST 2023



ARC - 23 - 129
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VEGETATION DISPOSITION PLAN

SAYER RESIDENCE
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PALM BEACH, FLORIDA

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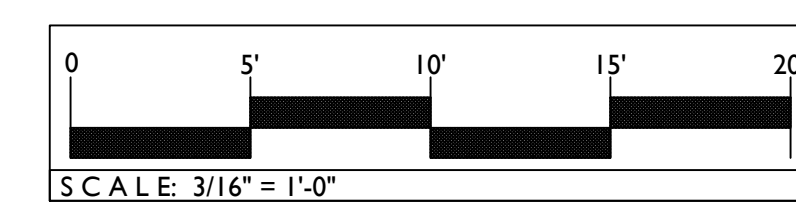
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SCALE: 3/16" = 1'-0"

EXP-2

DATE:
14 AUGUST 2023





1 NORTH ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"

LANDSCAPE ELEVATIONS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

SEAL:

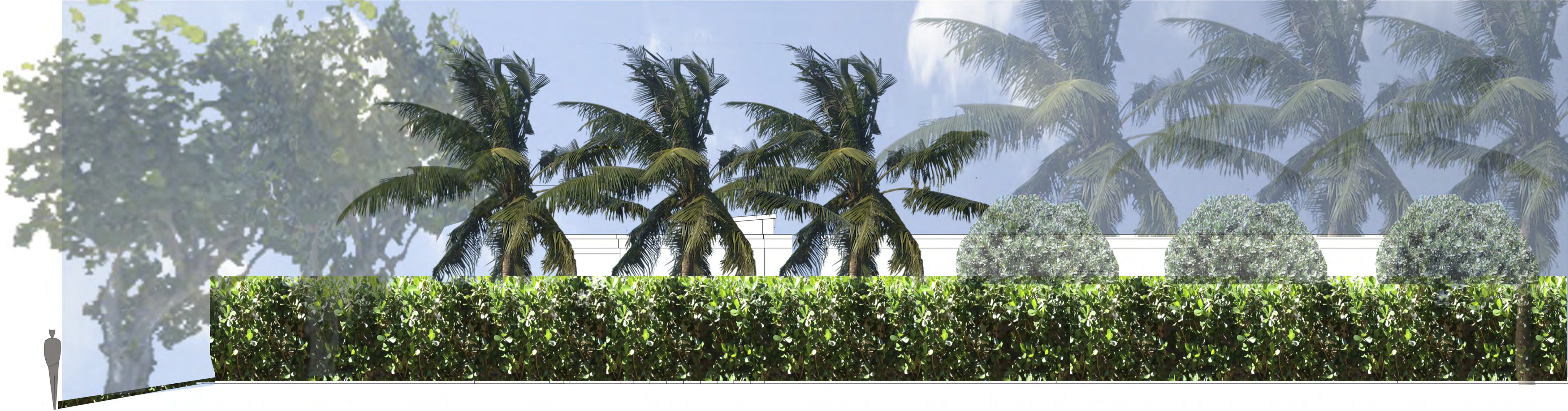
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SCALE AS SHOWN

ELEV1

DATE:
14 AUGUST 2023



1 WEST ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"

LANDSCAPE ELEVATIONS

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PALM BEACH, FLORIDA

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SCALE AS SHOWN

ELEV2

DATE:
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1 EAST ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"

LANDSCAPE ELEVATIONS

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SCALE AS SHOWN

ELEV3

DATE:
14 AUGUST 2023



1 SOUTH ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"

LANDSCAPE ELEVATIONS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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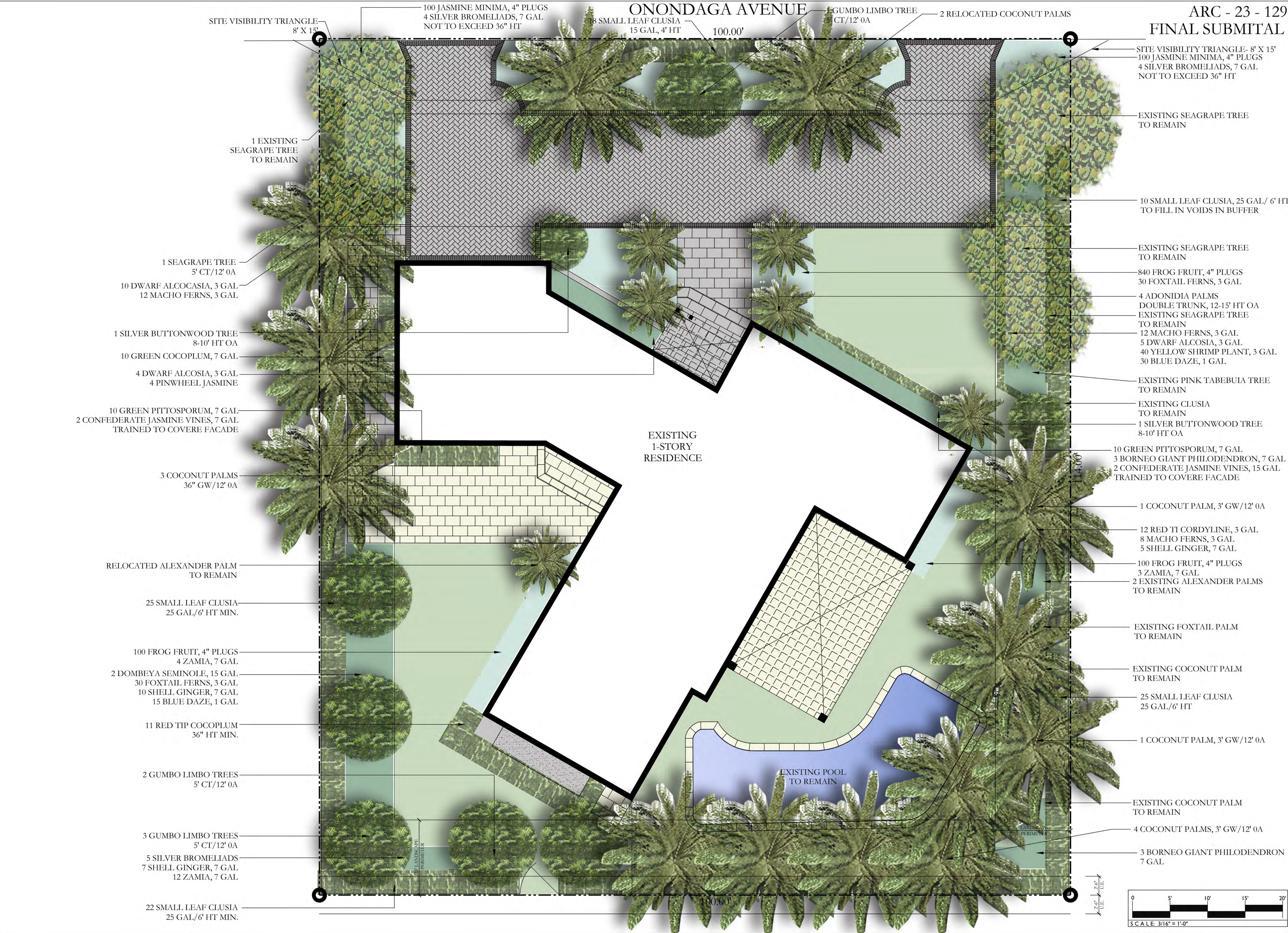
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ELEV4

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PROPOSED LANDSCAPE RENDERING

SAYER RESIDENCE

220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

SEAL:

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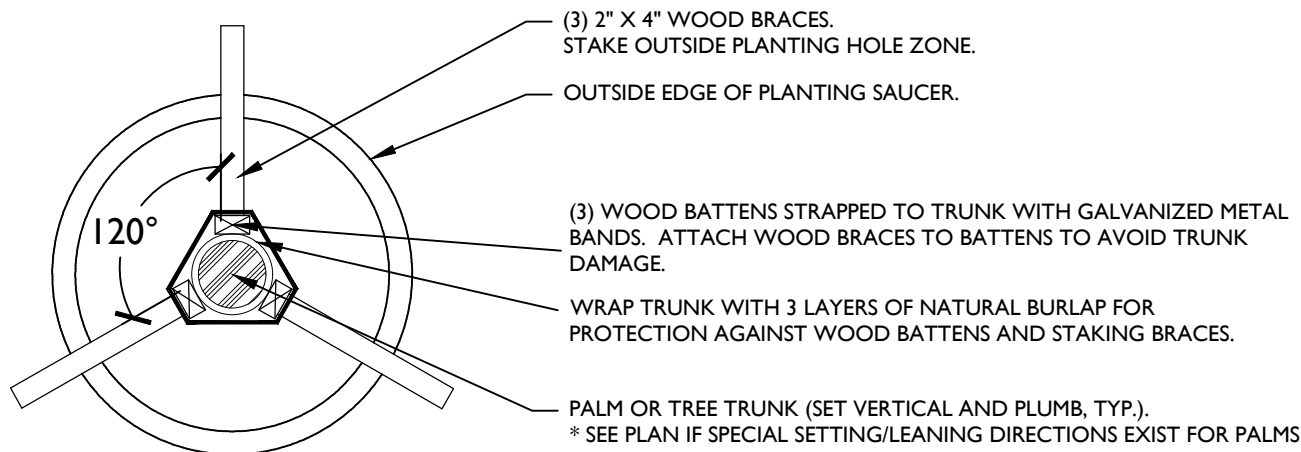
SCALE: 3/16" = 1'-0"

LR

DATE:
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SMALL PALM STAKING PLAN

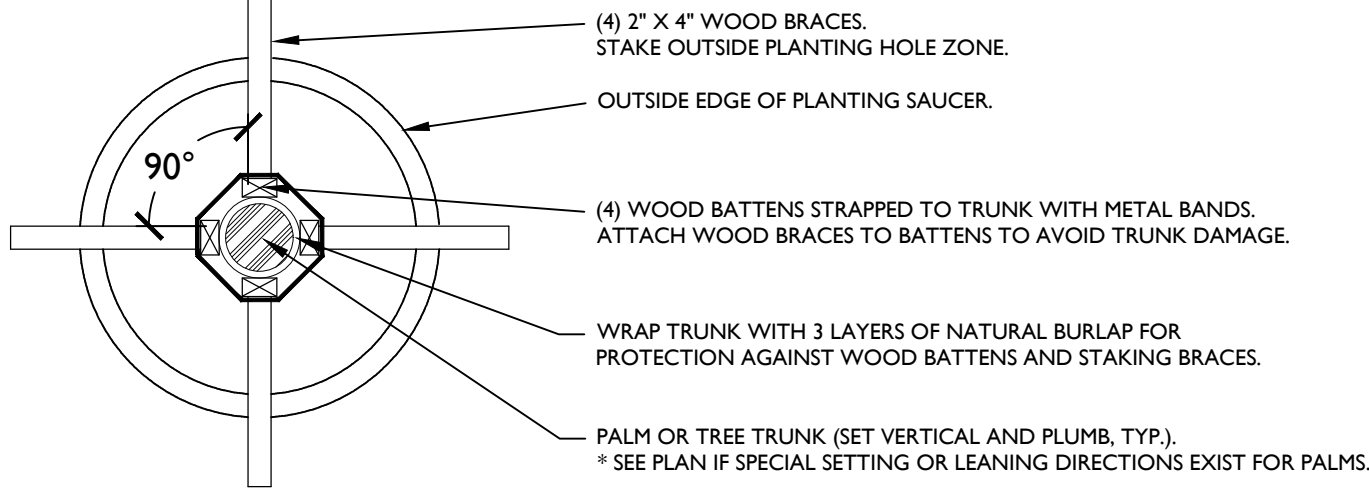
NOTE:
1. APPLICABLE TO ALL PALMS WITH CALIPER SIZE OF LESS THAN SIX (6) INCHES.
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.



NTS.

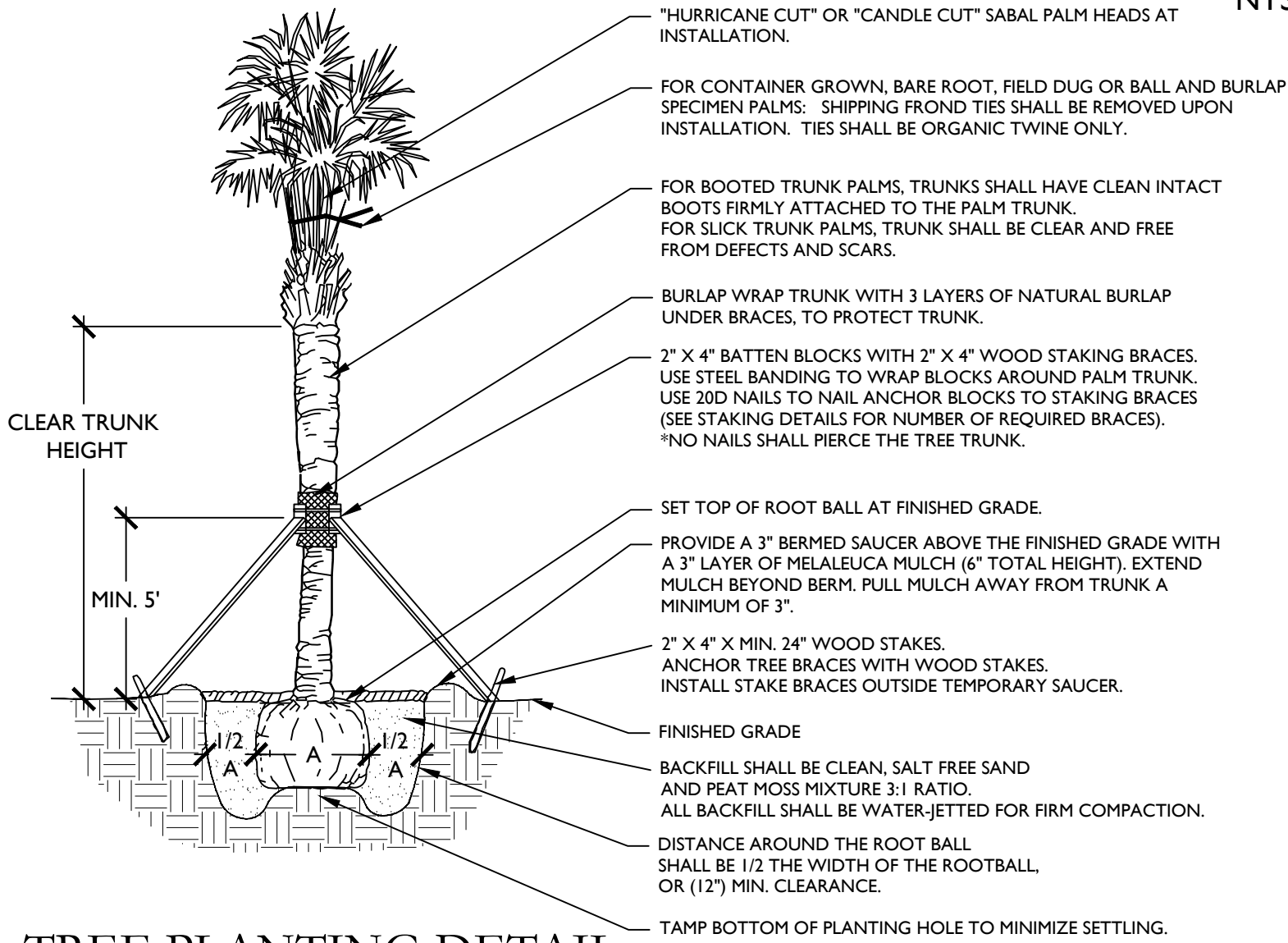
LARGE PALM OR TREE STAKING PLAN

NOTE:
1. APPLICABLE TO ALL MULTI-TRUNK PALMS AND PALMS WITH CALIPER SIZE OF SIX (6) INCHES OR GREATER.
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.



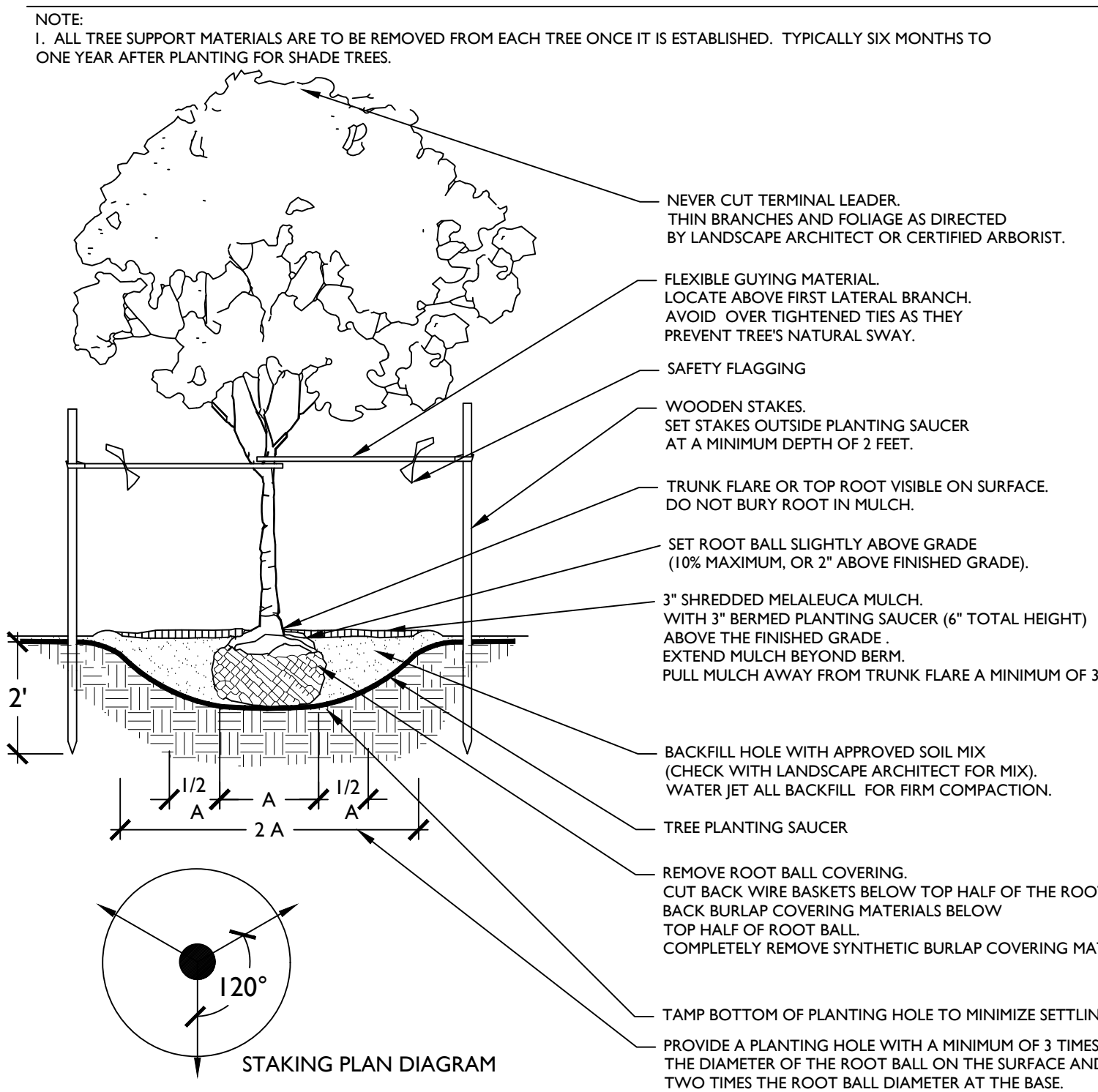
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PALM PLANTING DETAIL



NTS.


TREE PLANTING DETAIL



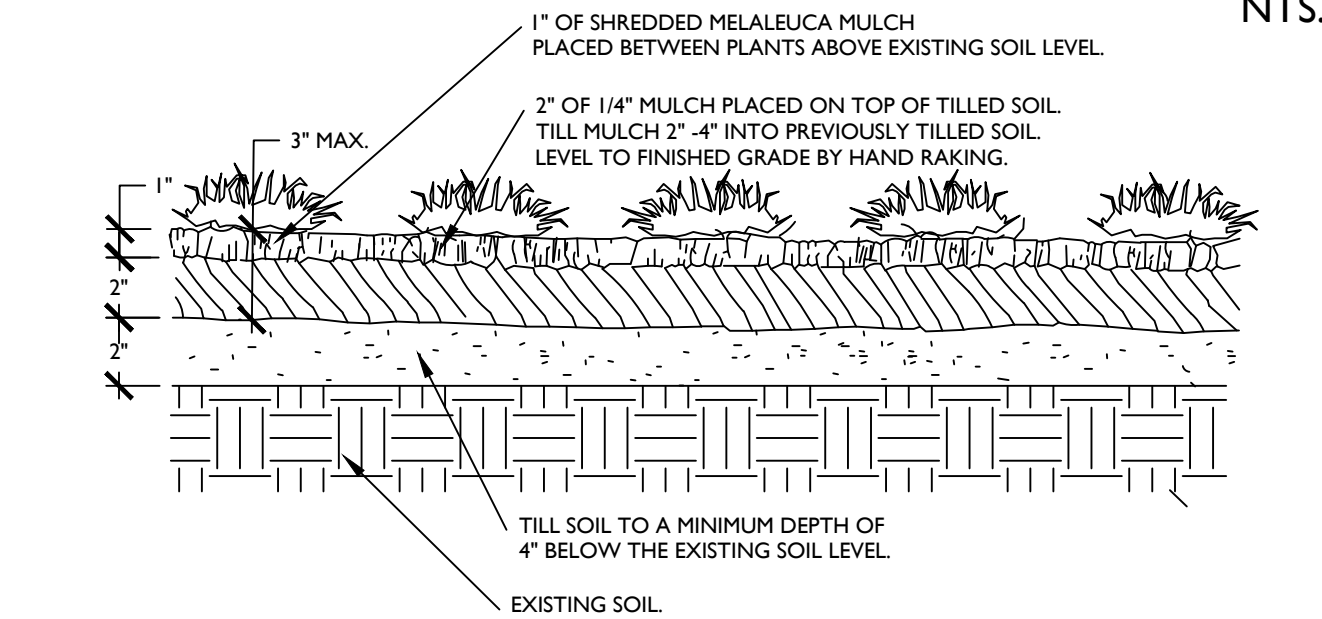
NTS.

FRONT SETBACK SITE CALCULATIONS (R-B ZONING DISTRICT)			
25' FRONT SETBACK AREA:	2,500.0 SF	100 %	
REQUIRED OPENSAPCE:	1,000.0 SF	40.0 %	
EXISTING HARDSCAPE:	1,082.1 SF	43.3 %	
EXISTING OPENSAPCE:	1,417.9 SF	56.7 %	
PROPOSED HARDSCAPE:	1,468.5 SF	58.7 %	
PROPOSED OPENSAPCE:	1,031.5 SF	41.3 %	

OPENSAPCE- 10' PERIMETER SITE CALCULATIONS (R-B ZONING DISTRICT)			
10' PERIMETER AREA:	3,880.0 SF	—	
OVERALL OPENSAPCE REQUIREMENT:	5,130.0 SF	100 %	
PERIMETER LANDSCAPE REQUIREMENT:	2,308.5 SF MIN.	50.0 %	
EXISTING HARDSCAPE:	993.8 SF	25.6 %	
EXISTING LANDSCAPE:	2,886.2 SF	74.4 %	
PROPOSED LANDSCAPE:	3,310.8 SF	85.3 %	
PROPOSED HARDSCAPE:	569.2 SF	14.7 %	

<div><div>Town of Palm Beach Planning Zoning and Building 360 S County Rd Palm Beach, FL 33480 www.townofpalmbeach.com</div></div>		
Landscape Legend		
Property Address:	220 ONONDAGA AVENUE PALM BEACH, FLORIDA 33480	
Lot Area (sq. ft.):	11,400 SQ FT	
	REQUIRED	PROPOSED
Landscape Open Space (LOS) (Sq Ft and %)	5,130.0 SQ FT 45%	5,699.9 SQ FT 50%
Perimeter LOS (Sq Ft and %)	2,308.5 SQ FT 50%	3,310.8 SQ FT 85.3%
Front Yard LOS (Sq Ft and %)	1,000.0 SQ FT 50%	1,031.5 SQ FT 41.3%
Native Trees %	30% (number of trees)	11,400 SQ FT
Native Shrubs & Vines %	30% (number of shrubs & vines)	36 TREES 12 NATIVE
Native Groundcover %	30% (groundcover area)	1,240 PLANTS 1,040 NATIVE

GROUNDCOVER DETAIL



NTS.

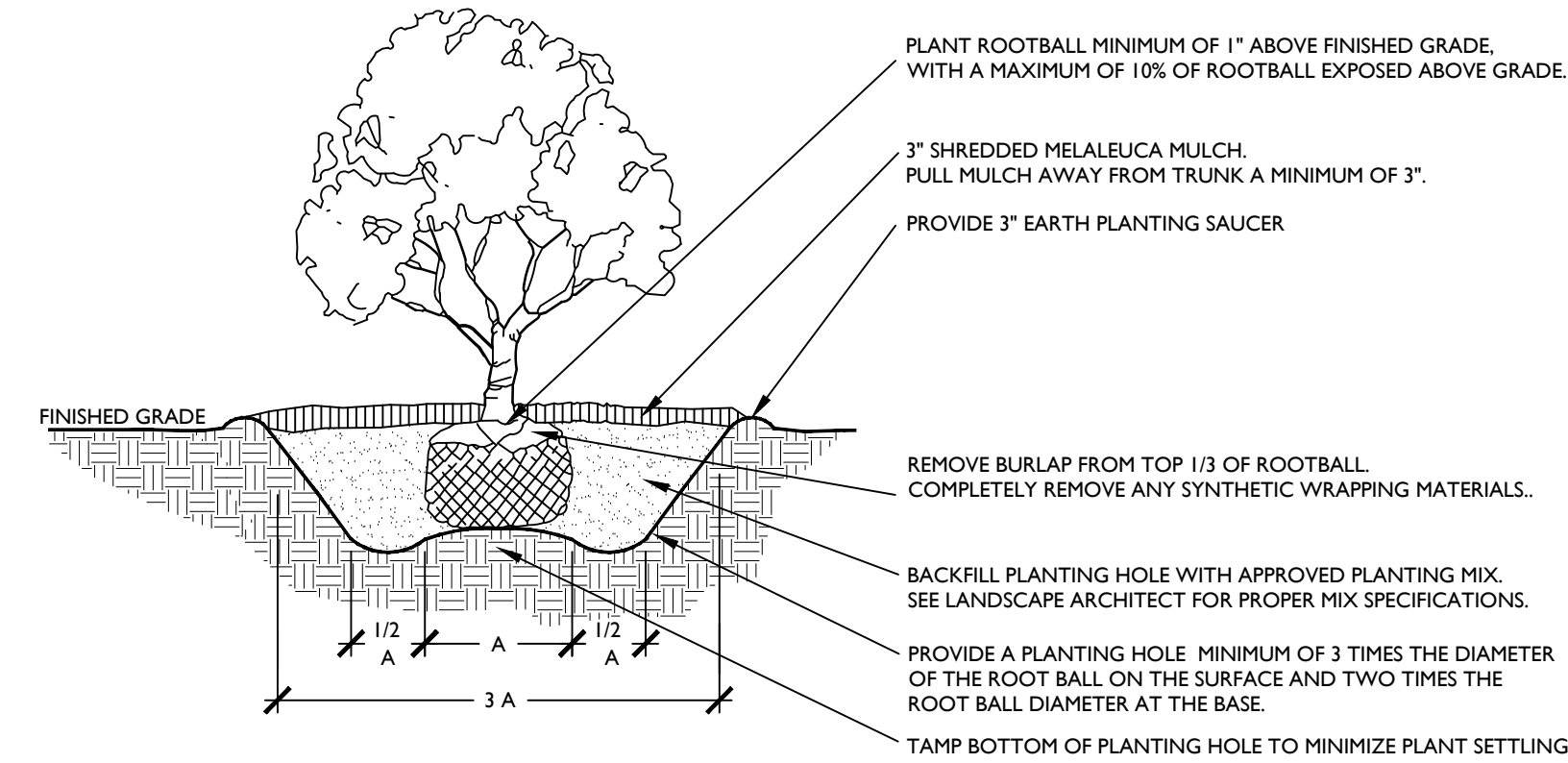
PLANT SPACING DETAIL

SPACING "D"	ROW "A"
6" O.C.	5.2'
8" O.C.	6.93'
10" O.C.	8.66'
12" O.C.	10.4'
18" O.C.	15.6'
24" O.C.	20.8'
30" O.C.	26.0'
36" O.C.	31.2'
48" O.C.	41.6'

PLANT SPACING CHART

NTS.

SHRUB PLANTING DETAIL



LANDSCAPE NOTES:

- STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
- CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
- TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
- ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
- ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
- IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP. AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
- ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS (FPLS) RIGHT TREE RIGHT PLACE GUIDELINES.
- IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
- REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
- RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.
- LOCATION OF PROPOSED ROYAL PALMS BASED ON PROPERTY OWNER'S PREFERENCE. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE INCURRED TO AUTOMOBILES OR OTHER PERSONAL PROPERTY DUE TO FALLING FRONDS.
- ALL PLANT MATERIAL IS TO BE FLORIDA GRADE #1 OR BETTER.
- ALL PLANTING MATERIAL TO HAVE ONE YEAR WARRANTY FROM FINAL APPROVAL.

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PARADELO | BURGESS

design studio

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LANDSCAPE DETAILS & SPECIFICATIONS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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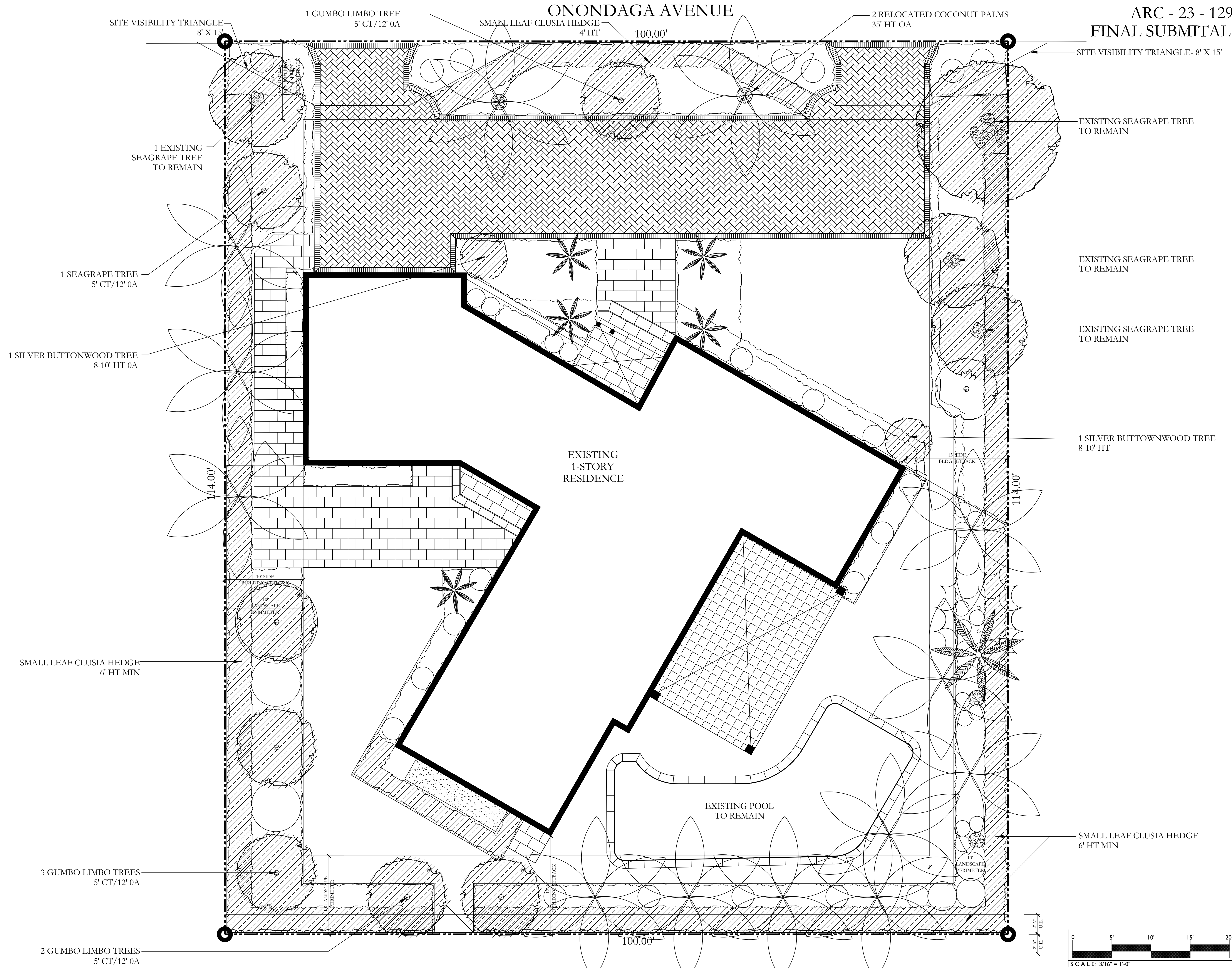
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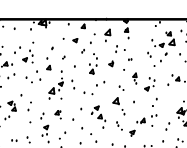
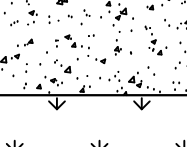
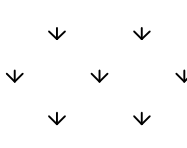
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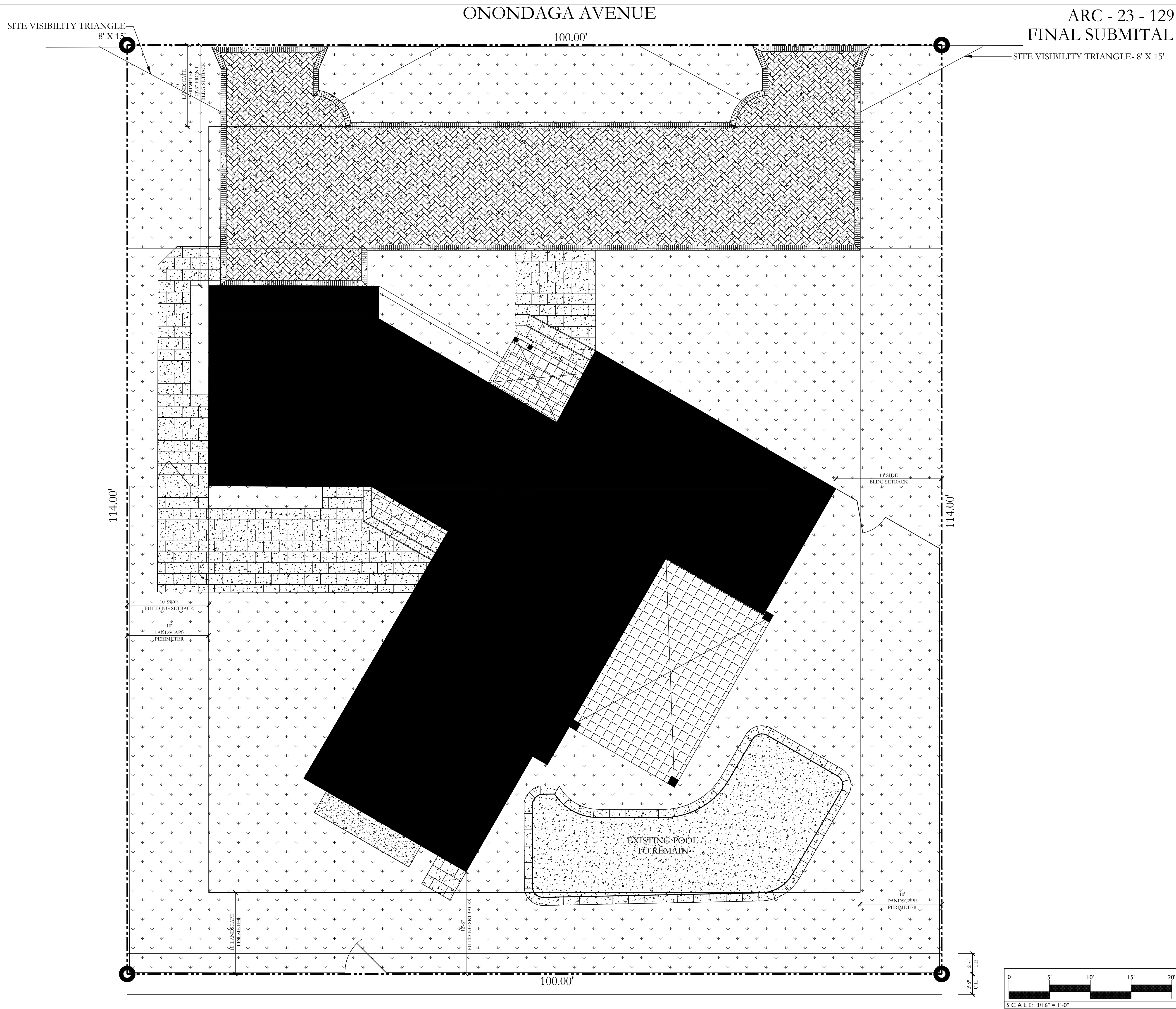
SCALE AS SHOWN

LP1.4

DATE:
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OPENSOURCE DIAGRAM-	
SYMBOL	DESCRIPTION
	PROPOSED IMPERVIOUS AREA
	LANDSCAPE OPENSOURCE
	BUILDING AREA



NOTES:
HATCHED AREA INDICATES ALL
EXISTING/PROPOSED TREES/PALMS &
UNDERSTORY PLANTINGS LOCATED IN THE
BUFFER

SITE VISIBILITY TRIANGLE-
8' X 15'

ONONDAGA AVENUE

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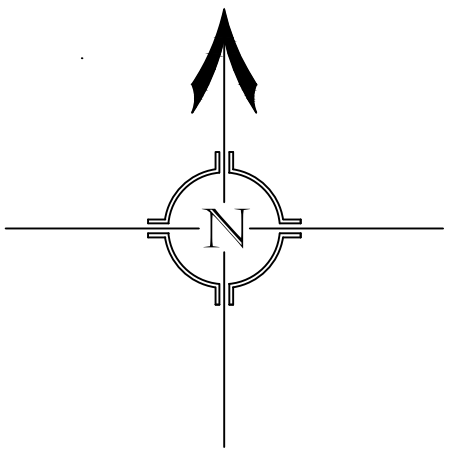
PROPOSED LANDSCAPE PLAN- PERIMETER

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PALM BEACH, FLORIDA

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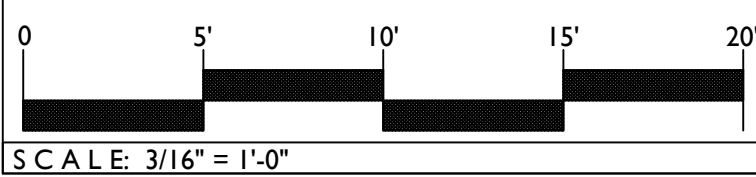
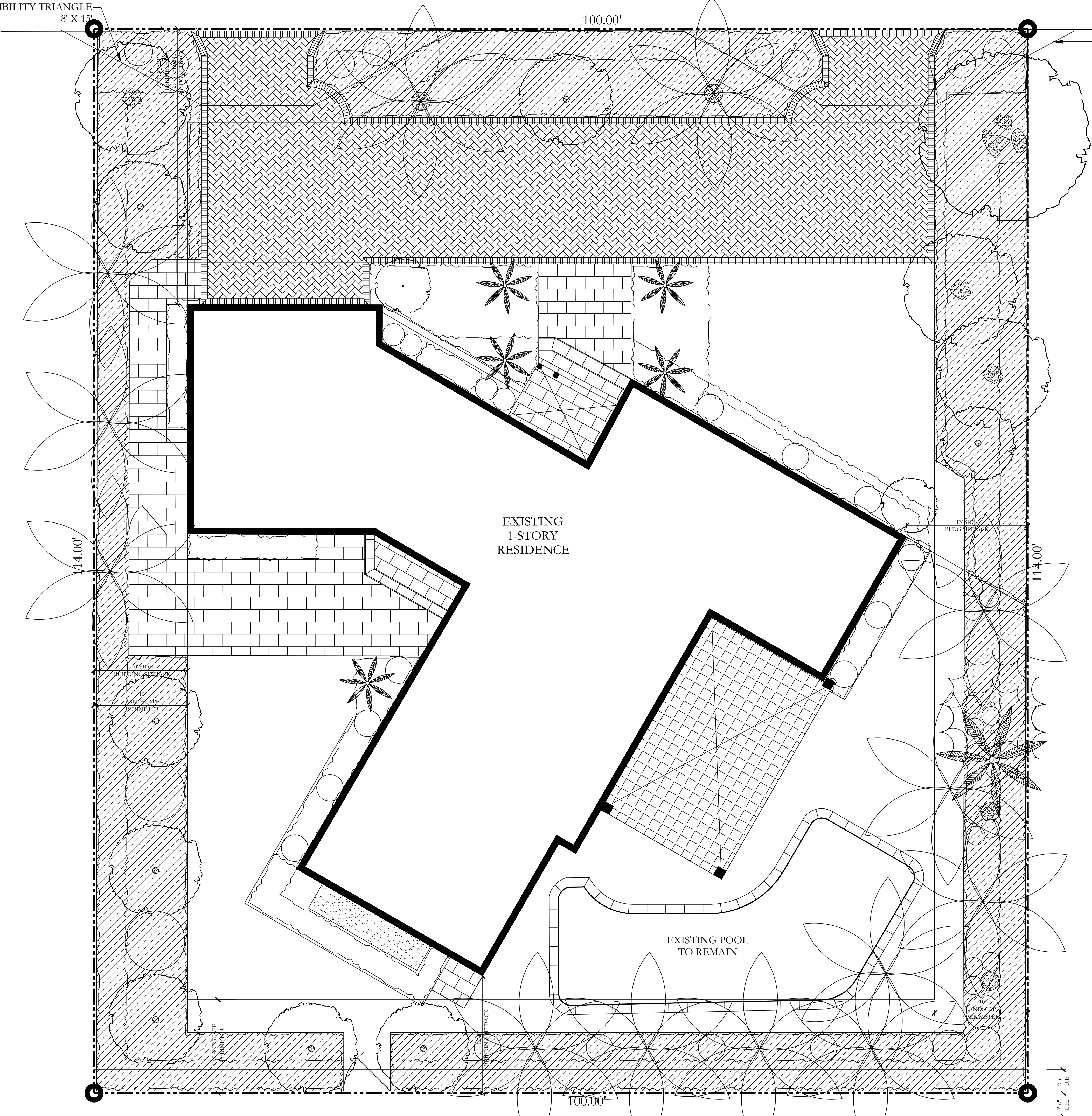
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SCALE: 3/16" = 1'-0"

LP1.2

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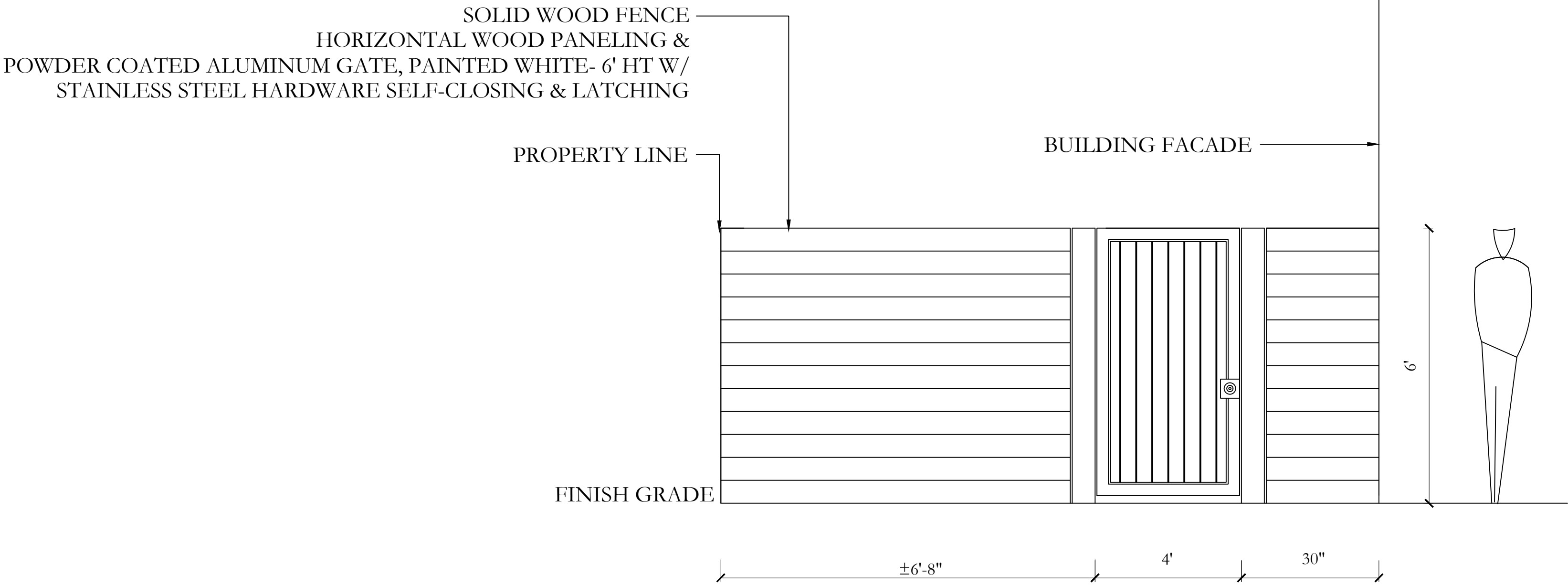


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design studio

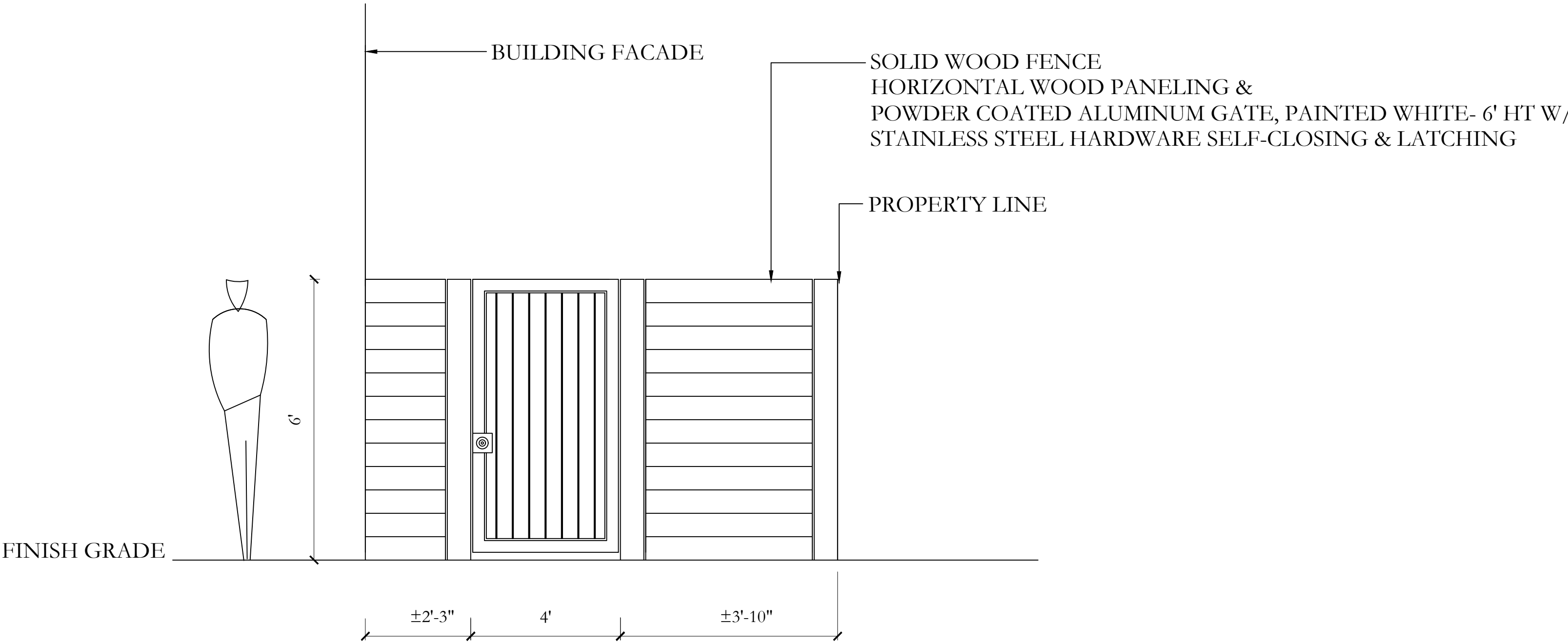
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1 PROPOSED FENCE & GATE ELEVATION- EAST SIDE

SCALE: 1/4" = 1'-0"



1 PROPOSED FENCE & GATE ELEVATION- WEST SIDE

SCALE: 1/4" = 1'-0"

PRELIMINARY HARDSCAPE | LANDSCAPE PLAN

SAYER RESIDENCE
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PALM BEACH, FLORIDA

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L1.1

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DRIVEWAY - BELGARD HOLLAND BRICK PAVEMENT
CHARCOAL GREY- 4" X 8"

DRIVEWAY & WALKWAYS- TUMBLED TRAVERTINE PAVEMENT
SANDBLASTED BLUE TAHOE- 6" X 12" | 16" X 24"

PROPOSED HARDSCAPE MATERIALS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

SEAL:

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SCALE AS SHOWN

LI.2

DATE:
14 AUGUST 2023

ARC - 23 - 129
FINAL SUBMITAL



1177 CLARE AVENUE - SUITE 7
WEST PALM BEACH, FLORIDA

561.951.7525 | INFO@PARADELOBURGESS.COM

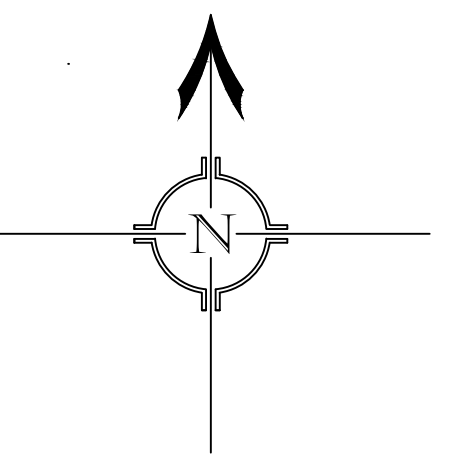
PRELIMINARY HARDSCAPE | LANDSCAPE PLAN

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

REAL:

JONATHAN BURGESS
 LICENSE # LA6667220

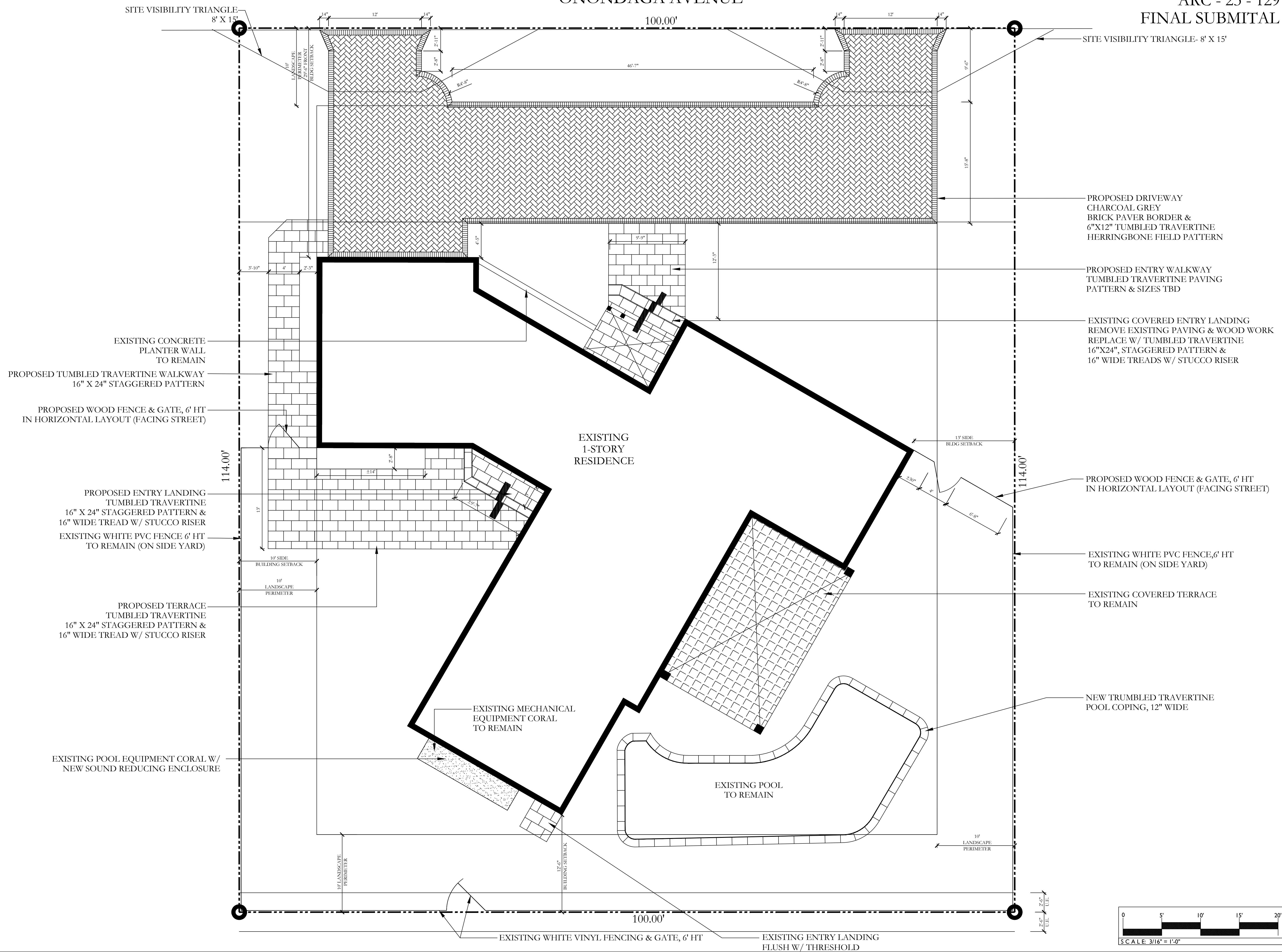
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SCALE: 3/16" = 1'-0"

L1

DATE:
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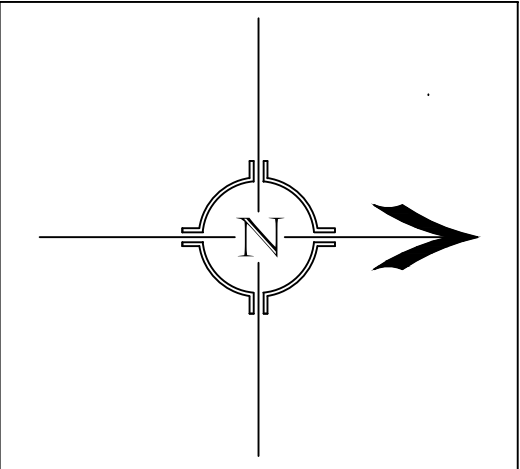
SITE LOCATION MAP

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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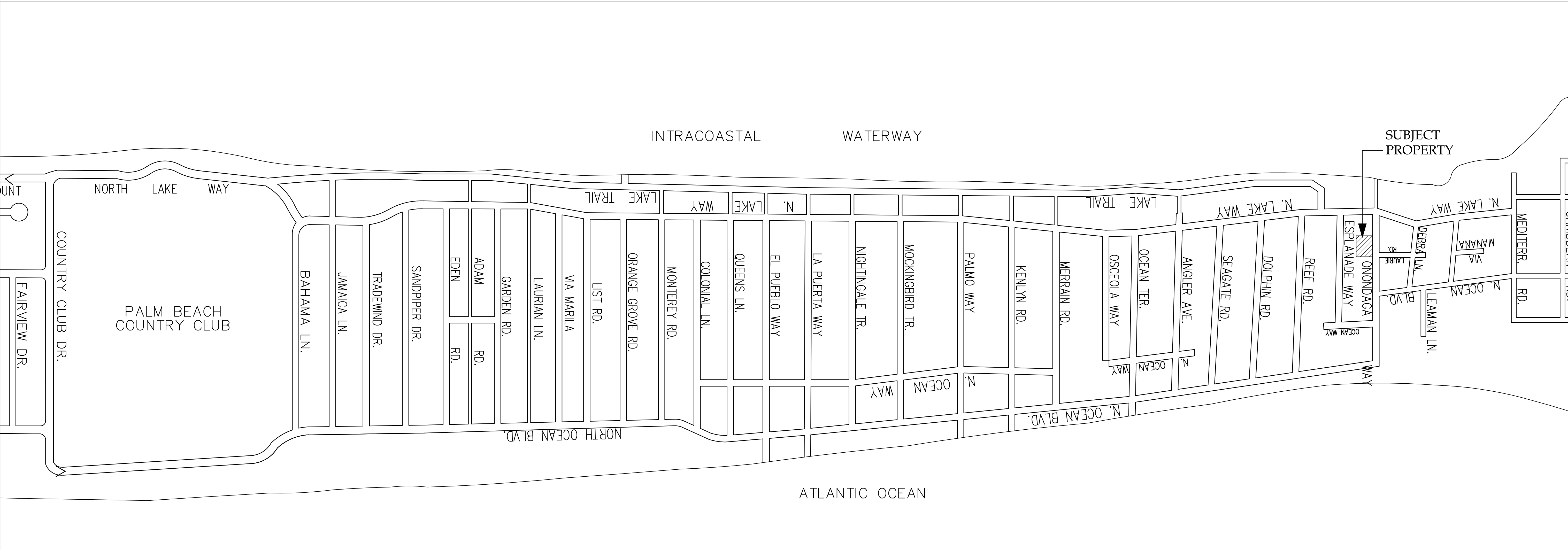
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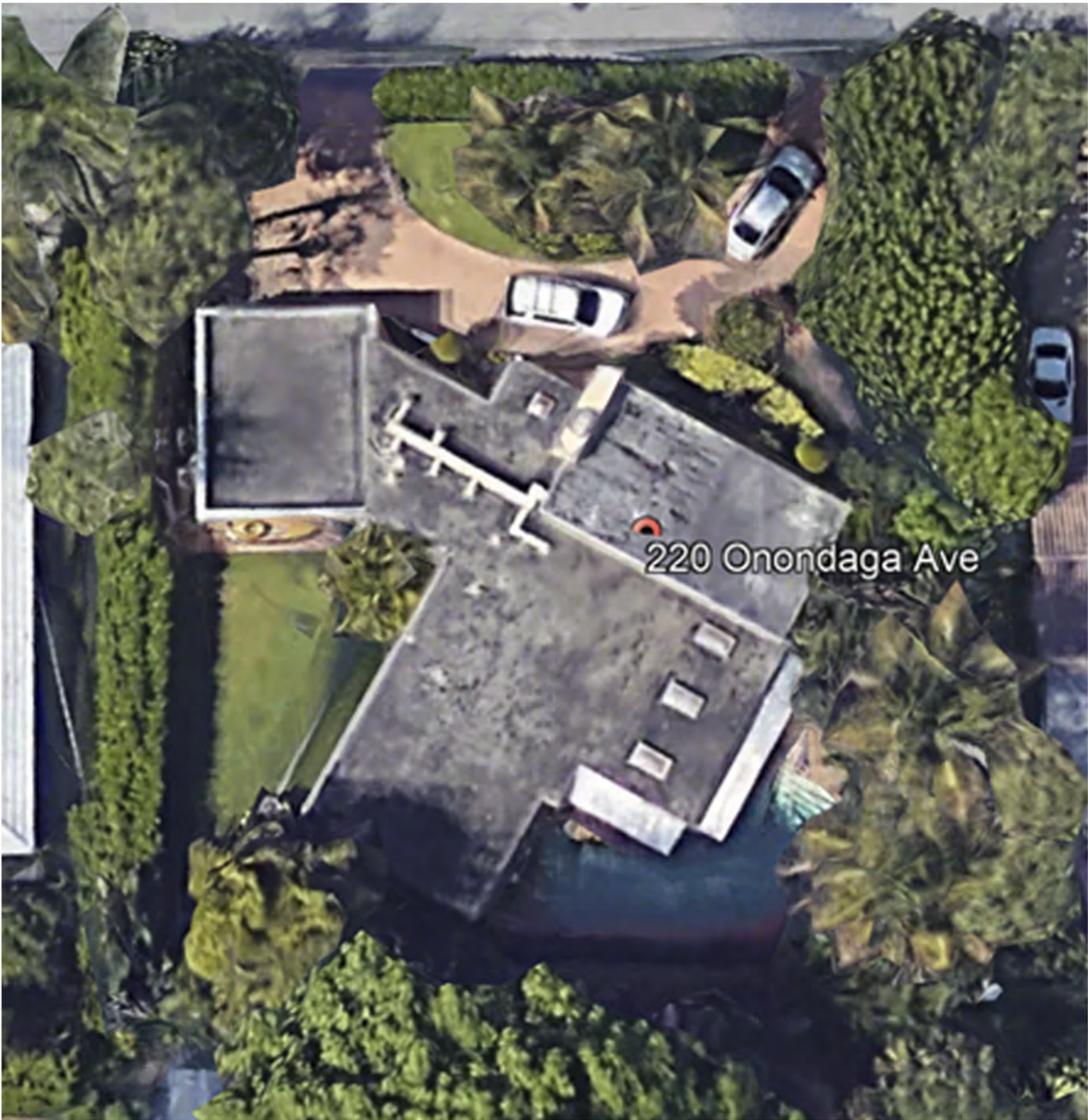


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DATE:
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AERIAL PHOTO



EXISTING WHITE VINYL FENCE, 6' HT
INSTALLED ALONG REAR & SIDE PROPERTY



VIEW SOUTH- ALONG ONONDAGA AVENUE

EXISTING SITE PHOTOS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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PICS I

DATE:
13 JULY 2023



VIEW SOUTH- EXISTING HOME (INTERIOR SITE)



VIEW WEST- FRONT SIDE YARD (INTERIOR SITE)



VIEW SOUTH- EXISTING HOME (INTERIOR SITE)

EXISTING SITE PHOTOS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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PICS II

DATE:
13 JULY 2023



VIEW SOUTH- REAR YARD (INTERIOR SITE)



VIEW EAST- FRONT SIDE YARD (INTERIOR SITE)



VIEW SOUTH- REAR YARD (INTERIOR SITE)



VIEW NORTH- FRONT YARD (INTERIOR SITE)



VIEW WEST- REAR YARD (INTERIOR SITE)



VIEW EAST- REAR YARD (INTERIOR SITE)

PARADELO | BURGESS

design studio

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561.951.7525 | INFO@PARADELOBURGESS.COM

EXISTING SITE PHOTOS

SAYER RESIDENCE
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PICS III

DATE:
13 JULY 2023



VIEW EAST- REAR YARD (INTERIOR SITE)



VIEW NORTH-
FRONT YARD ALONG ONONDAGA AVENUE (INTERIOR SITE)



VIEW SOUTH- EXISTING HOME & FRONT YARD (INTERIOR SITE).



VIEW NORTH-
WEST SIDE YARD (INTERIOR SITE)

EXISTING SITE PHOTOS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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PICS IV

DATE:
13 JULY 2023



VIEW EAST & WEST- EXISTING HOME & REAR YARD (INTERIOR SITE)



VIEW WEST- EXISTING HOME & REAR YARD (INTERIOR SITE)



VIEW NORTH- EXISTING HOME & REAR YARD (INTERIOR SITE)



VIEW WEST- REAR YARD (INTERIOR SITE)



VIEW WEST- EXISTING FENCE & REAR YARD (INTERIOR SITE)

EXISTING SITE PHOTOS

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

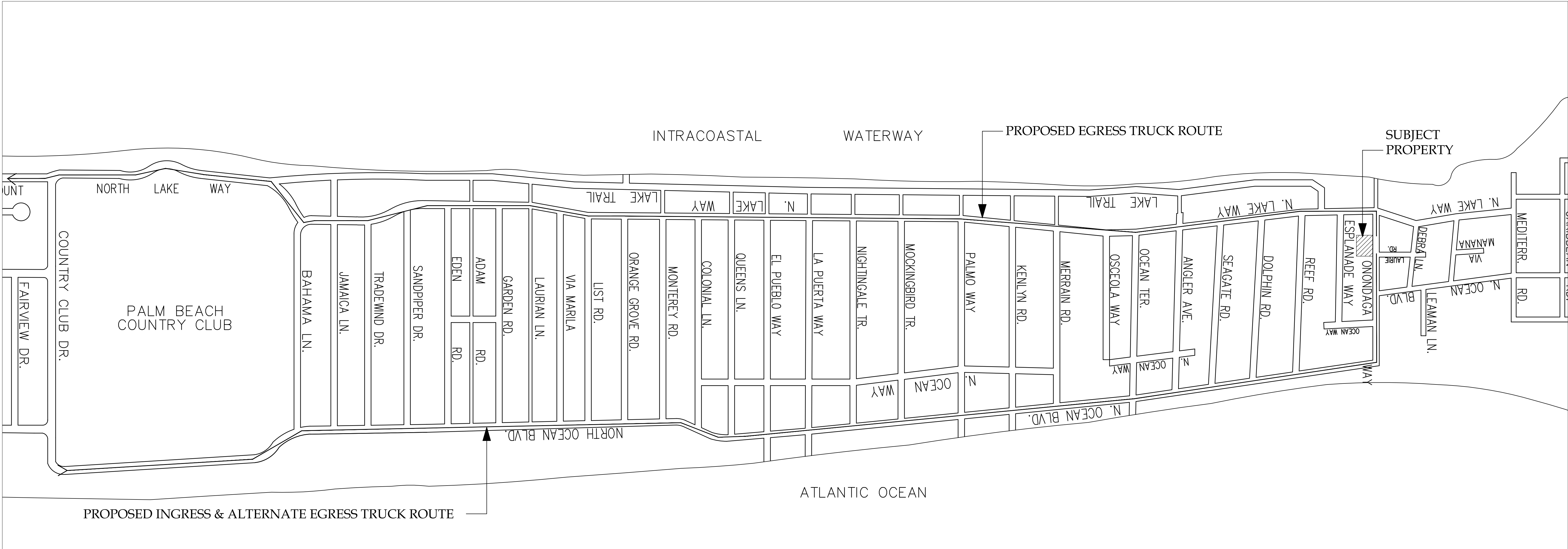
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PICS III

DATE:
13 JULY 2023



PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND CLEANUP
(3 - 5 DAYS)

LARGEST TRUCK ->
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL
TRAILER FOR EXCAVATOR / DEMOLITION
LANDSCAPE TRUCKS ->
SOD
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET
FOR INFORMATION ON PARKING LOCATIONS, MATERIAL STORAGE,
DELIVERIES, DUMPSTER, PORTABLE TOILETS,
TIRE CLEANING AREA, SILT FENCE, ETC.

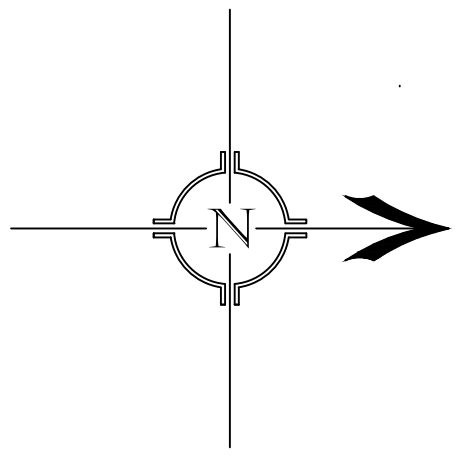
TRUCKING LOGISTICS PLAN

SAYER RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

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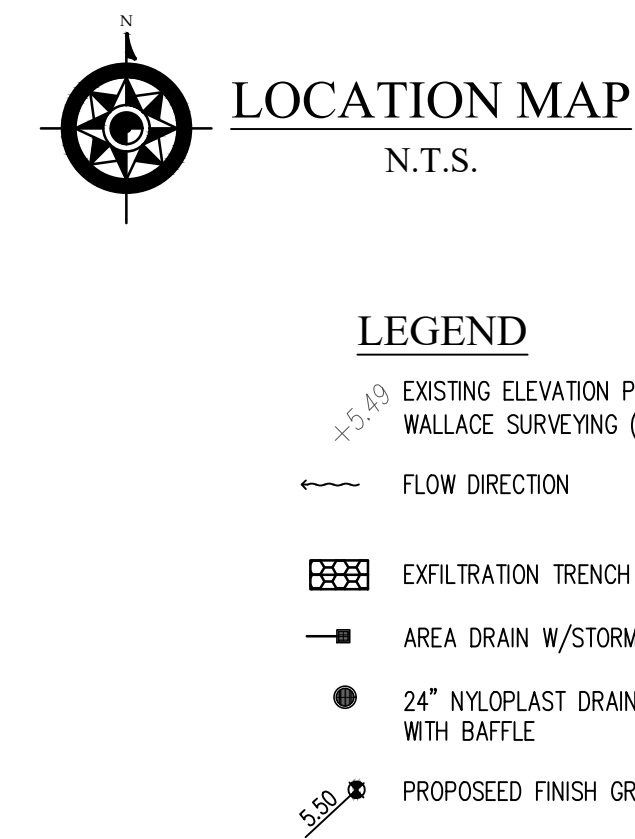
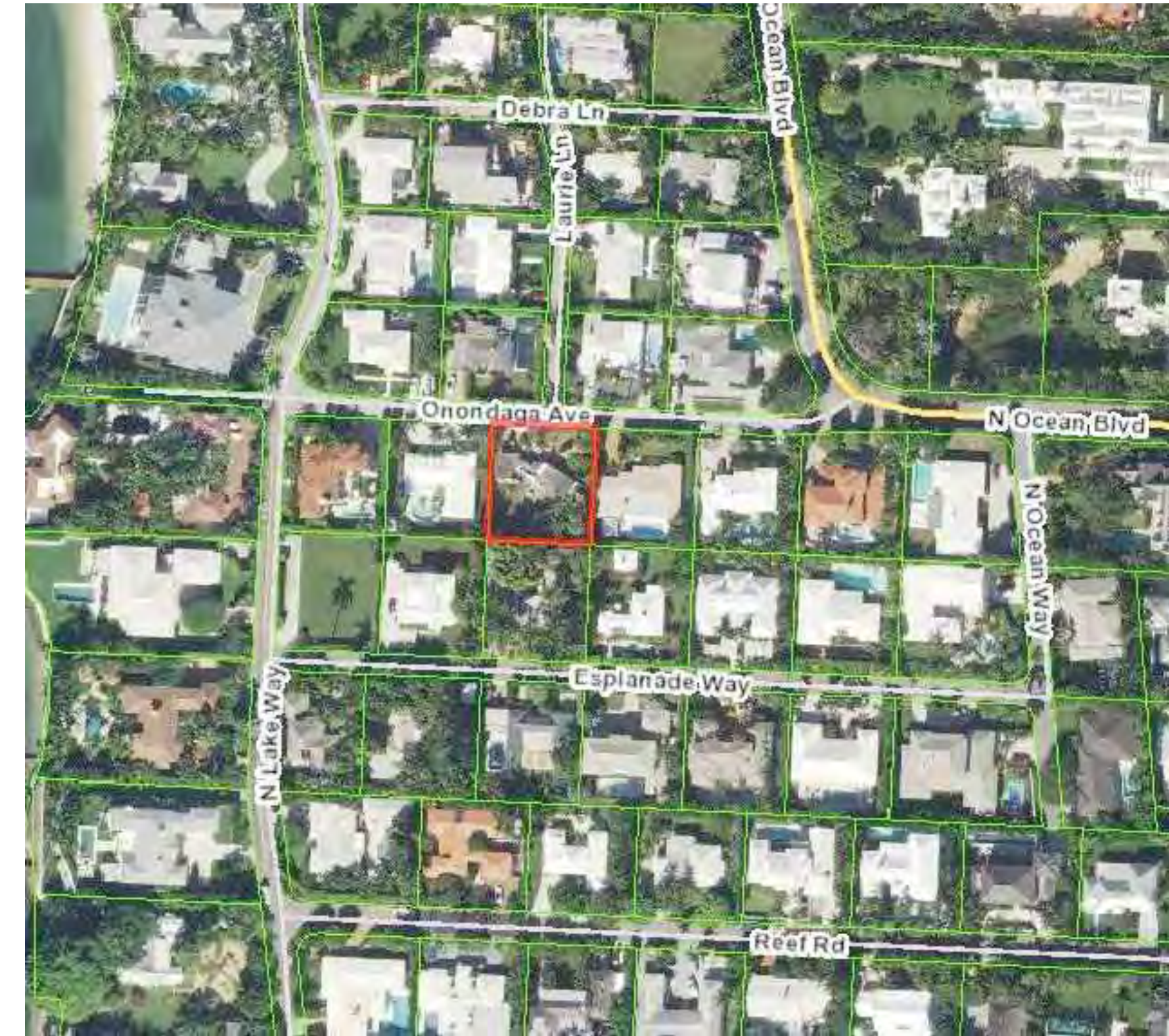
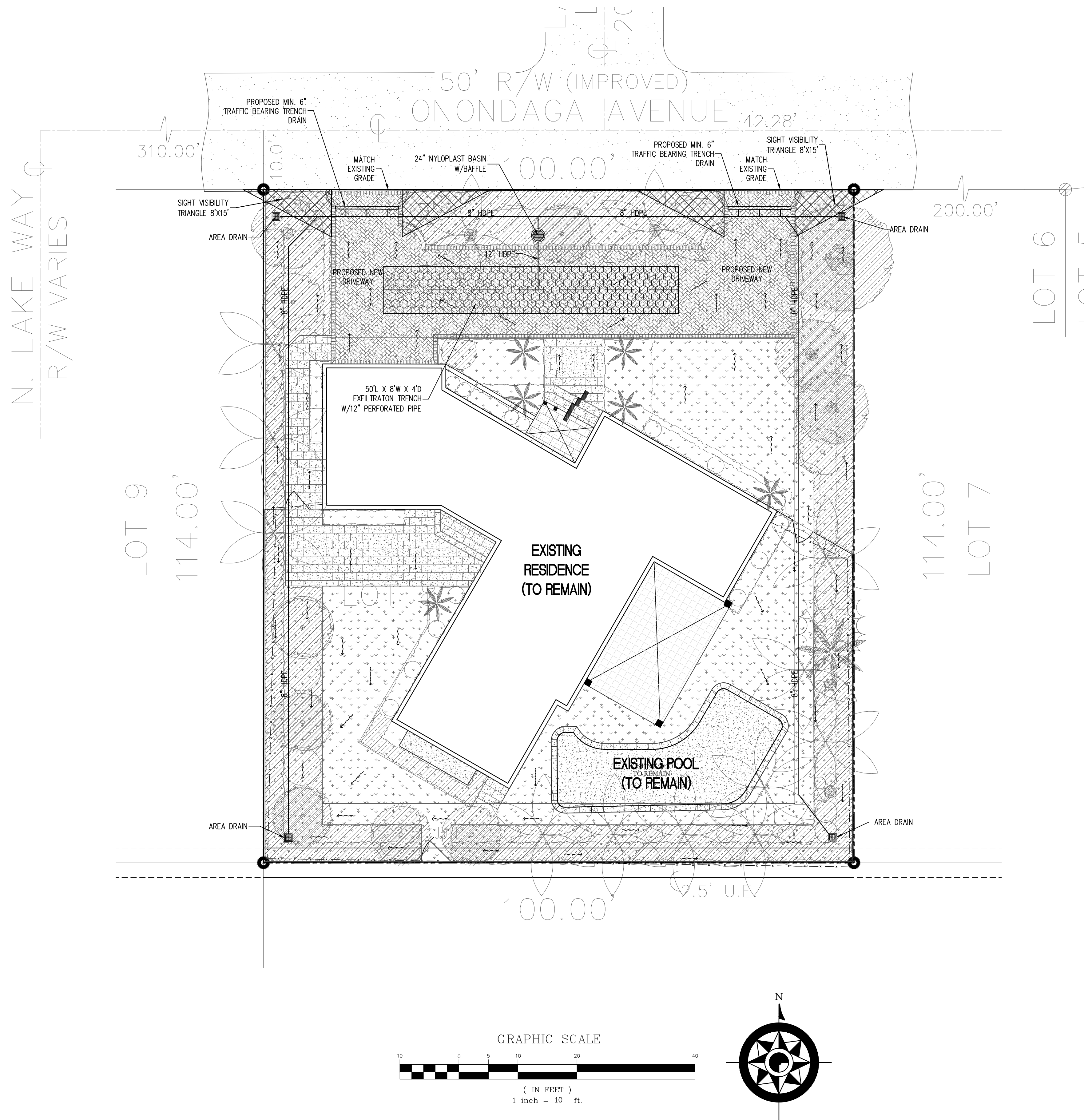
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DATE:
14 AUGUST 2023



- NOTES:
- ALL NEW DRAINAGE TO BE INSTALLED PER PLANS AND EXACT ELEVATIONS WILL BE FIELD DETERMINED PER FIELD CONDITIONS.
 - ALL TRENCH DRAINS AT BOTTOM OF STEP LOCATIONS TO BE FLUSH AGAINST BACK OF STEP.
 - EXFILTRATION TRENCHES TO BE UPDATED ONCE PERCOLATION TEST IS PERFORMED AND SIZED ACCORDINGLY.
 - FURTHER COORDINATION WITH DOWNSPOUTS WILL BE ADDED AND TIED INTO THE PROPOSED DRAINAGE SYSTEM.



cec
CIVIL ENGINEERING CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION #33369
8155 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398
www.cec-fl.com
andre@cec-fl.com

No:	Revisions:	Date:

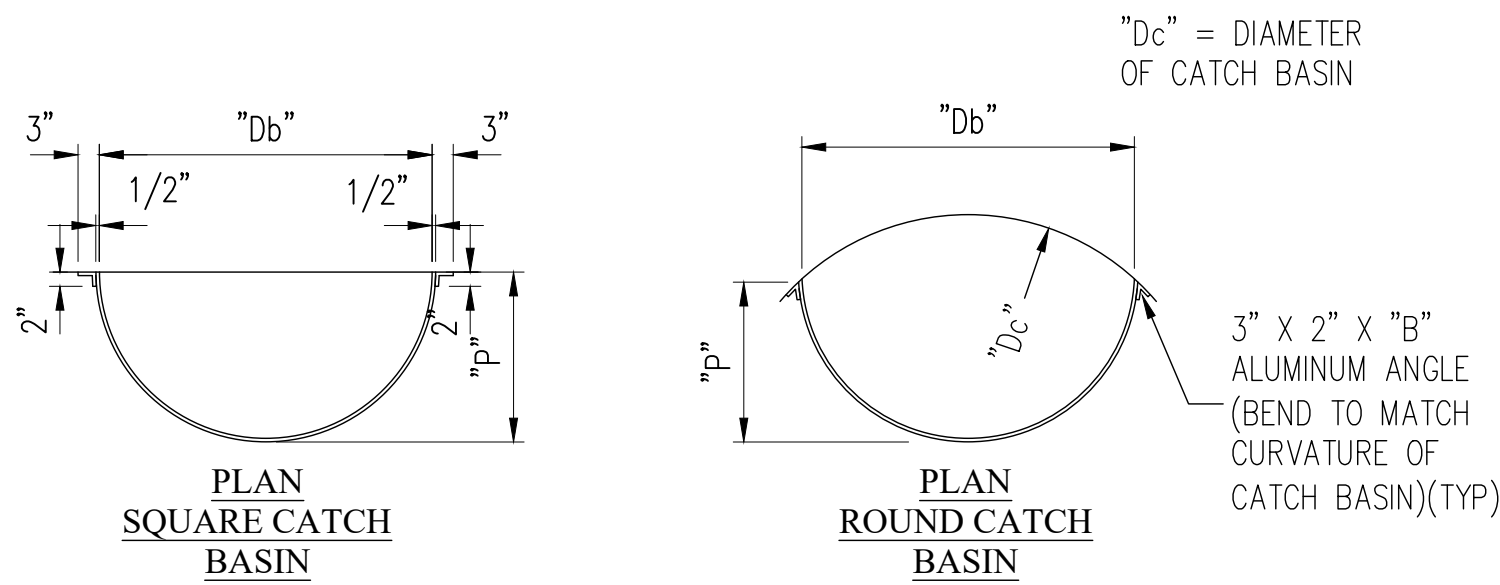
DRAINAGE PLAN FOR:
EXISTING RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FL

Project #:	23-096
Issue Date:	07/06/23
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

ANDRE M. WEBSTER
P.E.
No. 87358
STATE OF FLORIDA
Professional Engineer License

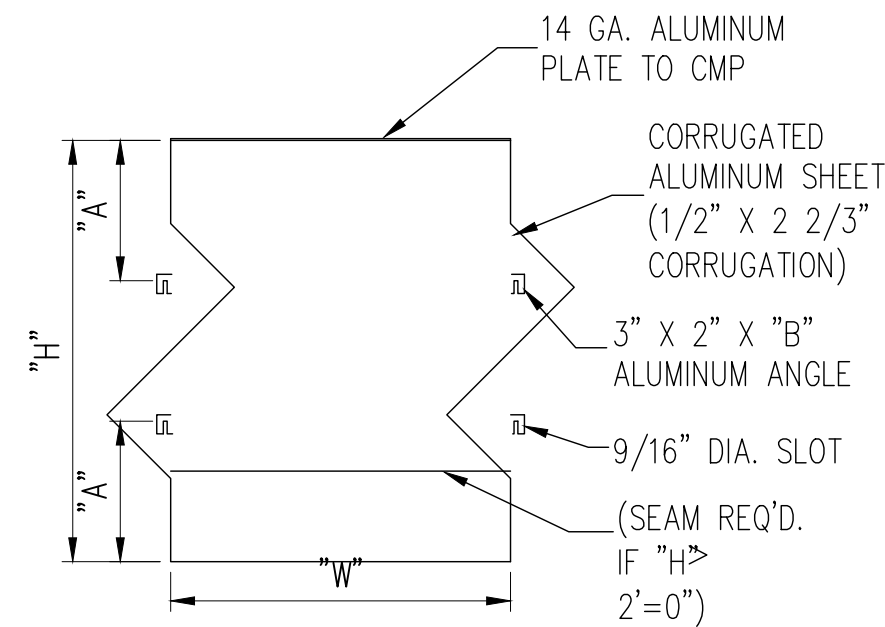
SHEET TITLE
DRAINAGE & GRADING PLAN
SHEET NUMBER:
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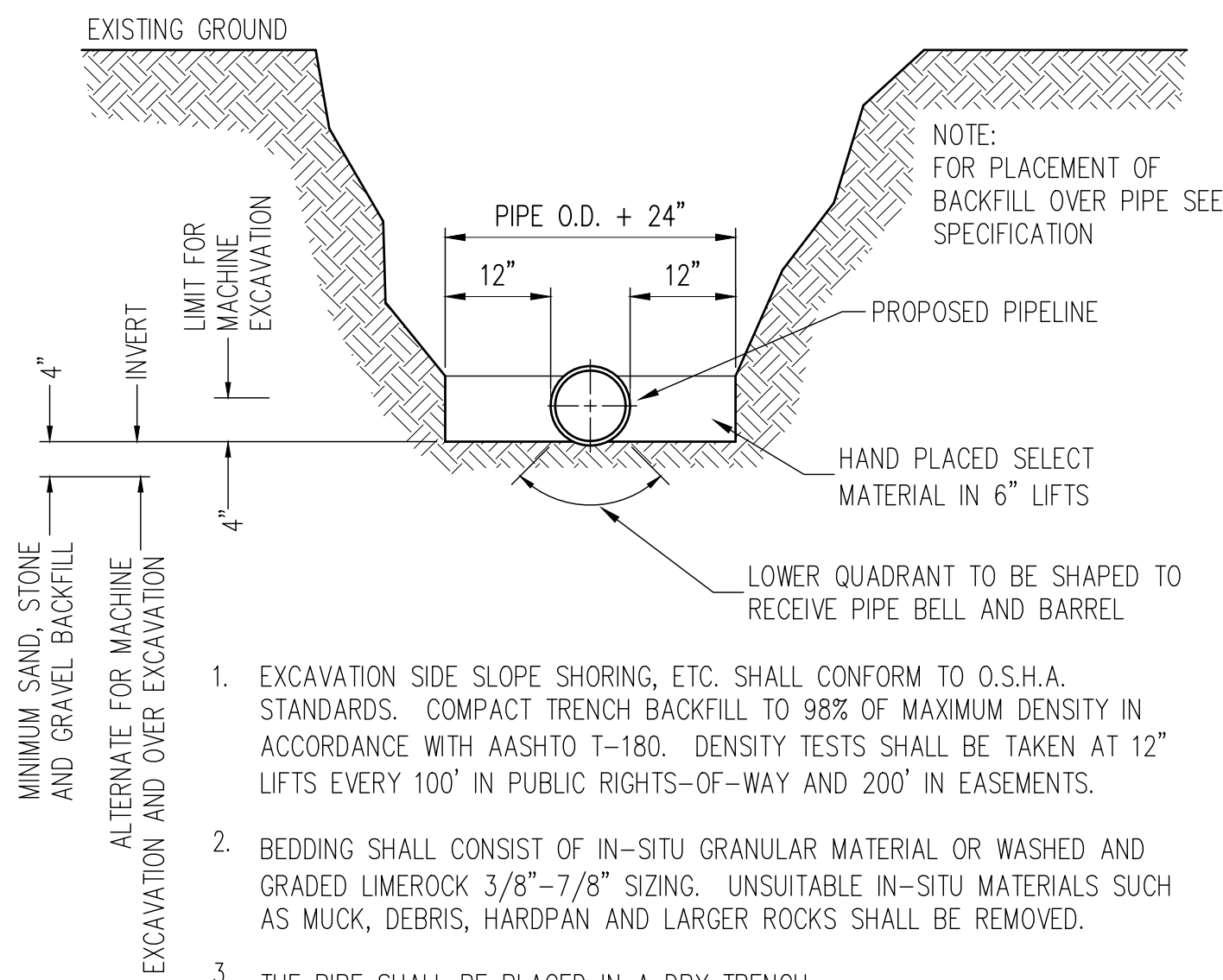


PIPE DIA.	BAFFLE DIA.	QUAGE	HEIGHT	WIDTH	DEPTH	EAR LENGTH	PERCENT OF PIPE AREA
12	24	16	33	31	12.5	8	65.3
15	24	16	33	31	12.5	8	65.3
18	24	16	33	31	12.5	8	65.3
21	24	16	33	31	12.5	8	65.3
24	30	16	36	37	15.5	9	78.1
27	36	16	39	43	18.5	10	88.9
30	36	16	42	43	18.5	11	72.0
36	42	16	48	49	21.5	12	68.1
42	48	16	54	55	24.5	14	65.3
48	54	14	60	61	27.5	15	63.3
54	60	14	66	67	30.5	17	61.7
60	66	14	72	73	33.5	18	60.5
66	72	14	78	79	36.5	20	59.5
72	84	14	84	91	42.5	21	68.1

NOTE: ALL DIMENSIONS ARE IN INCHES. CONTRACTOR TO CONFIRM THAT BAFFLE WILL FIT STRUCTURE I.D.



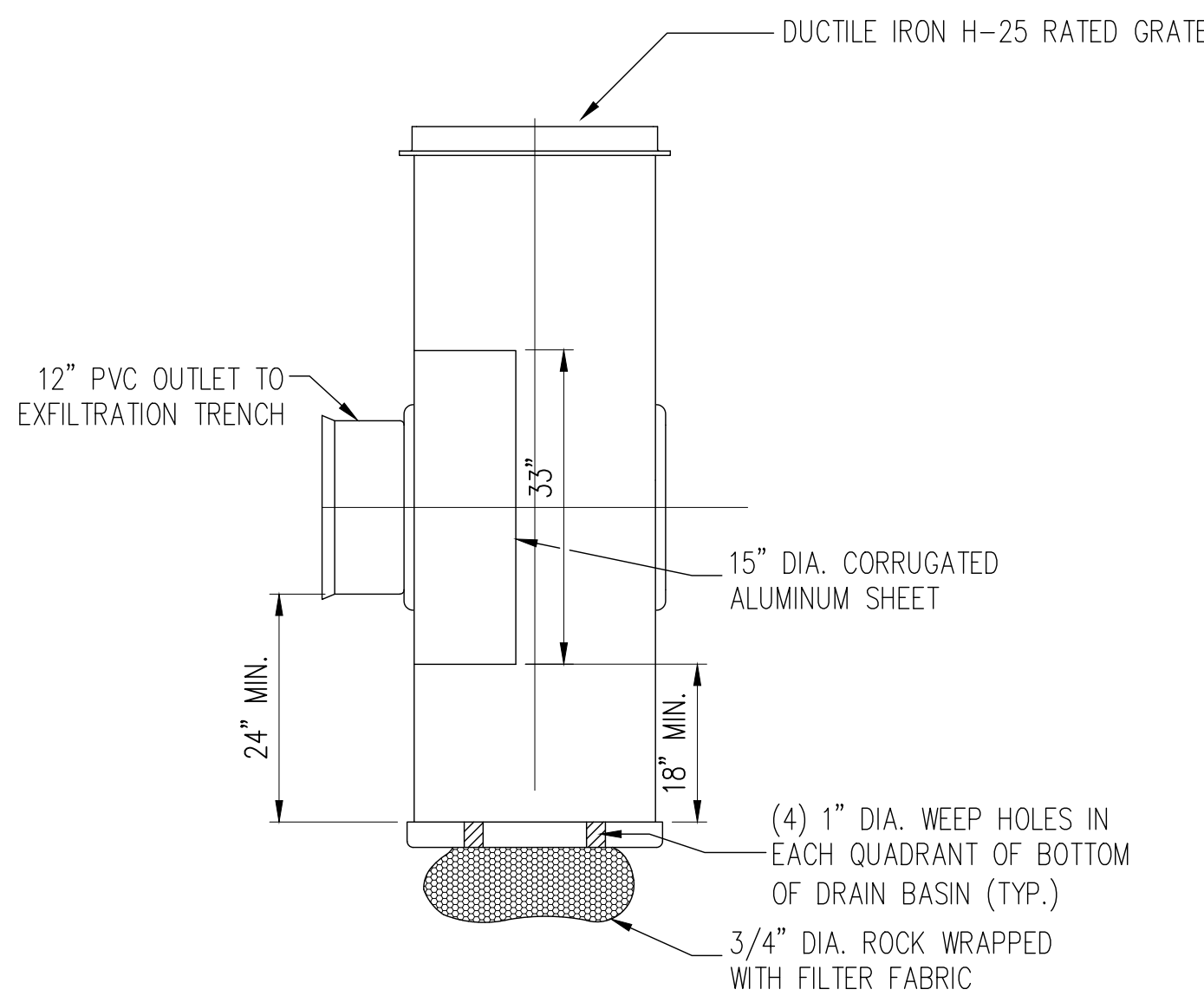
BAFFLE DETAIL
N.T.S.



- EXCAVATION SIDE SLOPE SHORING, ETC. SHALL CONFORM TO O.S.H.A. STANDARDS. COMPACT TRENCH BACKFILL TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. DENSITY TESTS SHALL BE TAKEN AT 12" LIFTS EVERY 100' IN PUBLIC RIGHTS-OF-WAY AND 200' IN EASEMENTS.
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS, HARDPAN AND LARGER ROCKS SHALL BE REMOVED.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, HARDPAN AND DEBRIS.
- SEE SEPARATE DETAIL FOR "PIPE INSTALLATION UNDER EXISTING PAVEMENT-OPEN CUT.
- THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.

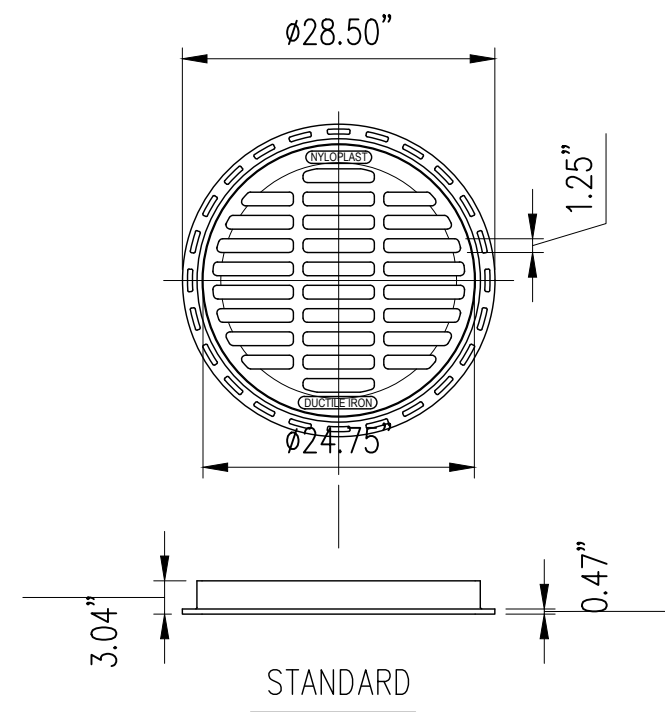
TRENCH AND BACKFILL DETAIL
N.T.S.

24" NYLOPLAST DRAIN BASIN



NOTE:
INLET TO HAVE MIN. 24" SUMP AND MIN. 18" CLEARANCE BETWEEN BOTTOM OF BAFFLE AND BOTTOM OF INLET

24" DUCTILE IRON GRATE



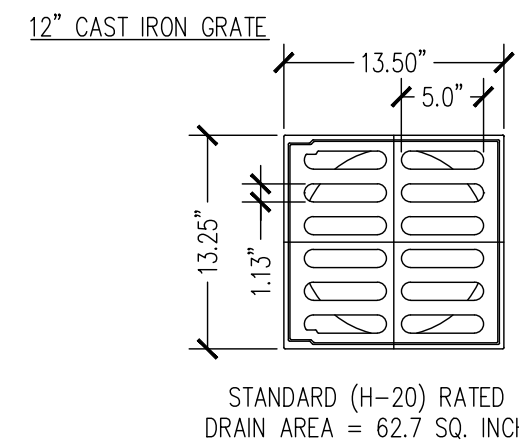
APPROX. DRAIN AREA = 194.60 SQ.IN.
APPROX. WEIGHT WITH FRAME = 124.00 LBS.

STANDARD GRATE HAS H-25 HEAVY DUTY RATING
SOLID COVER HAS H-25 HEAVY DUTY RATING
PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING

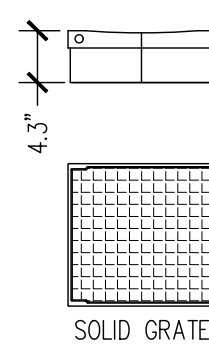
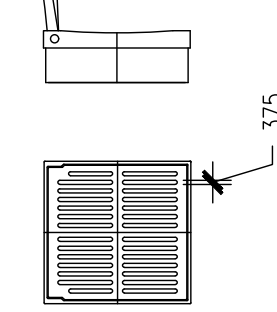
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05

MATERIAL: DUCTILE IRON

PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
LOCKING DEVICE AVAILABLE UPON REQUEST
PRICE INCLUDES FRAME & GRATE/COVER



HINGED GRATE COVER FOR EASY ACCESS



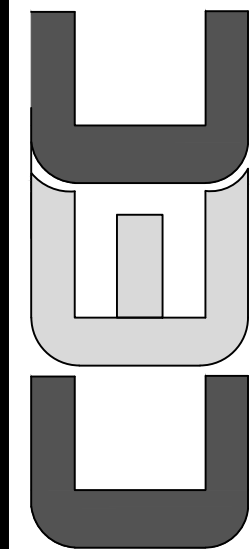
NOTE:

TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER & LANDSCAPE ARCHITECT

PIPE MATERIAL MAY BE PVC, ADS, NDS, OR APPROVED EQUAL



Know what's below.
Call before you dig.



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CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398

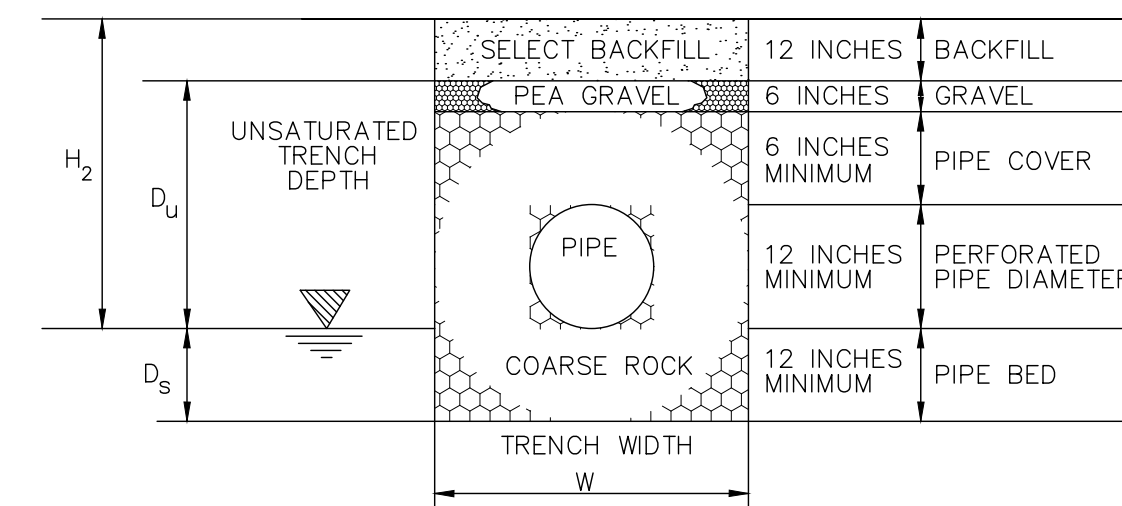
andre@cec-fl.com

Date:

Revisions:

No:

TYPICAL EXFILTRATION TRENCH



$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

L = LENGTH OF TRENCH REQUIRED (FEET)

V = VOLUME TREATED (ACRE-INCHES)

W = TRENCH WIDTH (FEET)

K = HYDRAULIC CONDUCTIVITY (CFS/FT.² - FT.HEAD)

H₂ = DEPTH TO WATER TABLE (FEET)

D_u = NON-SATURATED TRENCH DEPTH (FEET)

D_s = SATURATED TRENCH DEPTH (FEET)

EXISTING RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FLORIDA

EXISTING STORMWATER MANAGEMENT CALCULATIONS

SITE PLAN DATA

Total Lot Area = 11,400 sq.ft. ±

Impervious Area = 5,152 sq.ft. ±

Pervious Area = 6,248 sq.ft. ±

ESTIMATED RUNOFF VOLUME

Impervious Runoff Volume:
2" x 5,152 sq.ft. x 1 ft./12 in. = 859 cu.ft.

Pervious Runoff Volume:
0.4" x 6,248 sq.ft. x 1 ft./12 in. = 208 cu.ft.

Total Basin Volume to be Retained = 1,067 cu.ft.

EXFILTRATION TRENCH CALCULATIONS (SFWM ANALYSIS)

Exfiltration Trench	
L = Total Length of Trench Provided	= 50 ft
W = Trench Width	= 8.00 ft
K = Hydraulic Conductivity	= 0.00005 cfs/sq.ft. per ft. of head
H ₂ = Depth to Water Table	= 4.00 ft
D _u = Non-Saturated Trench Depth	= 4.00 ft
D _s = Saturated Trench Depth	= 0.00 ft

V = Volume Treated = 1,243 cu.ft. each

DRAINAGE PLAN FOR:
EXISTING RESIDENCE
220 ONONDAGA AVENUE
PALM BEACH, FL

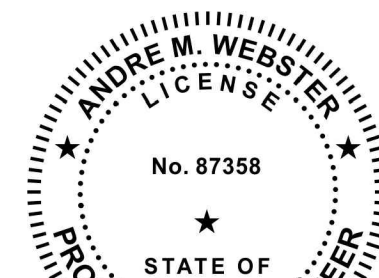
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SHEET TITLE

DRAINAGE &
GRADING DETAILS

SHEET NUMBER:

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