

SAYER RESIDENCE 200 ONONDAGA AVENUE PALM BEACH, FLORIDA

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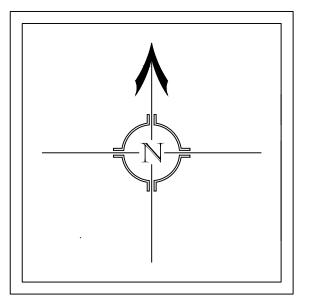
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COVER SHEET-



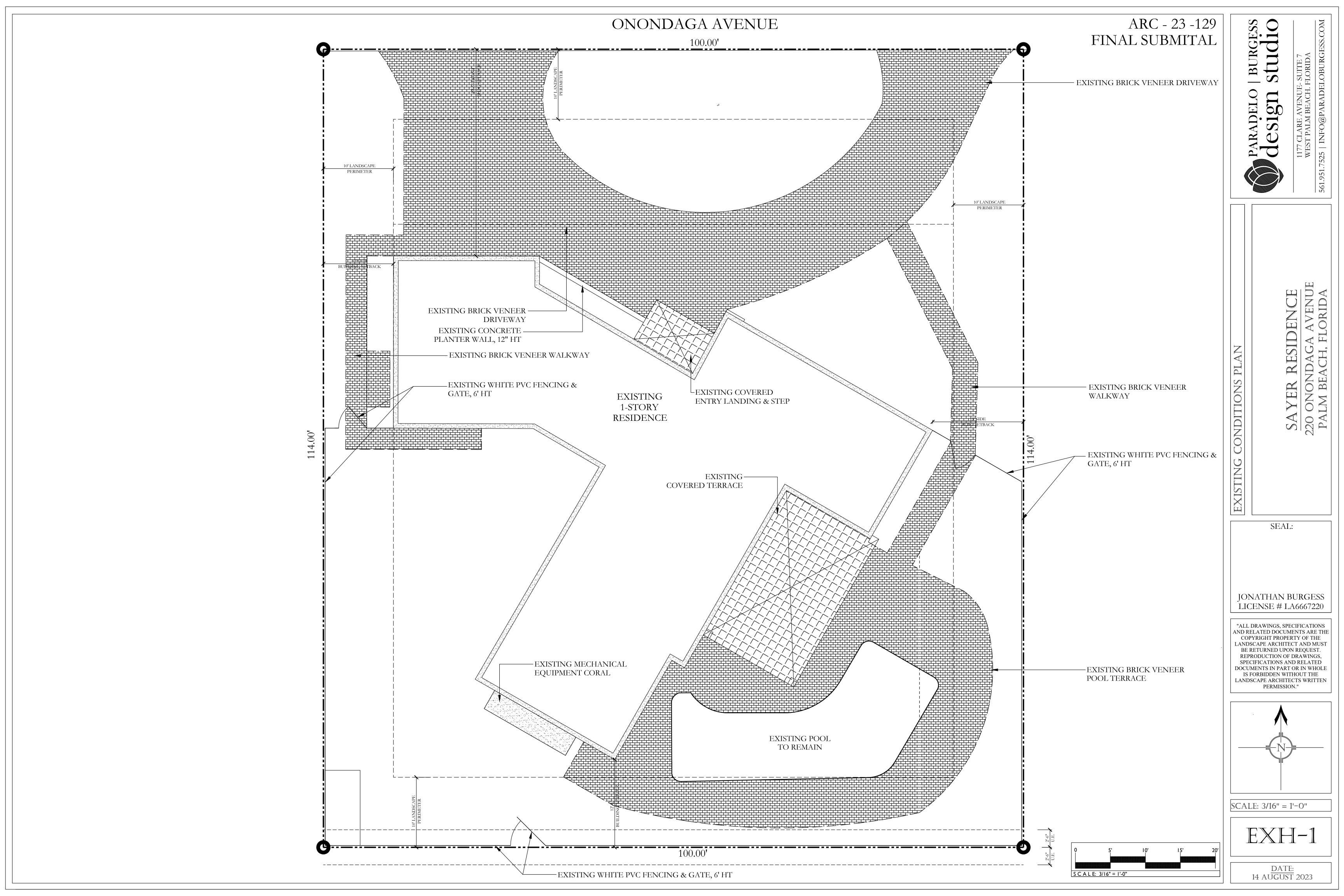
ARC - 23 -129_FINAL SUBMITTAL
SUBMITTAL DATE- 14 AUGUST 2023
MEETING DATE27 SEPTEMBER 2023

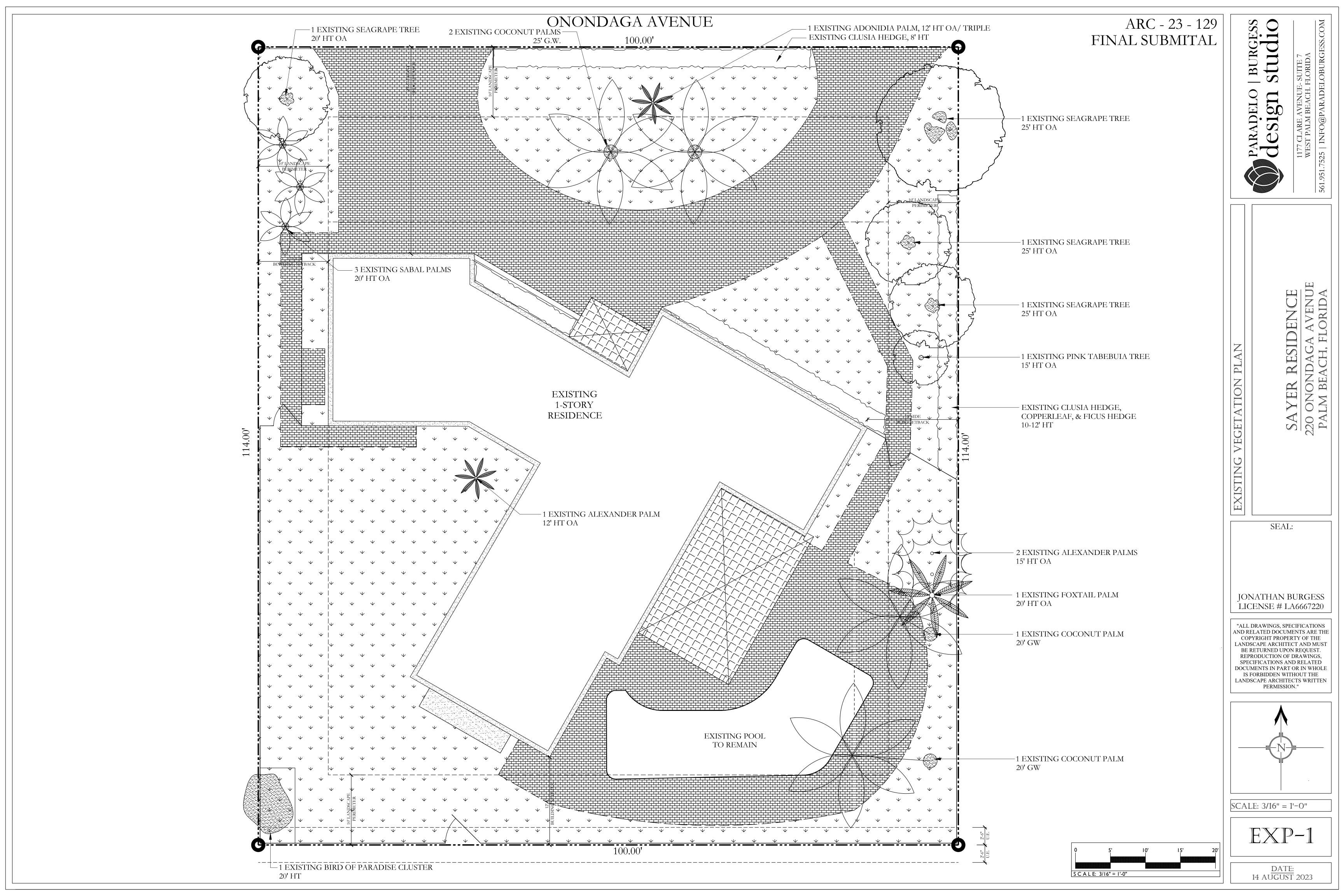
SCOPE OF WORK- PROPOSED FRONTYARD/
DRIVEWAY HARDSCAPE
- PROPOSED LANDSCAPE
- PROPOSED PVC FENCING @
SIDE/REAR YARDS

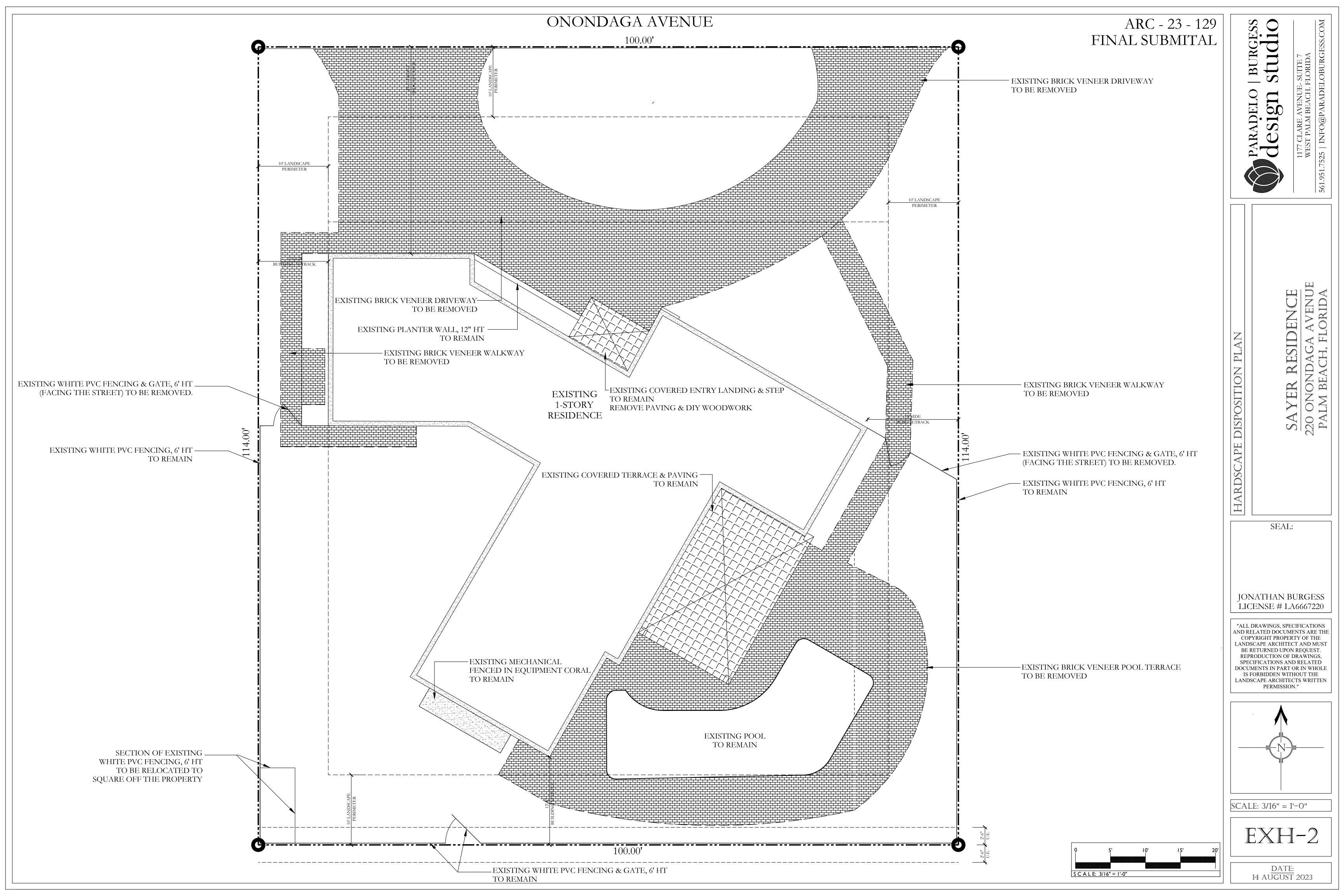


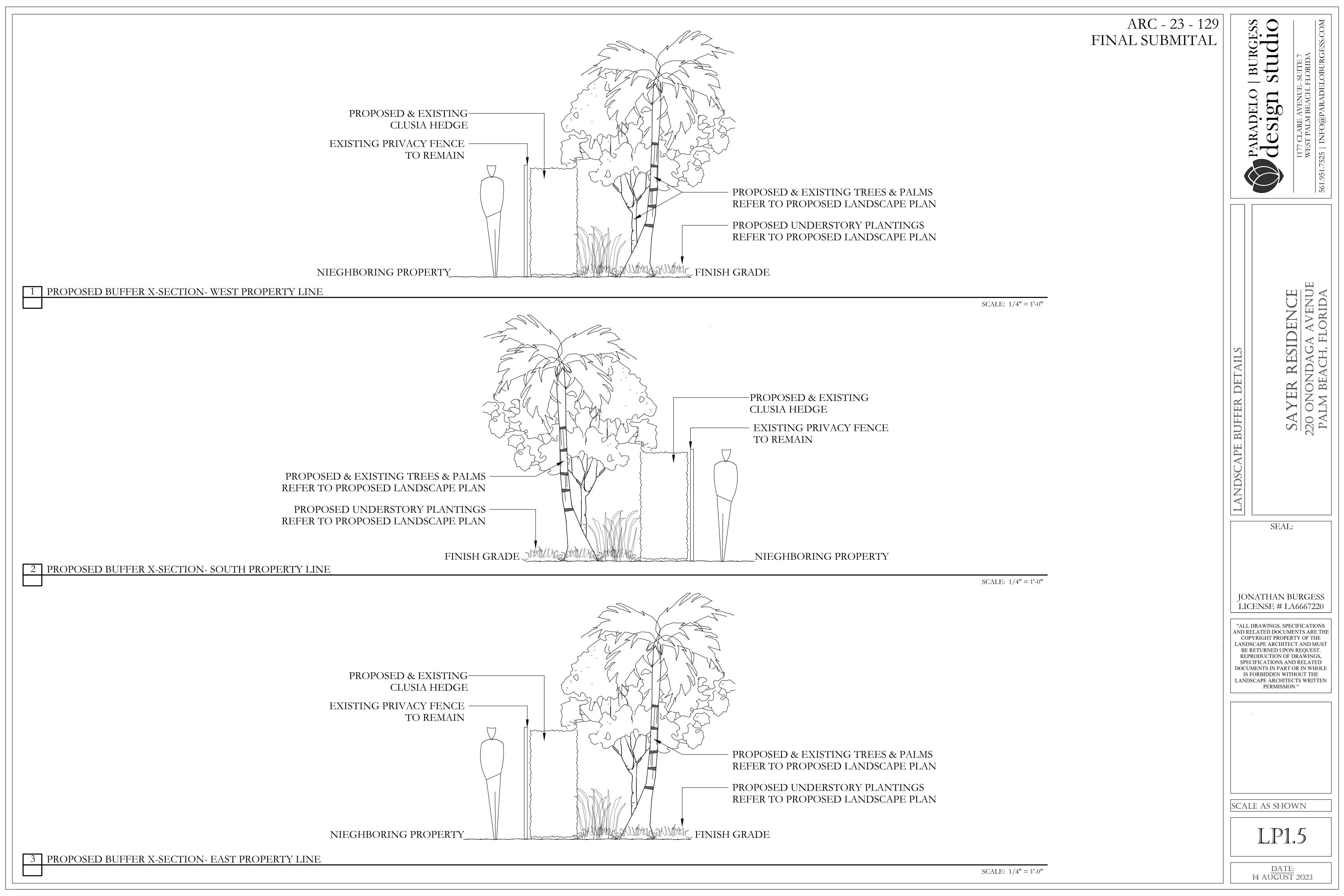
1177 CLARE AVENUE- SUITE 7 WEST PALM BEACH. FLORIDA

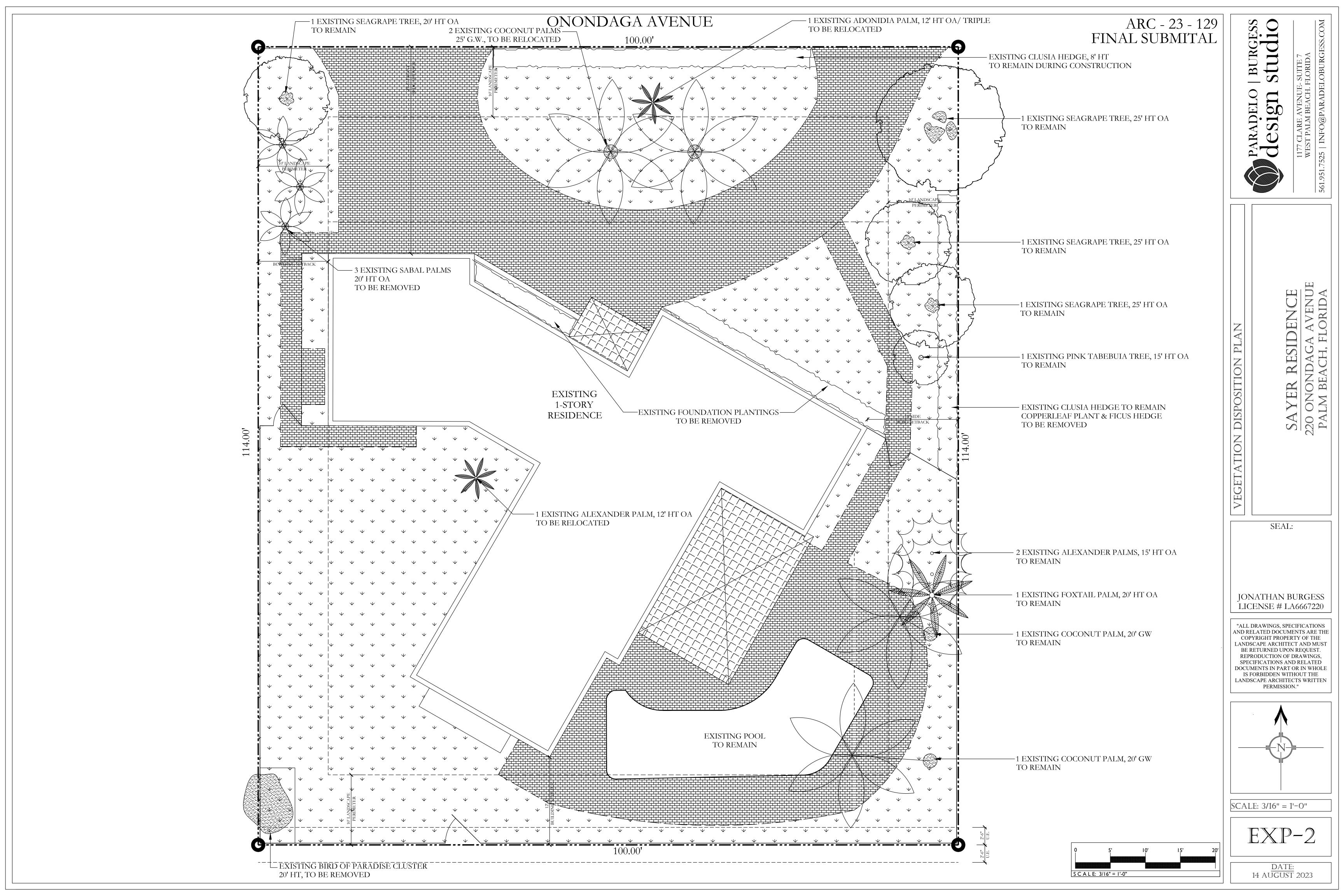
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1 NORTH ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"

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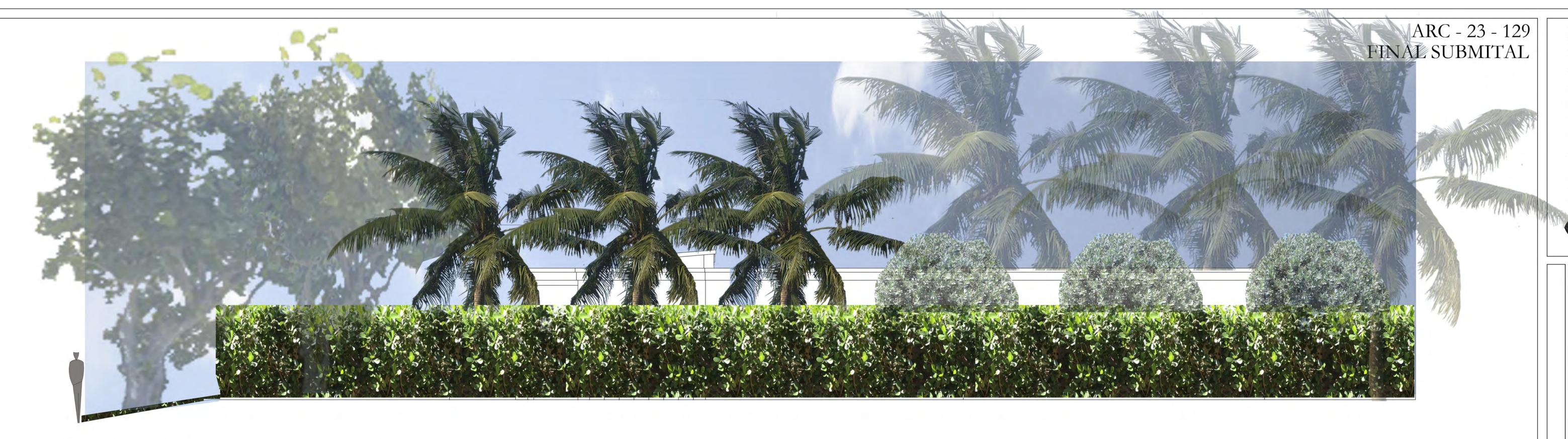
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SCALE AS SHOWN

ELEV1



1 WEST ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"

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ELEV2

1 EAST ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - VIEW WITHIN PROPERTY

SCALE: 1/4" = 1'-0"

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ELEV3

<u>DATE:</u> 14 AUGUST 2023



2 SOUTH ELEVATION - VIEW FROM PROPERTY LINE

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

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SAYER RESIDENCE 220 ONONDAGA AVENUE PALM BEACH, FLORIDA

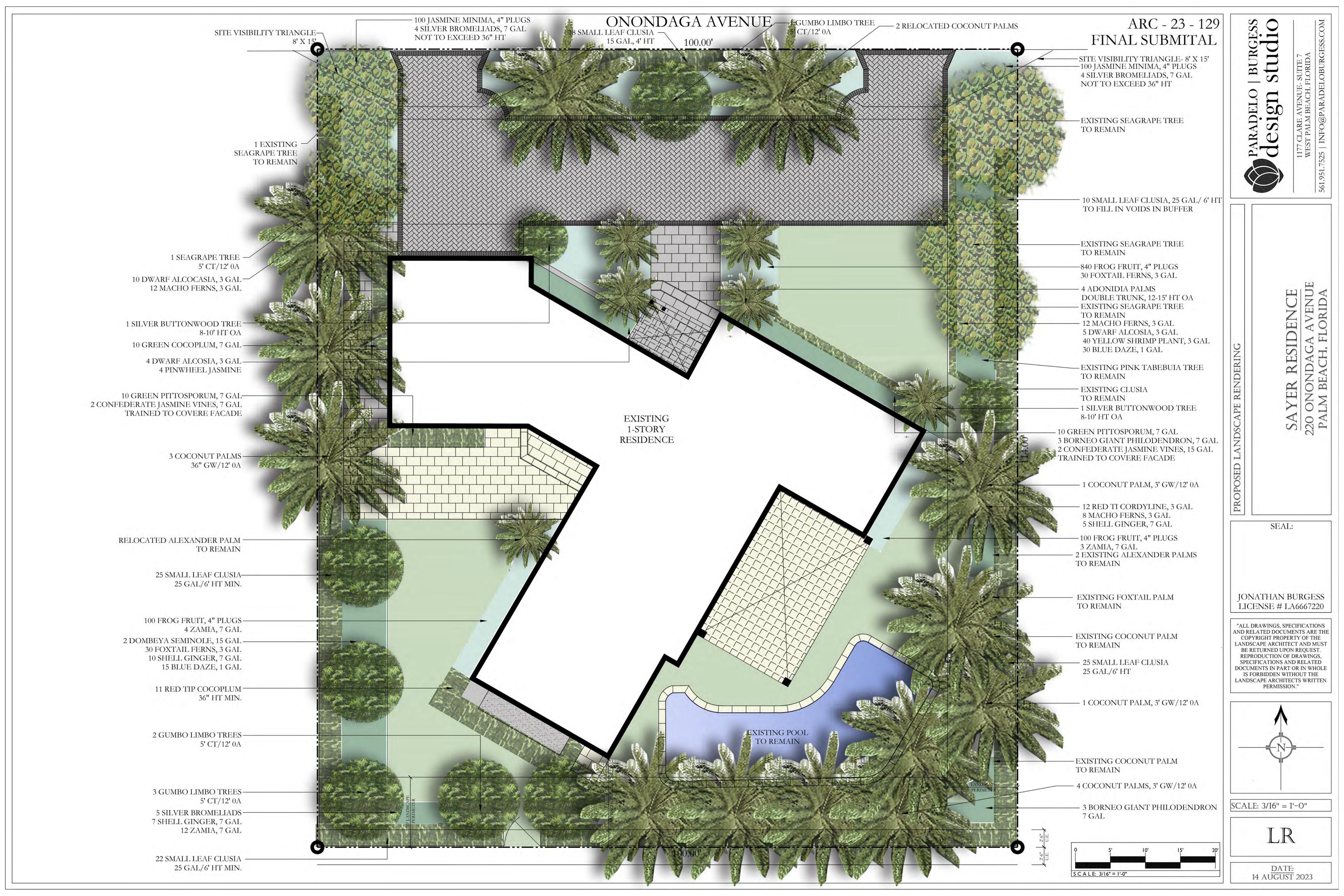
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ELEV



MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.

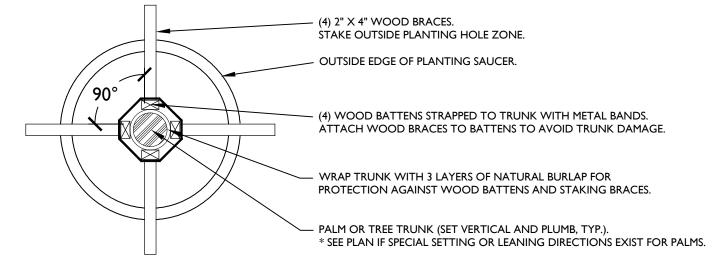
- (3) 2" X 4" WOOD BRACES. STAKE OUTSIDE PLANTING HOLE ZONE. OUTSIDE EDGE OF PLANTING SAUCER. (3) WOOD BATTENS STRAPPED TO TRUNK WITH GALVANIZED METAL BANDS. ATTACH WOOD BRACES TO BATTENS TO AVOID TRUNK WRAP TRUNK WITH 3 LAYERS OF NATURAL BURLAP FOR PROTECTION AGAINST WOOD BATTENS AND STAKING BRACES.

LARGE PALM OR TREE STAKING PLAN

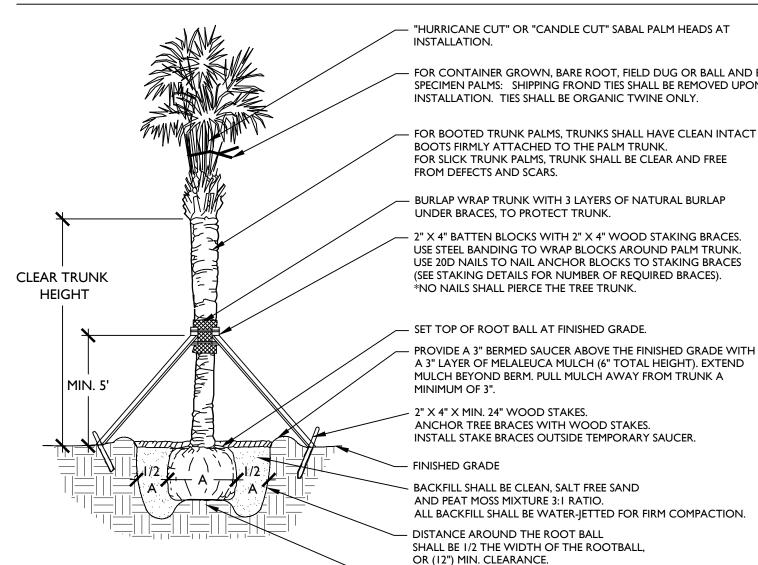
NTS. I. APPLICABLE TO ALL MULTI-TRUNK PALMS AND PALMS WITH CALIPER SIZE OF SIX (6) INCHES OR GREATER 2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.

PALM OR TREE TRUNK (SET VERTICAL AND PLUMB, TYP.).

* SEE PLAN IF SPECIAL SETTING/LEANING DIRECTIONS EXIST FOR PALMS.



PALM PLANTING DETAIL



FOR CONTAINER GROWN, BARE ROOT, FIELD DUG OR BALL AND BURLAP SPECIMEN PALMS: SHIPPING FROND TIES SHALL BE REMOVED UPON INSTALLATION. TIES SHALL BE ORGANIC TWINE ONLY.

NTS.

FOR SLICK TRUNK PALMS, TRUNK SHALL BE CLEAR AND FREE - BURLAP WRAP TRUNK WITH 3 LAYERS OF NATURAL BURLAP

2" X 4" BATTEN BLOCKS WITH 2" X 4" WOOD STAKING BRACES. USE STEEL BANDING TO WRAP BLOCKS AROUND PALM TRUNK. USE 20D NAILS TO NAIL ANCHOR BLOCKS TO STAKING BRACES (SEE STAKING DETAILS FOR NUMBER OF REQUIRED BRACES).

- PROVIDE A 3" BERMED SAUCER ABOVE THE FINISHED GRADE WITH A 3" LAYER OF MELALEUCA MULCH (6" TOTAL HEIGHT). EXTEND MULCH BEYOND BERM. PULL MULCH AWAY FROM TRUNK A

TAMP BOTTOM OF PLANTING HOLE TO MINIMIZE SETTLING.

PROVIDE A PLANTING HOLE WITH A MINIMUM OF 3 TIMES

THE DIAMETER OF THE ROOT BALL ON THE SURFACE AND

TWO TIMES THE ROOT BALL DIAMETER AT THE BASE.

ALL BACKFILL SHALL BE WATER-JETTED FOR FIRM COMPACTION.

TAMP BOTTOM OF PLANTING HOLE TO MINIMIZE SETTLING. TREE PLANTING DETAIL

NOTE: I. ALL TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT ONE YEAR AFTER PLANTING FOR SHADE TREES.	IS ESTABLISHED. TYPICALLY SIX MONTHS TO	NTS
S. II. B. J.		
Jan Br	 NEVER CUT TERMINAL LEADER. THIN BRANCHES AND FOLIAGE AS DIRECTED BY LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST. 	
	 FLEXIBLE GUYING MATERIAL. LOCATE ABOVE FIRST LATERAL BRANCH. AVOID OVER TIGHTENED TIES AS THEY PREVENT TREE'S NATURAL SWAY. 	
Compression of s	— SAFETY FLAGGING	
	 WOODEN STAKES. SET STAKES OUTSIDE PLANTING SAUCER AT A MINIMUM DEPTH OF 2 FEET. 	
	 TRUNK FLARE OR TOP ROOT VISIBLE ON SURFACE. DO NOT BURY ROOT IN MULCH. 	
	SET ROOT BALL SLIGHTLY ABOVE GRADE (10% MAXIMUM, OR 2" ABOVE FINISHED GRADE).	
	- 3" SHREDDED MELALEUCA MULCH. WITH 3" BERMED PLANTING SAUCER (6" TOTAL HEIGHT) ABOVE THE FINISHED GRADE. EXTEND MULCH BEYOND BERM. PULL MULCH AWAY FROM TRUNK FLARE A MINIMUM OF 3".	
1/2 A 2 A A	- BACKFILL HOLE WITH APPROVED SOIL MIX (CHECK WITH LANDSCAPE ARCHITECT FOR MIX). WATER JET ALL BACKFILL FOR FIRM COMPACTION. - TREE PLANTING SAUCER	
	 REMOVE ROOT BALL COVERING. CUT BACK WIRE BASKETS BELOW TOP HALF OF THE ROOT BACK BURLAP COVERING MATERIALS BELOW TOP HALF OF ROOT BALL. COMPLETELY REMOVE SYNTHETIC BURLAP COVERING MATI 	

STAKING PLAN DIAGRAM

25' FRONT SETBACK AREA:	2,500.0 SF	100
REQUIRED OPENSPACE:	1,000.0 SF	40.0
EXISTING HARDSCAPE:	1,082.1 SF	43.3
EXISTING OPENSPACE:	1,417.9 SF	56.7
PROPOSED HARDSCAPE:	1,468.5 SF	58.7
PROPOSED OPENSPACE:	1,031.5 SF	41.3

-			
	OPENSPACE- 10' PERIMETER SITE CALCULA'	TIONS (R-B ZONING D	ISTRICT)
	10' PERIMETER AREA:	3,880.0 SF	
	OVERALL OPENSPACE REQUIREMENT:	5,130.0 SF	100 %
	PERIMETER LANDSCAPE REQUIREMENT:	2,308.5 SF MIN.	50.0 %
	EXISTING HARDSCAPE:	993.8 SF	25.6 %
	EXISTING LANDSCAPE:	2,886.2 SF	74.4 %
	PROPOSED LANDSCAPE:	3,310.8 SF	85.3 %
	PROPOSED HARDSCAPE:	569.2 SF	14.7 %

OVERALL SITE CALCULATIONS (R-B ZONING DISTRICT)				
TOTAL LOT SIZE/SITE:				
SITE AREA:	11,400.0 S.F.	100 %		
BUILDING SITE COVERAGE:				
ALLOWED:	4,560.0 S.F.	40 % MAX		
EXISTING:	2,892.0 S.F.	25.4 %		
PROPOSED:	NO CHANGE	NO CHANGE		
LANDSCAPE/OPENSPACE:				
REQUIRED:	5,130.0 S.F.	45.0 %		
EXISTING:	4,469.2 S.F.	39.2 %		
PROPOSED:	5,699.9 S.F.	50.0 %		
IMPERVIOUS HARDSCAPE COVE	RAGE:			
EXISTING:	4,038.8 S.F.	35.4 %		
PROPOSED:	2,808.1 S.F.	24.6 %		

Town of Palm Beach Planning Zoning and Building 360 S County Rd Palm Beach, FL 33480 www.townofpalmbeach.com Landscape Legend 220 ONONDAGA AVENUE | PALM BEACH, FLORIDA 33480 **Property Address:** Lot Area (sq. ft.): 11,400 SQ FT REQUIRED PROPOSED Landscape Open Space (LOS) (Sq Ft and %) 5,130.0 SQ FT | 45% 5,699.9 SQ FT | 50% Perimeter LOS (Sq Ft and %) 2,308.5 SQ FT | 50% 3,310.8 SQ FT | 85.3% Front Yard LOS (Sq Ft and %) 1,000.0 SQ FT | 50% 1,031.5 SQ FT | 41.3% Native Trees % 30% (number of trees) 11,400 SQ FT Native Shrubs & Vines % 30% (number of shrubs & vines) 36 TREES | 12 NATIVE 30% (groundcover area) Native Groundcover 1,240 PLANTS| 1,040 NATIVE

GROUNDCOVER DETAIL NTS. " OF SHREDDED MELALEUCA MULCH PLACED BETWEEN PLANTS ABOVE EXISTING SOIL LEVEL. 2" OF I/4" MULCH PLACED ON TOP OF TILLED SOIL. TILL MULCH 2" -4" INTO PREVIOUSLY TILLED SOIL. LEVEL TO FINISHED GRADE BY HAND RAKING. JUNGALLAGE STALLONGE STALLONGE TILL SOIL TO A MINIMUM DEPTH OF 4" BELOW THE EXISTING SOIL LEVEL. EXISTING SOIL.

PLANT S	SPACING	G DETAIL
		NT
SPACING "D"	ROW "A"	PLANT SPACING CHART
6" O.C.	5.2"	
8" O.C.	6.93"	° ° ° 4
10" O.C.	8.66"	
12" O.C.	10.4"	\
18" O.C.	15.6"	
24" O.C.	20.8"	\/ \/ \/ \/ D" \
30" O.C.	26.0"	° ——— ° ——— ° ———
36" O.C.	31.2"	
48" O.C.	41.6"	

TYPICAL PLANTING DIAGRAM

FENCING WITH FLAGGING.

PLACED SO AS TO ENCOMPASS

THE CRITICAL PROTECTION

B MINIMUM* BOUNDARY

A= INCHES OF DIAMETER GRADE OF PROTECTED

B=CRITICAL PROTECTION

(CPZ) THAT AREA

WITHIN A CIRCLE DESCRIBED BY A RADIUS OF

SURROUNDING A TREE

AT 4.5' ABOVE GRADE

*B MIN=75 % OF B AREA

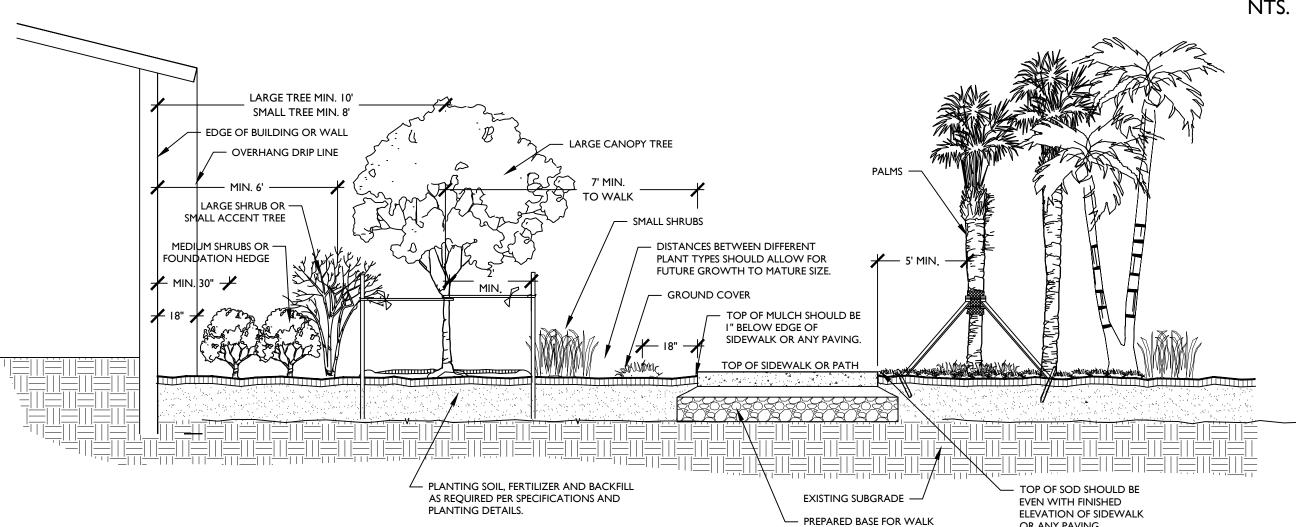
ONE FOOT FOR EACH INCH

— B BOUNDARY

ZONE (CPZ)

TREE PROTECTION DETAIL

NOTE: I. THIS DETAIL APPLIES TO ALL TREES THAT

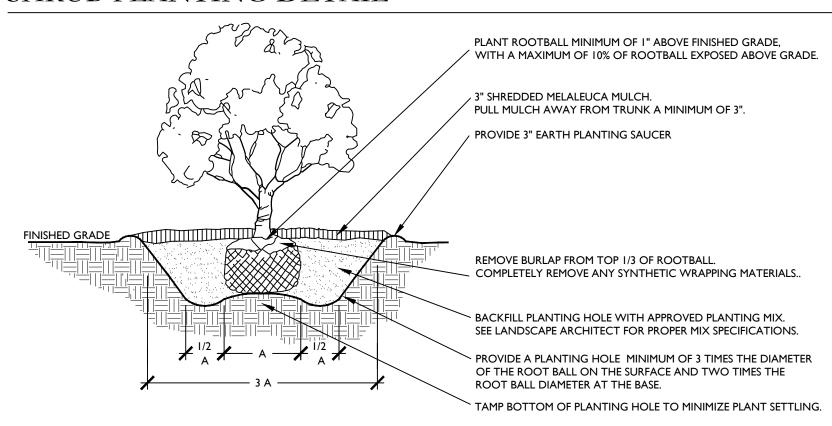


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QTY	COMMON NAME	BOTANICAL NAME	SIZE/SPECS	NATIVE- COMMENTS
EXISTIN	G TREES/PALMS:			
2	COCONUT PALM	COCOS NUCIFERA	25' HT OA	NO_EXISTING- TO REMAIN
4	SEAGRAPE TREE	COCCOLOBA UVIFERA	25' HT OA	YES EXISTING- TO REMAIN
1	PINK TABEBUIA TREE	TABEBUIA SSP.	15' HT OA	NO_EXISTING- TO REMAIN
1	FOXTAIL PALM	WODYETIA BIFURCATA	15' HT OA	NO EXISTING- TO REMAIN
2	ALEXANDER PALM	PTYCHOSTERMA ELEGANS	15' HT OA	NO_EXISTING- TO BE RELOCATED
2	COCONUT PALM	COCOS NUCIFERA	25' HT OA	NO_EXISTING- TO BE RELOCATED
NEW TD	EES/PALMS:		•	
1	SEAGRAPE TREE	COCCOLOBA UVIFERA	5' CT/12' 0A	YES
2	SILVER BUTTONWOOD TREE	CONOCARPUS ERECTUS	8-10' HT OA	YES
6	GUMBO LIMBO TREE	BURSERA SIMARUBA	5' CT/12-15' HT 0A	YES
13	COCONUT PALM	COCOS NUCIFERA	3' GW/ 12-15' HT OA	NO NO
5	ADONIDIA PALM	ADONIDIA MERRILLII	12-15' HT OA/ DOUBLE TRUNK	NO NO
3	ADONIDIA PALM	ADONIDIA MERRILLII	12-13 HT OA/ DOUBLE TRUNK	NO
NEW HE	DGES/SHRUBS/VINES:			
18	SMALL LEAF CLUSIA	CLUSIA ROSEA	15 GAL, 4' HT	YES
82	SMALL LEAF CLUSIA	CLUSIA ROSEA	25 GAL/ 6' HT	YES
2	PINK DOMBEYA SEMINOLE	DOMEBEYA 'SEMINOLE PINK'	15 GAL	NO
4	CONFEDERATE JASMINE VINE	TRACHELOSPERMUM JASMINOIDES	7 GAL	NO- TRAINED TO COVERE FACAD
11	RED TIP COCOPLUM	CHRYSOBALANUS ICACO 'RED TIP'	36" HT MIN.	YES
30	GREEN COCOPLUM	CHRYSOBALANUS ICACO	7 GAL	YES
6	BORNEO GIANT ALOCASIA	ALOCASIA 'BORNEO GIANT'	7 GAL	NO
19	ZAMIA	ZAMIA PUMILA	7 GAL	YES
13	SILVER BROMELIADS	ALCANTAREA ODORATA	7 GAL	NO
22	SHELL GINGER	ALPINIA ZERUMBET	7 GAL	NO
60	FOXTAIL FERN	ASPARGUS DENSIFLORUS	3 GAL	NO
19	DWARF ALOCASIA	ALOCASIA CALIFORNIA	3 GAL	NO
32	MACHO FERNS	NEPHROLEPIS BISERRATA	3 GAL	NO
40	YELLOW SHRIMP PLANT	PACHYSTACHYS LUTEA	3 GAL	NO
12	RED TI CORDYLINE	CORDYLINE 'RED SISTER'	3 GAL	NO
45	BLUE DAZE	EVOLVULUS GLOMERATUS	1 GAL	NO
NIEW CD	OUNDCOVERS:			
<u>NEW GR</u> 200	JASMINE MINIMA	TRACHELOSPERMUM ASIATICUM	4" PLUGS	NO
1,040	FROGFRUIT	PHYLA NODIFLORA	4" PLUGS	NO
2,200 S.F.	DIAMOND CASHMERE ZOYSIA	ZOYSIA	N/A	YES

TOTAL EXISTING TREES & PALMS TO REMAIN	4- TREES/PALMS	4- NATIVE
ГОТАL PROPOSED TREES & PALMS:	32- TREES/PALMS	6- NATIVE
TOTAL EXISTING & PROPOSED NATIVE TREES & PALMS:	36 TOTAL	12- NATIVE TREES & PALMS
REQUIRED NATIVE TREES/PALMS- (30%):	10.8 TREES REQUIRED	12- NATIVE TREES PROVIDED (33%)
REQUIRED UNDERSTORY PLANTINGS- (30%):	415 PLANTS	160 PLANTS (38.5%)
REQUIRED GROUNDCOVER PLANTINGS- (30%):	1,240 PLANTS	1,040 PLANTS (100%)

SHRUB PLANTING DETAIL



LANDSCAPE NOTES:

I. STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.

2. CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO

ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT. 3. TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.

4. ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE

5. ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL. 6. IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP, AN AUTOMATIC RAIN SENSOR MUST BE

7. ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHT'S (FPL'S) RIGHT TREE RIGHT PLACE GUIDELINES. 8. IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.

9. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.

10. REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.

II. RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION 12. LOCATION OF PROPOSED ROYAL PALMS BASED ON PROPERTY OWNER'S PREFERENCE. LANDSCAPE ARCHITECT IS NOT

RESPONSIBLE FOR ANY DAMAGE INCURRED TO AUTOMOBILES OR OTHER PERSONAL PROPERTY DUE TO FALLING FRONDS.

13. ALL PLANT MATERIAL IS TO BE FLORIDA GRADE #1 OR BETTER.

14. ALL PLANTING MATERIAL TO HAVE ONE YEAR WARRANTY FROM FINAL APPROVAL.

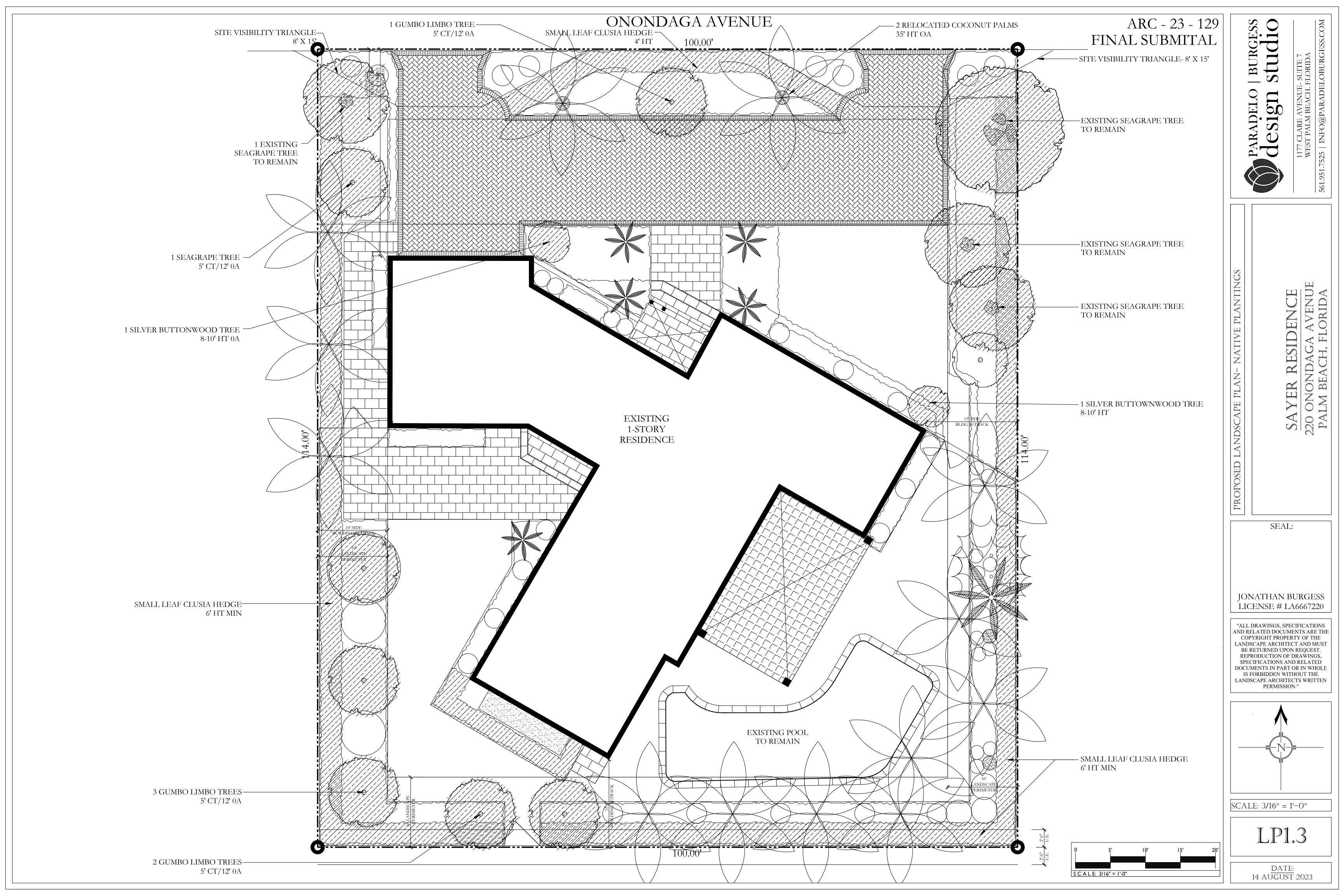
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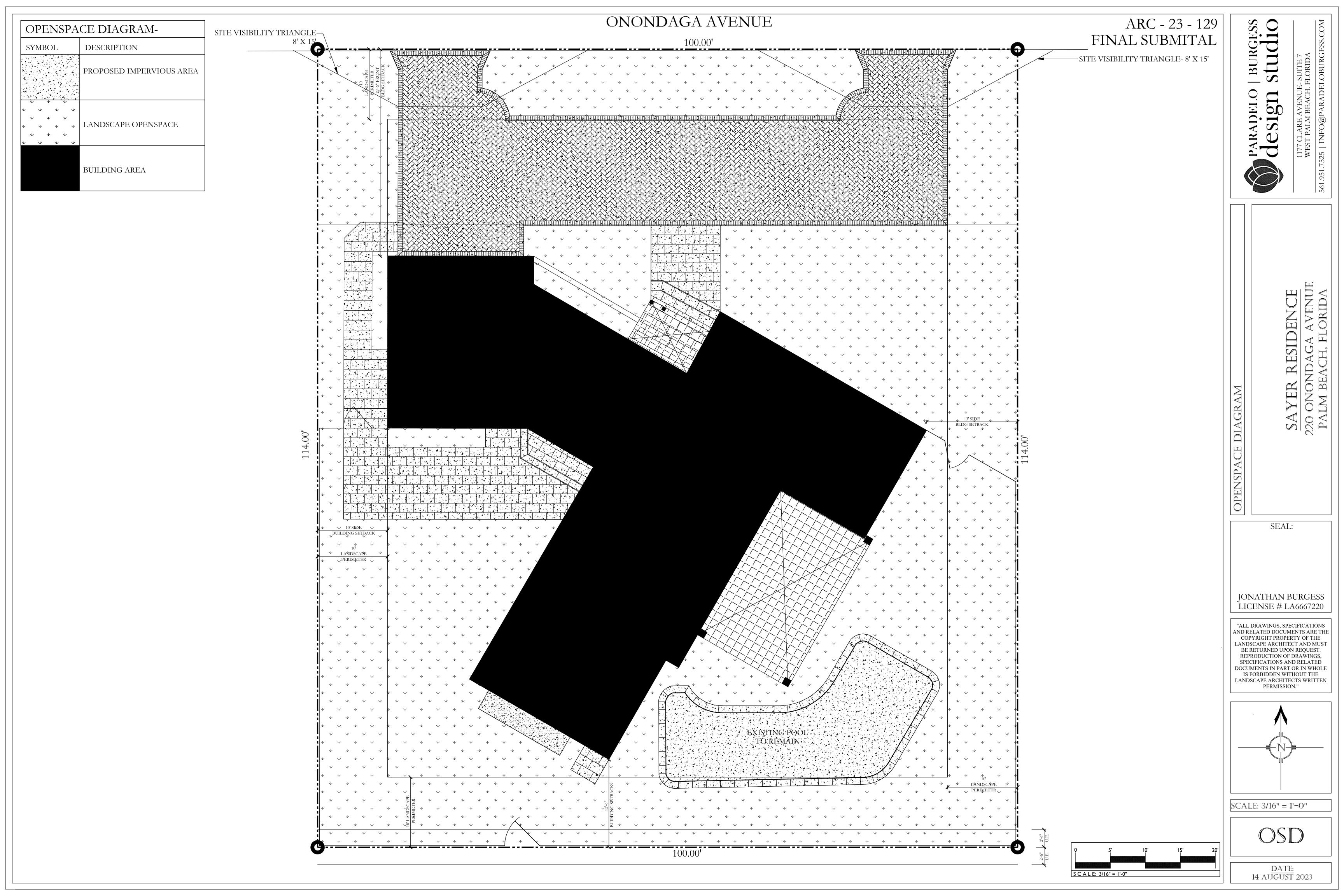
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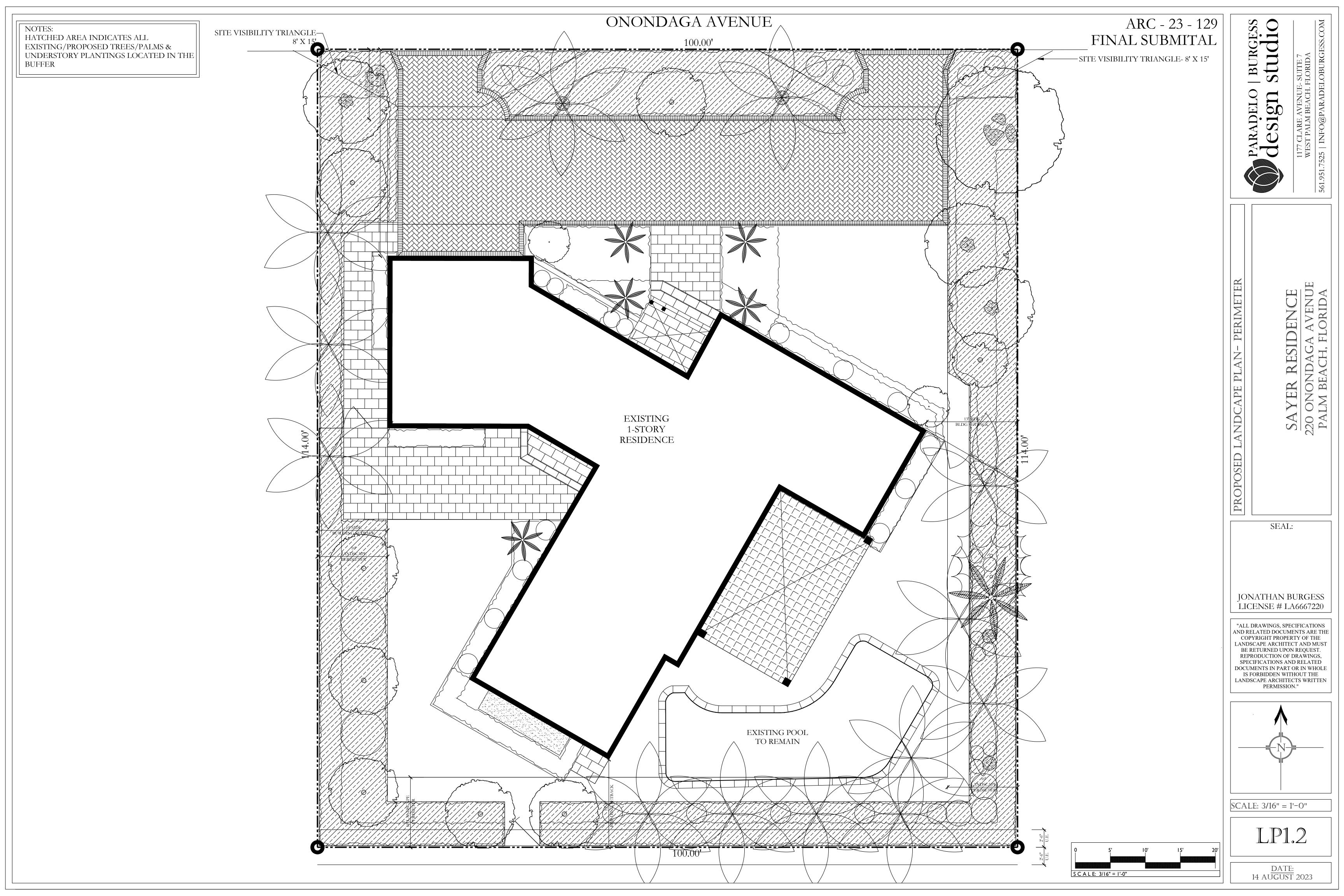
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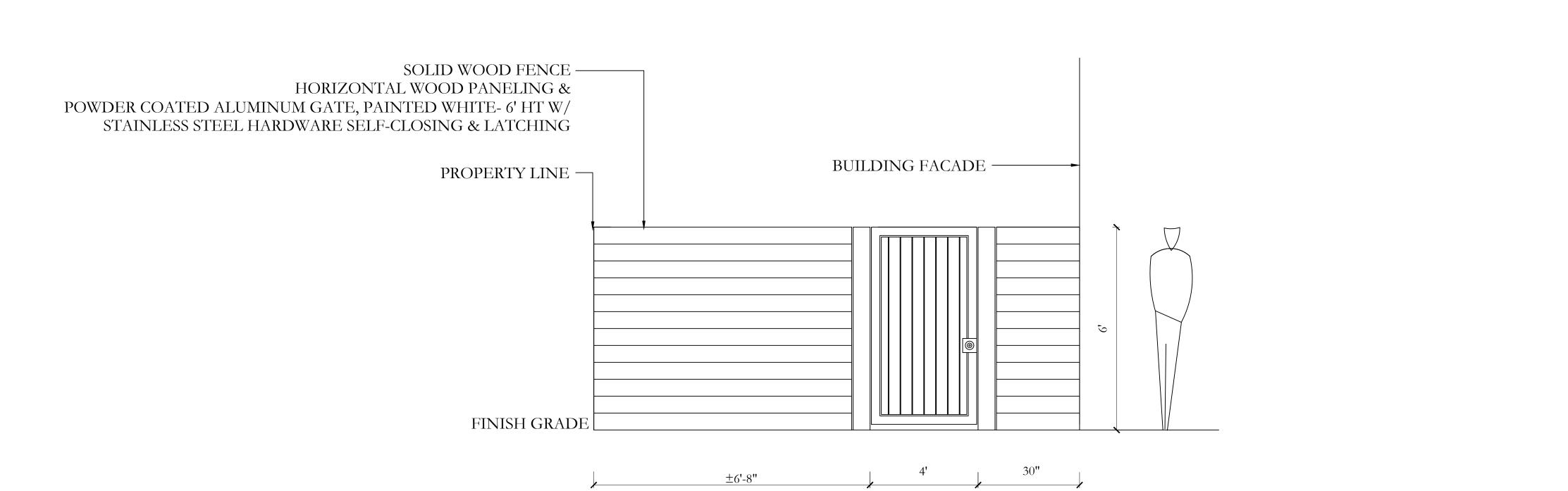
SCALE AS SHOWN





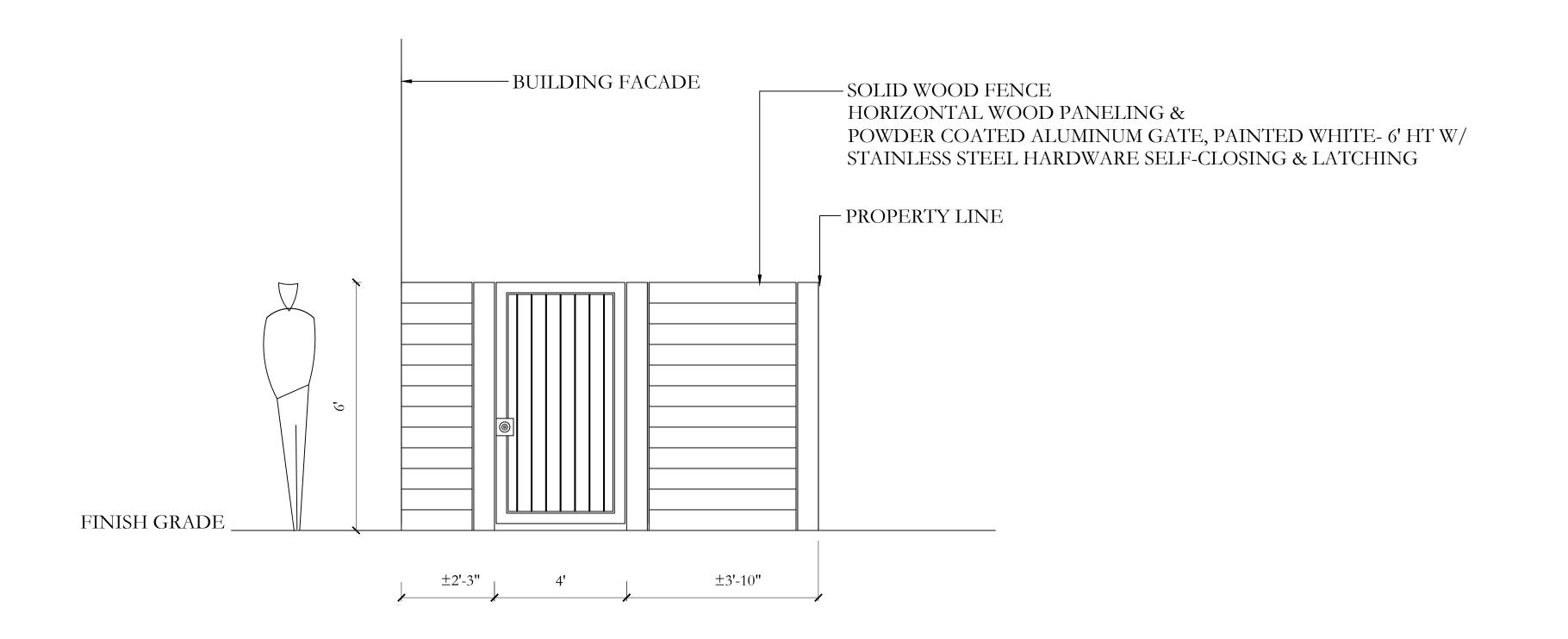


ARC - 23 - 129 FINAL SUBMITAL



1 PROPOSED FENCE & GATE ELEVATION- EAST SIDE

SCALE: 1/4" = 1'-0"



1 PROPOSED FENCE & GATE ELEVATION- WEST SIDE

SCALE: 1/4" = 1'-0"

PARADELO | BURGESS

design studio

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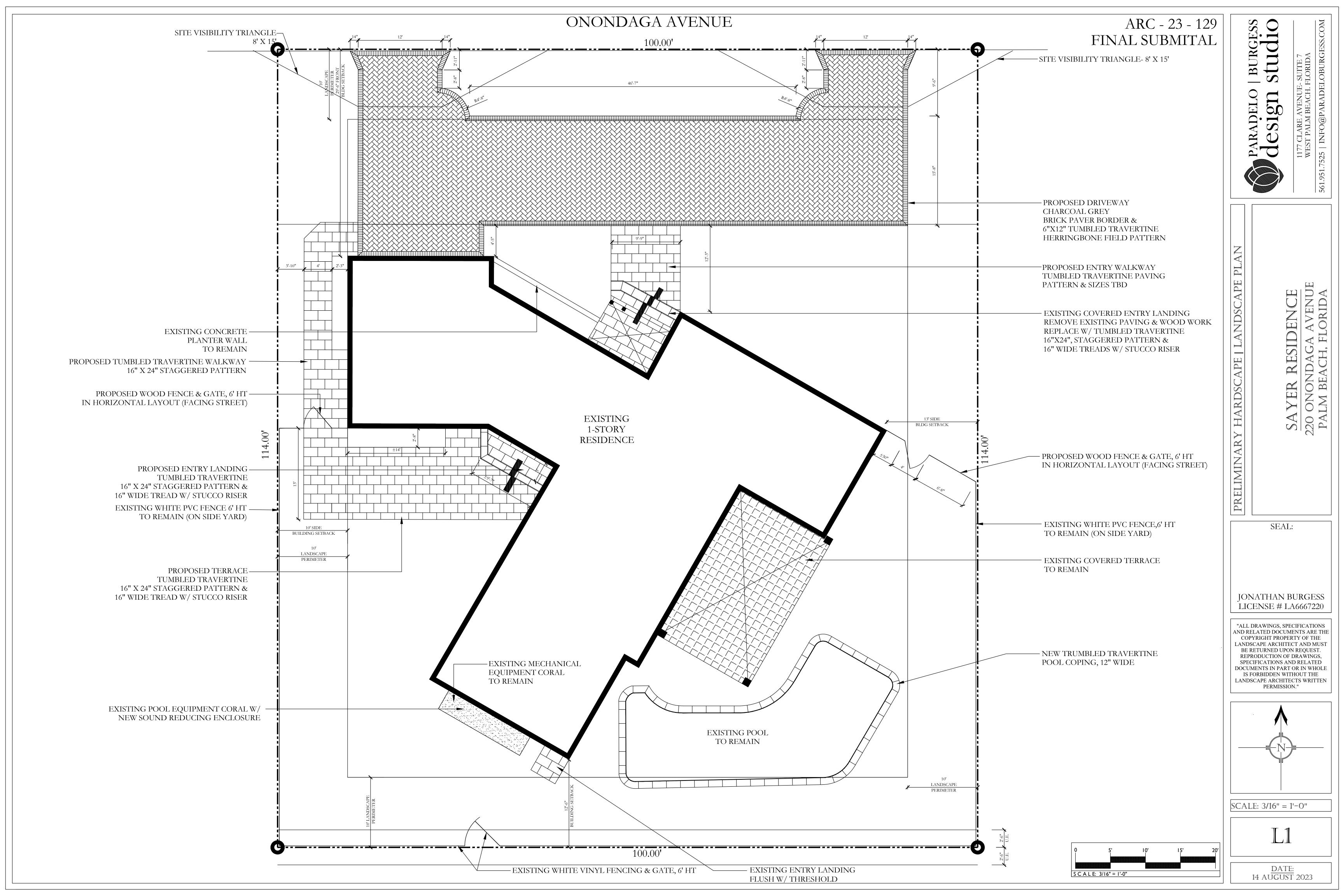
DRIVEWAY & WALKWAYS SANDBLASTED BLUE TAH		DRIVEWAY- BELGARD HO	
S- TUMBLED TRAVERTINE PAVER- HOE- 6" X 12" 16" X 24"		OLLAND BRICK PAVER-	
			ARC - 23 - 129 FINAL SUBMITAL
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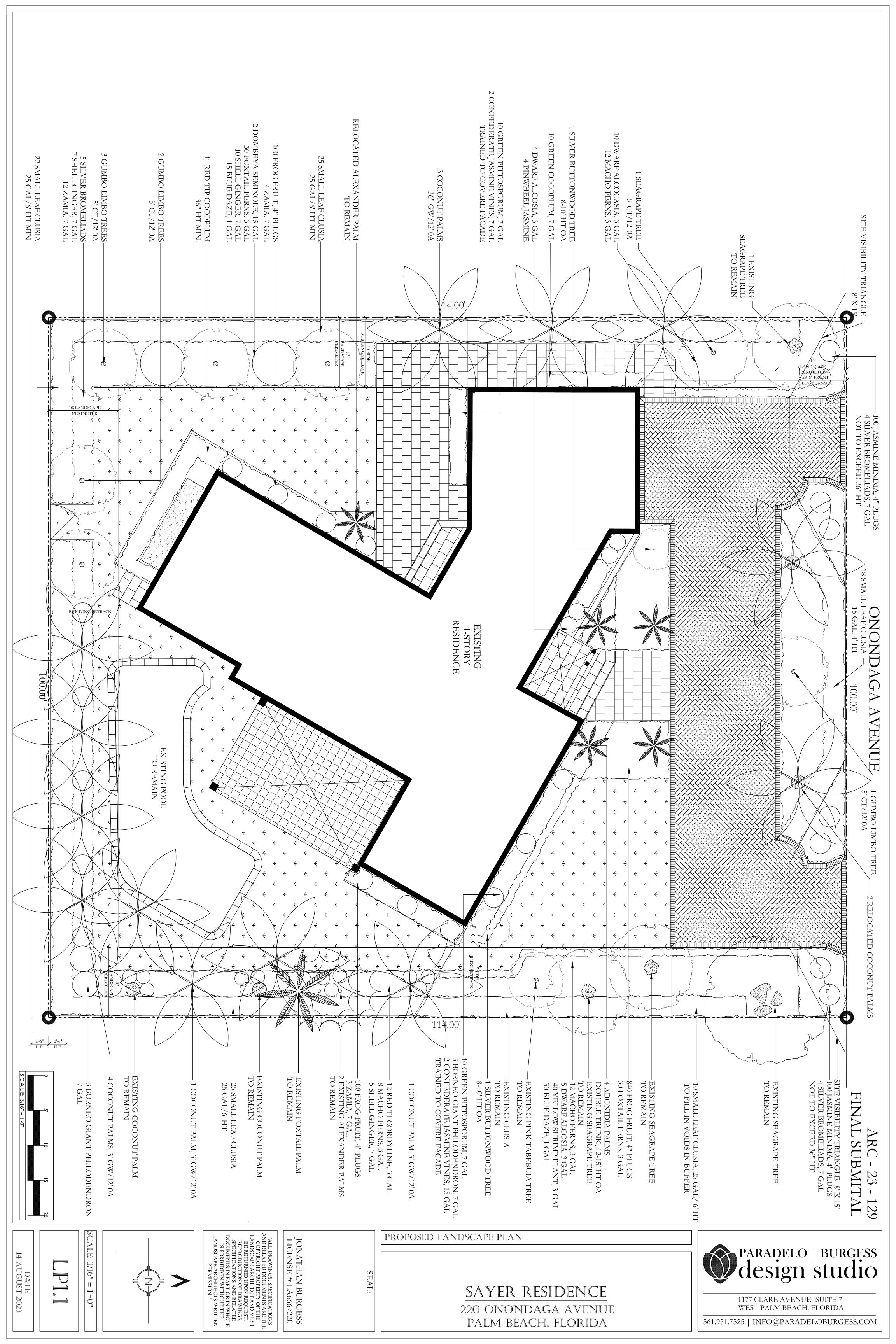
SAYER RESIDENCE 220 ONONDAGA AVENUE PALM BEACH, FLORIDA

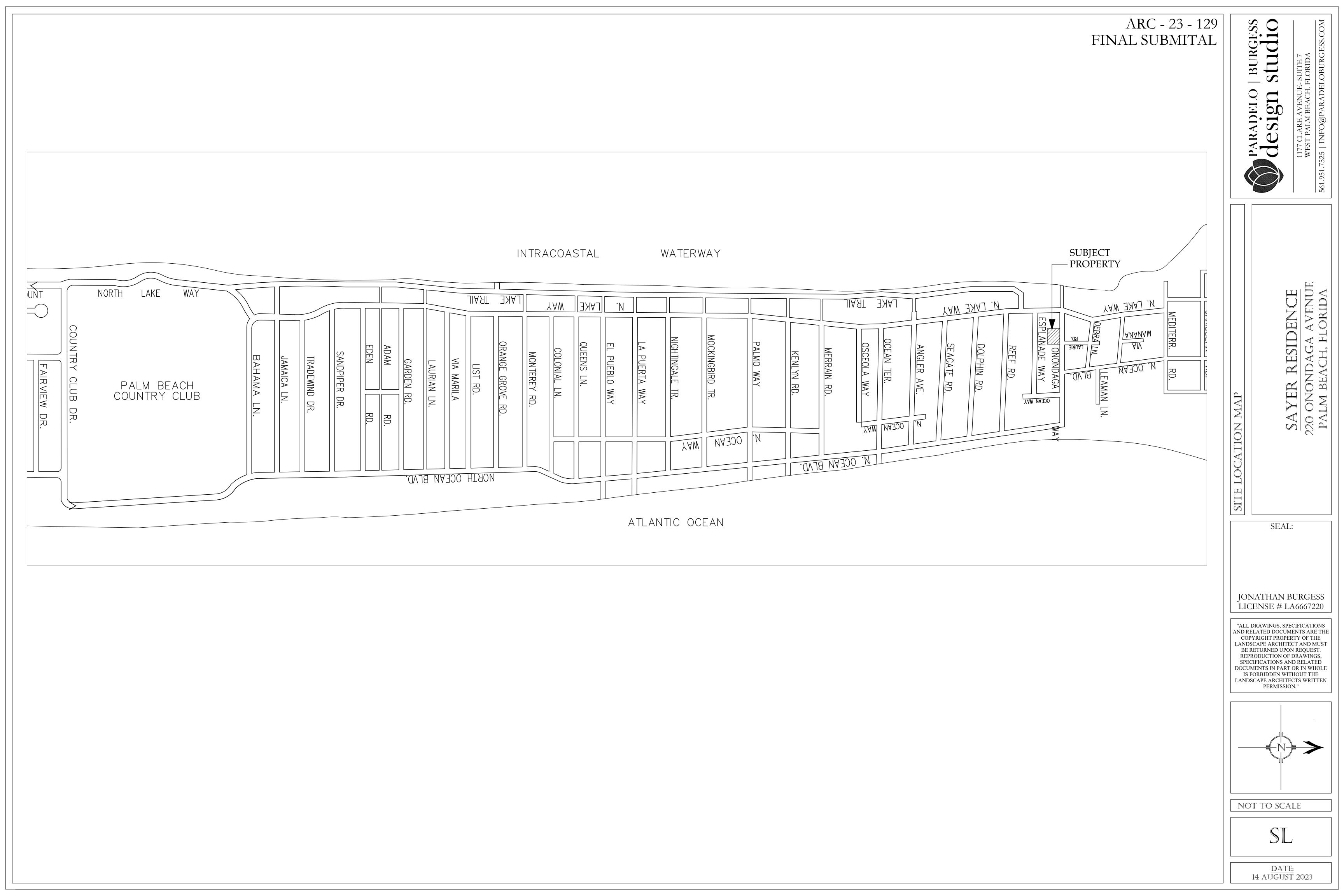


1177 CLARE AVENUE- SUITE 7 WEST PALM BEACH. FLORIDA

561.951.7525 | INFO@PARADELOBURGESS.COM

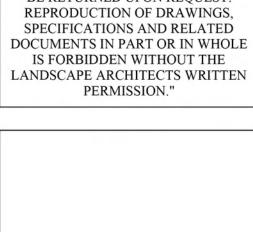






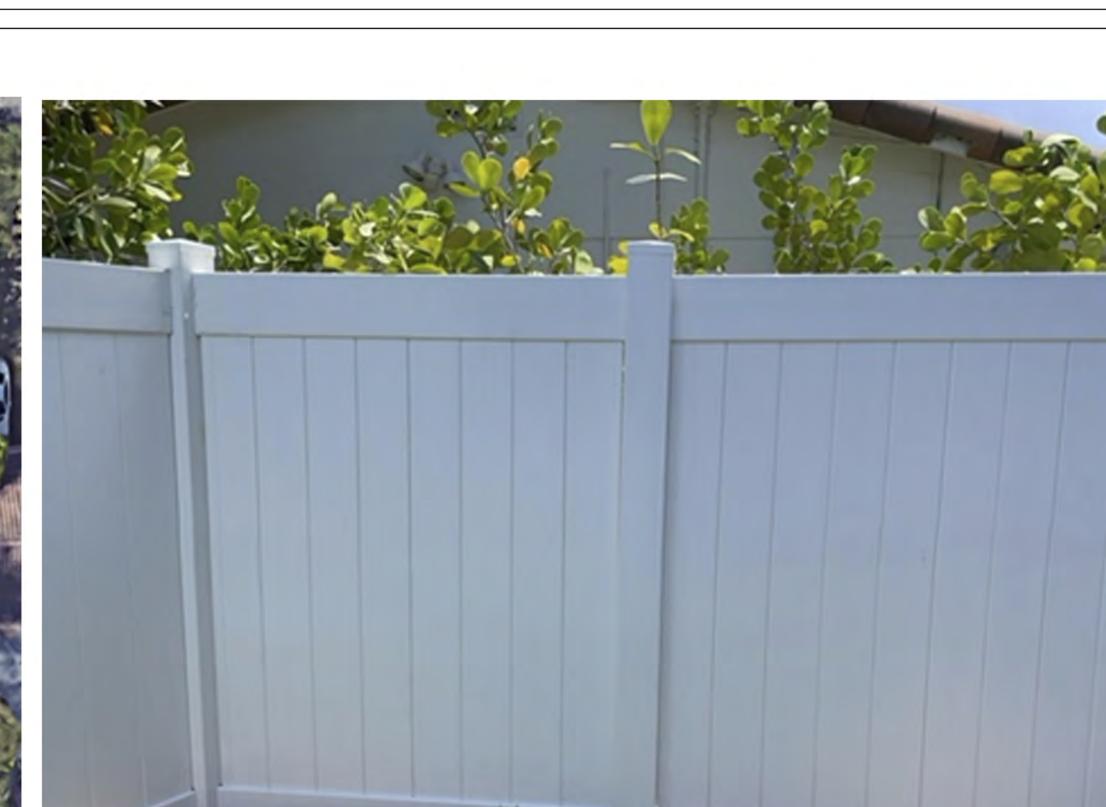
JONATHAN BURGESS

"ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE



PICS I

<u>DATE:</u> 13 JULY 2023



EXISTING WHITE VINYL FENCE, 6' HT

AERIAL PHOTO







VIEW SOUTH- ALONG ONONDAGA AVENUE







VIEW SOUTH- EXISTING HOME (INTERIOR SITE)



VIEW WEST- FRONT SIDE YARD (INTERIOR SITE)

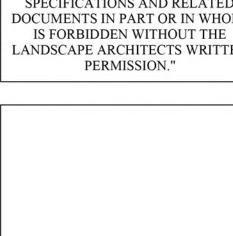


VIEW SOUTH- EXISTING HOME (INTERIOR SITE)

PICS II

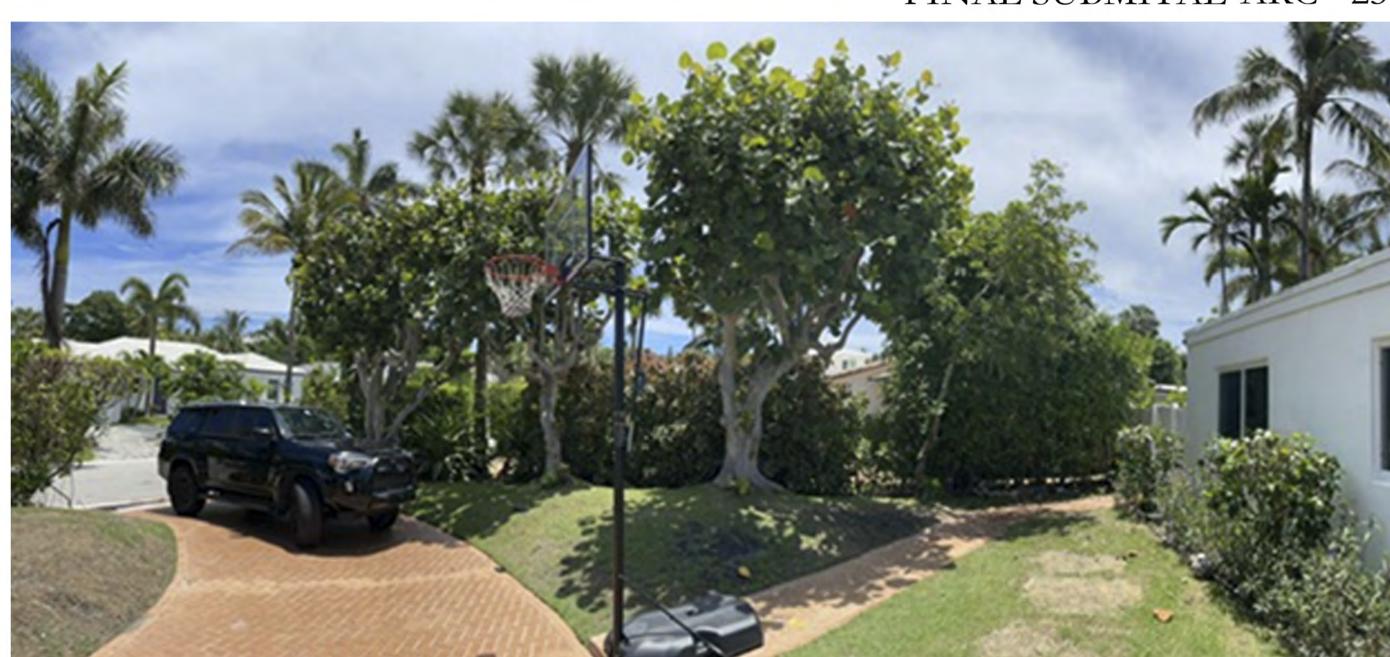
<u>DATE:</u> 13 JULY 2023

JONATHAN BURGESS









VIEW SOUTH- REAR YARD (INTERIOR SITE)





VIEW SOUTH- REAR YARD (INTERIOR SITE)



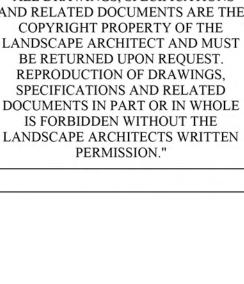
VIEW NORTH- FRONT YARD (INTERIOR SITE)



VIEW WEST-REAR YARD (INTERIOR SITE)



VIEW EAST- REAR YARD (INTERIOR SITE)





<u>DATE:</u> 13 J<u>ULY 2</u>023





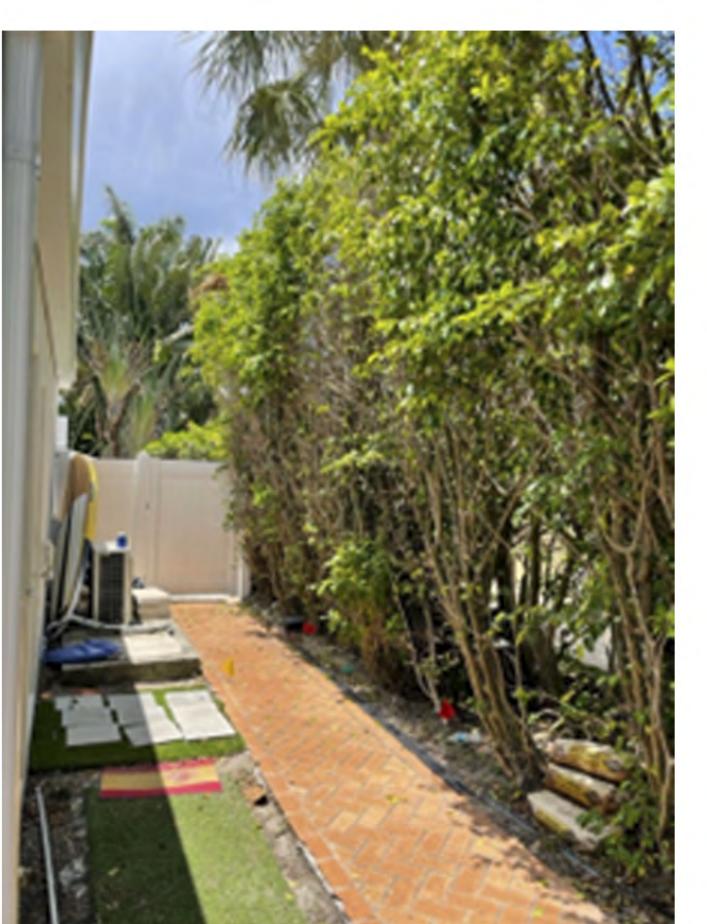
VIEW EAST- REAR YARD (INTERIOR SITE)



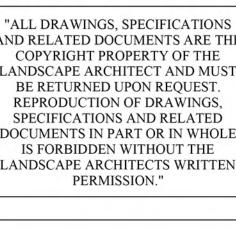
VIEW NORTH-FRONT YARD ALONG ONONDAGA AVENUE (INTERIOR SITE)



VIEW SOUTH- EXISTING HOME & FRONT YARD (INTERIOR SITE.



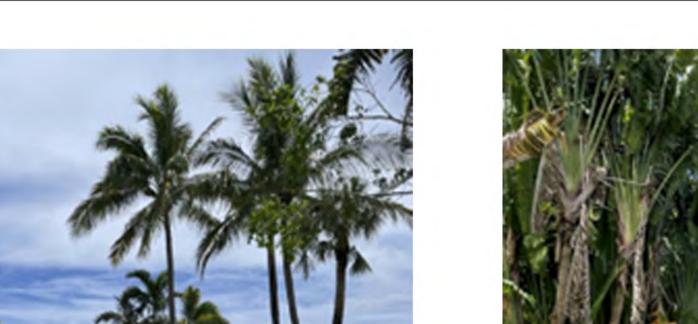
VIEW NORTH-WEST SIDE YARD (INTERIOR SITE)





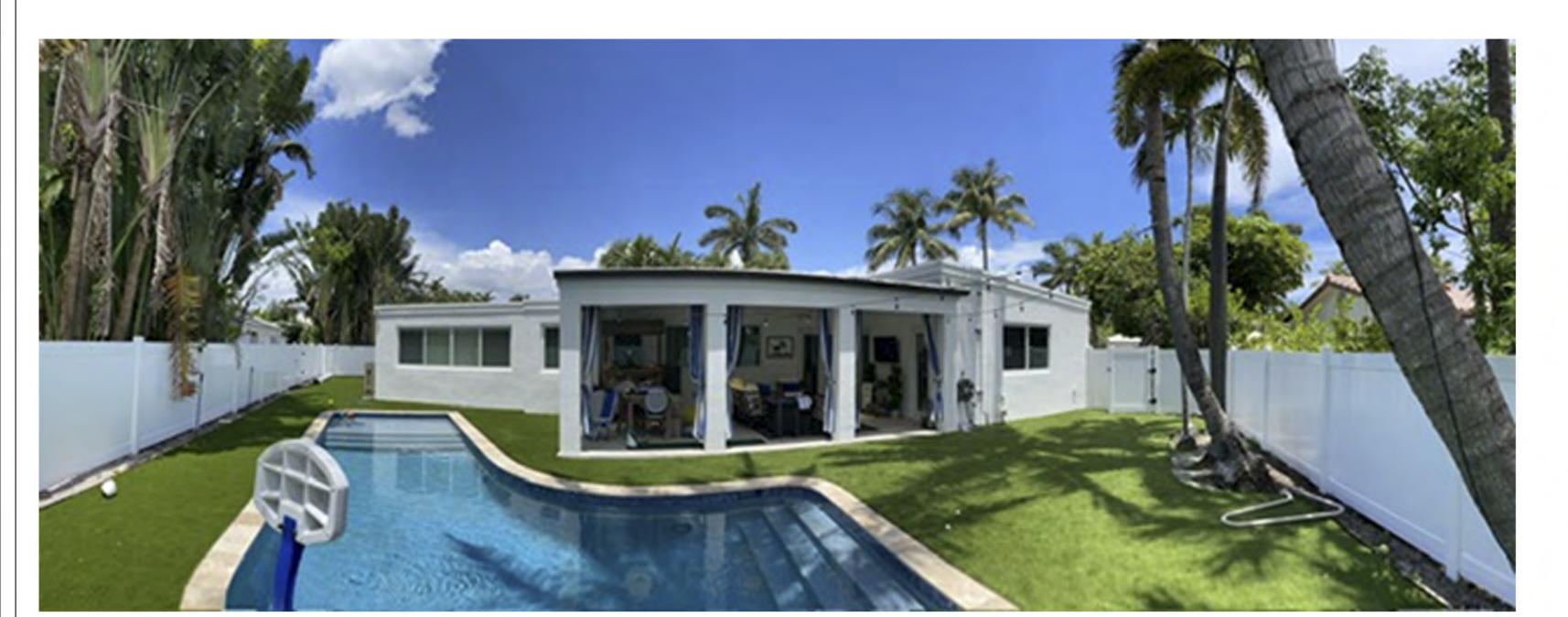
PICS IIII

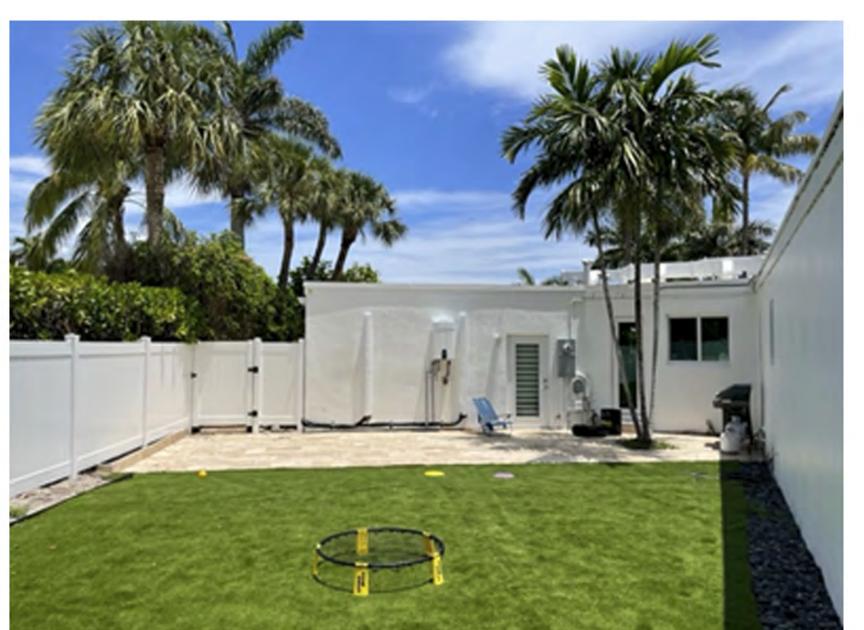
<u>DATE:</u> 13 JULY 2023





VIEW EAST & WEST- EXISTING HOME & REAR YARD (INTERIOR SITE)

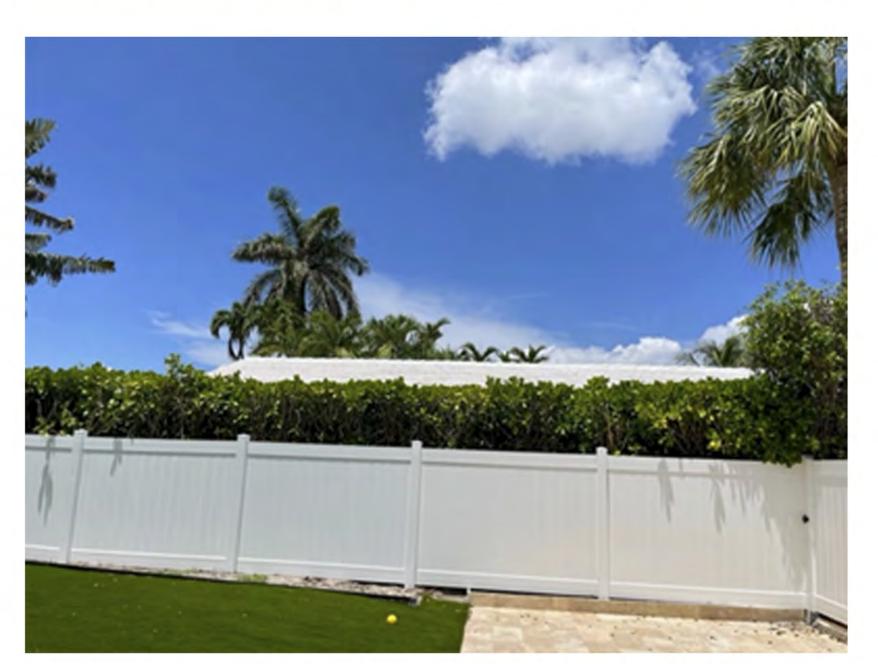




VIEW WEST- EXISTING HOME & REAR YARD (INTERIOR SITE)

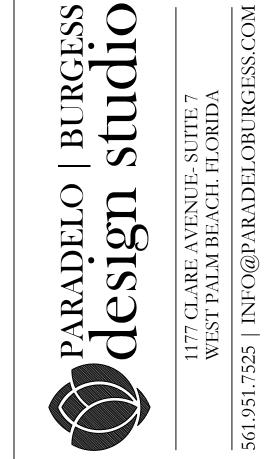
VIEW NORTH- EXISTING HOME & REAR YARD (INTERIOR SITE)





VIEW WEST-REAR YARD (INTERIOR SITE)

VIEW WEST- EXISTING FENCE & REAR YARD (INTERIOR SITE)

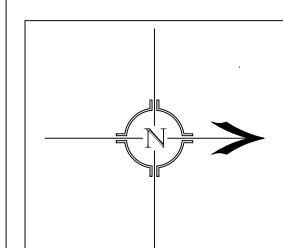


SAYER RESIDENCE 220 ONONDAGA AVENUE PALM BEACH, FLORIDA

SEAL:

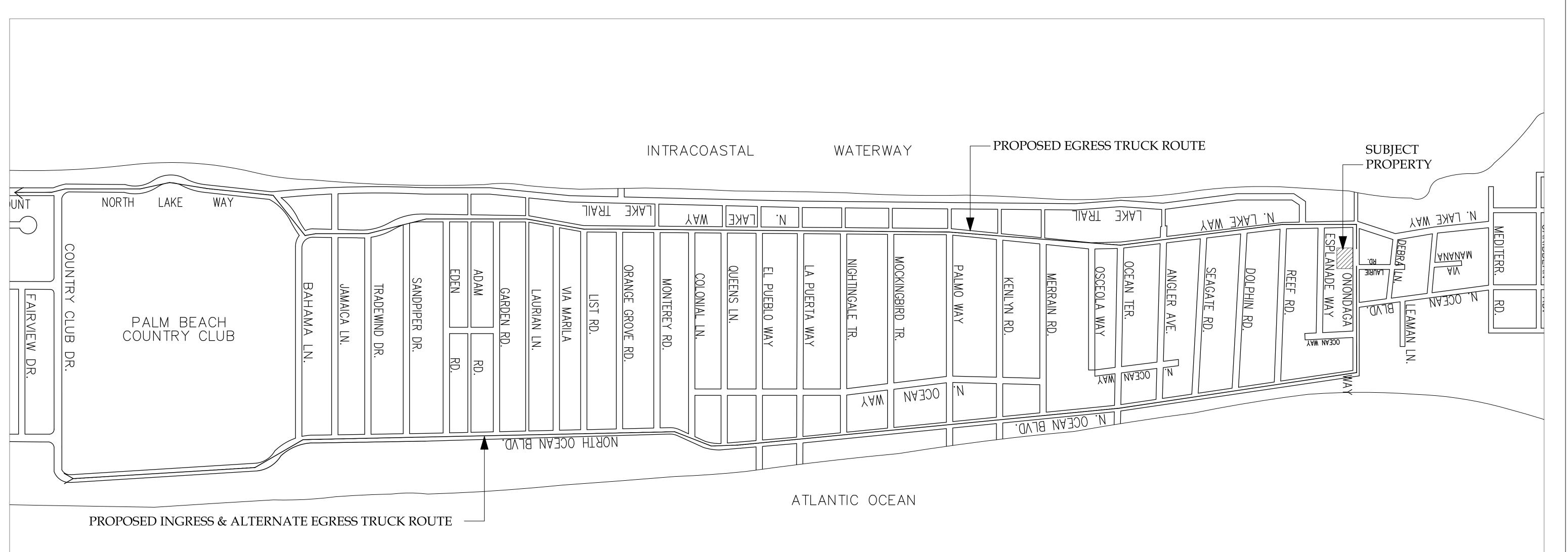
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NOT TO SCALE

<u>Date:</u> 14 august 2023



PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND CLEANUP (3 - 5 DAYS)

LARGEST TRUCK ->

10-15 DUMP TRUCKS FOR DEBRIS REMOVAL

TRAILER FOR EXCAVATOR / DEMOLITION

LANDSCAPE TRUCKS -> SOD

IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON PARKING LOCATIONS, MATERIAL STORAGE,

DELIVERIES, DUMPSTER, PORTABLE TOILETS,

TIRE CLEANING AREA, SILT FENCE, ETC.







LEGEND

EXISTING ELEVATION PER WALLACE SURVEYING (NAVD)

← FLOW DIRECTION

EXFILTRATION TRENCH

─■ AREA DRAIN W/STORM PIPING

24" NYLOPLAST DRAIN BASIN WITH BAFFLE

PROPOSEED FINISH GRADES

NOTES:

- 1. ALL NEW DRAINAGE TO BE INSTALLED PER PLANS AND EXACT ELEVATIONS WILL BE FIELD DETERMINED PER FIELD CONDITIONS.
- 2. ALL TRENCH DRAINS AT BOTTOM OF STEP LOCATIONS TO BE FLUSH AGAINST
- 3. EXFILTRATION TRENCHES TO BE UPDATED ONCE PERCOLATION TEST IS PERFORMED AND SIZED ACCORDINGLY.
- 4. FURTHER COORDINATION WITH DOWNSPOUTS WILL BE ADDED AND TIED INTO THE PROPOSED DRAINAGE SYSTEM.

STING RESIDENCE
O ONONDAGA AVENUE
PALM BEACH, FL

Project #: 23-096
Issue Date: 07/06/23
Drawn By: AMW
Chkd By: AMW

As Shown

No. 87358

* No. 87358

* STATE OF

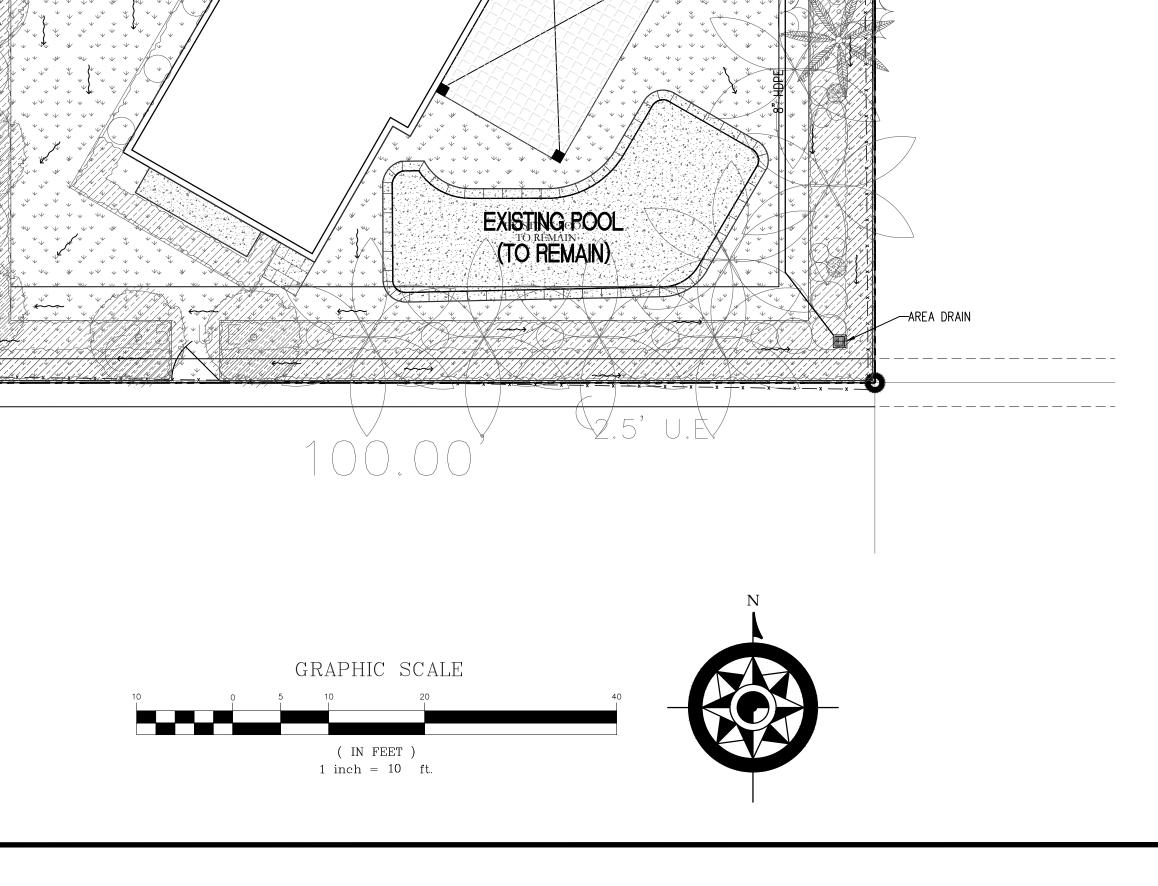
Andre W. Webster. P

Florida

DRAINAGE & GRADING PLAN

SHEET NUMBER:

 \mathbf{C}



EXISTING

RESIDENCE

(TO REMAIN)

MATCH EXISTING — GRADE

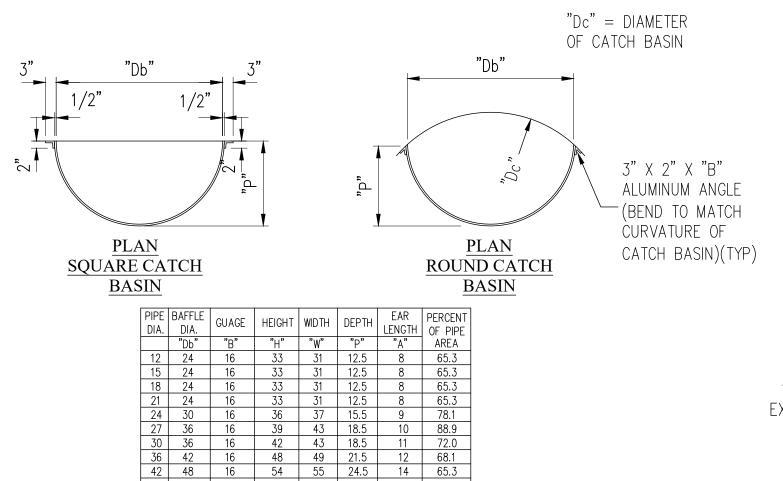
310.00'

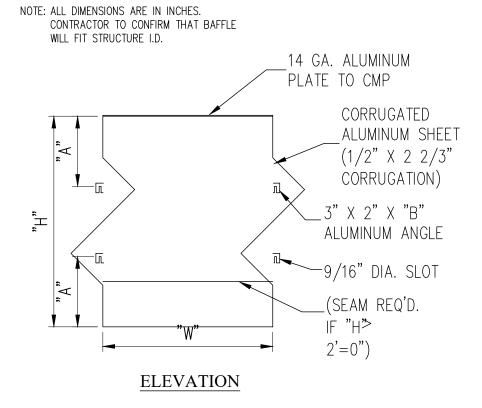
AREA DRAIN-

MATCH EXISTING — GRADE

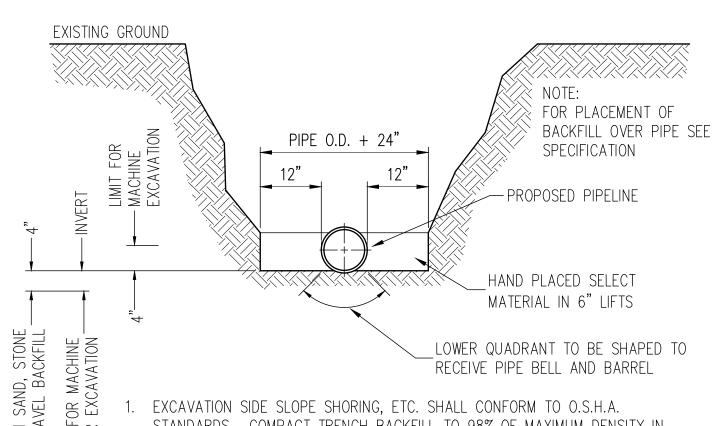
50'L X 8'W X 4'D EXFILTRATON TRENCH—/ W/12" PERFORATED PIPE

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BAFFLE DETAIL N.T.S.

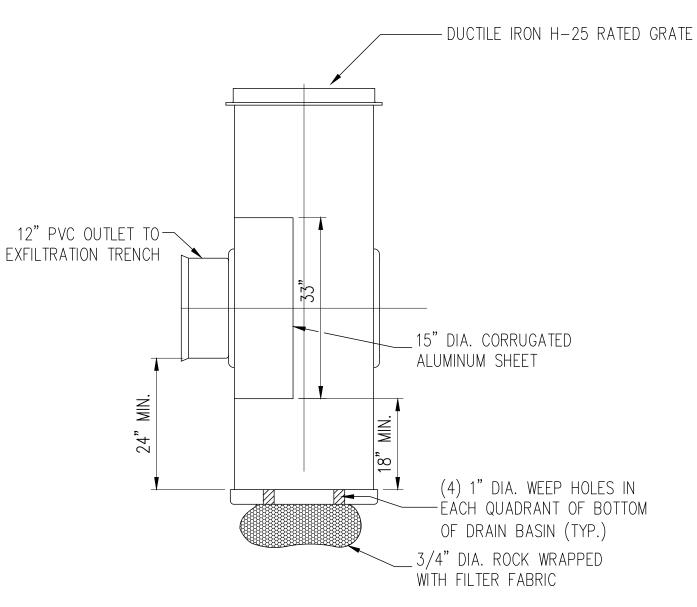


- STANDARDS. COMPACT TRENCH BACKFILL TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. DENSITY TESTS SHALL BE TAKEN AT 12" LIFTS EVERY 100' IN PUBLIC RIGHTS-OF-WAY AND 200' IN EASEMENTS.
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS, HARDPAN AND LARGER ROCKS SHALL BE REMOVED.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- 4. BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, HARDPAN AND DEBRIS.
- 5. SEE SEPARATE DETAIL FOR "PIPE INSTALLATION UNDER EXISTING PAVEMENT-OPEN CUT.
- 6. THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.

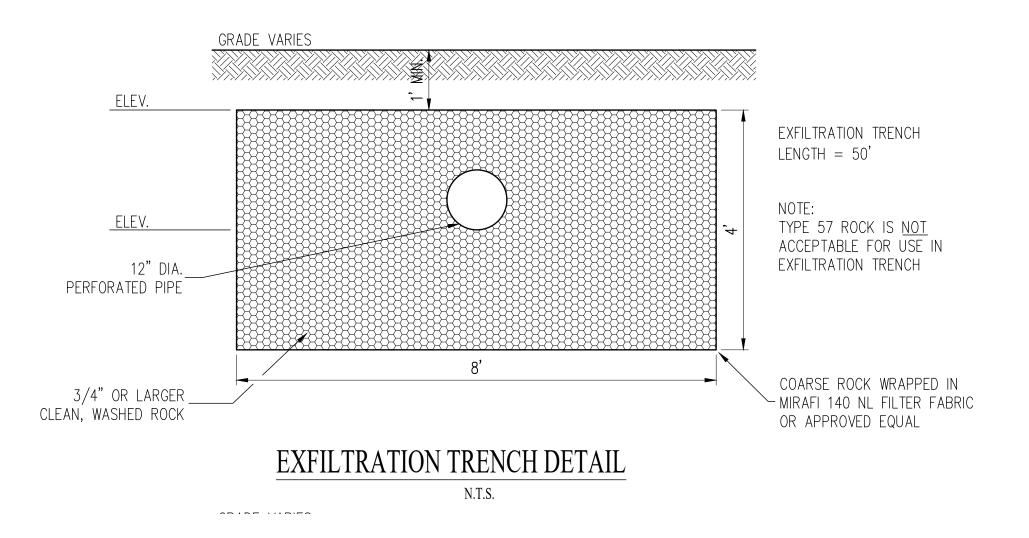
TRENCH AND BACKFILL DETAIL

N.T.S.

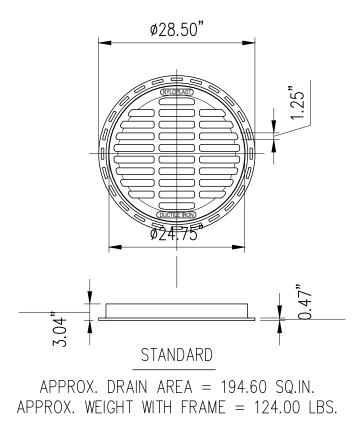
24" NYLOPLAST DRAIN BASIN



NOTE: INLET TO HAVE MIN. 24" SUMP AND MIN. 18" CLEARANCE BETWEEN BOTTOM OF BAFFLE AND BOTTOM OF INLET



24" DUCTILE IRON GRATE



STANDARD GRATE HAS H-25 HEAVY DUTY RATING SOLID COVER HAS H-25 HEAVY DUTY RATING PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING

QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05

DUCTILE IRON MATERIAL:

> CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST PRICE INCLUDES FRAME & GRATE/COVER

12" CAST IRON GRATE STANDARD (H-20) RATED DRAIN AREA = 62.7 SQ. INCH HINGED GRATE COVER FOR EASY ACCESS SOLID GRATE PEDESTRIAN (H-10) RATED DRAINAREA = 51.0 SQ. INCH

10" DUCTILE IRON GRATE STANDARD DRAIN AREA = 29.7 SQ. INCH CASTINGS ARE RATED FOR LIGHT QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 — CLASS 30B PAINT: CASTINGS ARE FURNISHED WITH BLACK PAINT

MATERIAL: CAST IRON QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B CASTINGS ARE FURNISHED WITH A BLACK PAINT

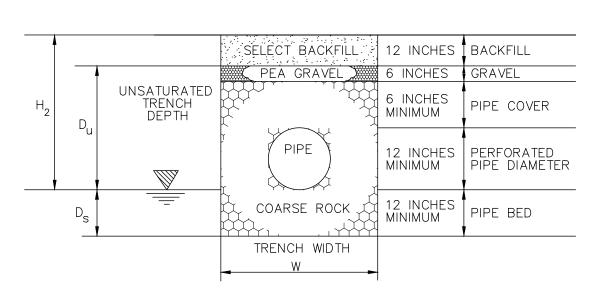
NOTE:

TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER & LANDSCAPE ARCHITECT

PIPE MATERIAL MAY BE PVC, ADS, NDS, OR APPROVED EQUAL

AREA DRAIN **DETAIL**

TYPICAL EXFILTRATION TRENCH



 $K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u$

L = LENGTH OF TRENCH REQUIRED (FEET)V = VOLUME TREATED (ACRE-INCHES)

W = TRENCH WIDTH (FEET)

K = HYDRAULIC CONDUCTIVITY (CFS/FT. 2 - FT.HEAD)

 $H_2 = DEPTH TO WATER TABLE (FEET)$

 $D_u = NON-SATURATED TRENCH DEPTH (FEET)$

D = SATURATED TRENCH DEPTH (FEET)

EXISTING RESIDENCE 220 ONONDAGA AVENUE PALM BEACH, FLORIDA

Know what's **below**.

Call before you dig.

Total Lot Area = 11,400 sq.ft. \pm

SITE PLAN DATA

Impervious Area = 5,152 sq.ft. ±

Pervious Area = 6,248 sq.ft. \pm

ESTIMATED RUNOFF VOLUME

Impervious Runoff Volume: $2'' \times 5,152 \text{ sq.ft.} \times 1 \text{ ft./}12 \text{ in.} = 859 \text{ cu.ft.}$

Pervious Runoff Volume:

0.4" x 6,248 sq.ft. x 1 ft./12 in. = 208 cu.ft.

Total Basin Volume to be Retained = 1,067 cu.ft.

EXFILTRATION TRENCH CALCULATIONS (SFWMD ANALYSIS)

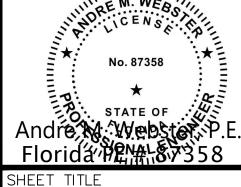
 $\frac{\text{Exfiltration Trench}}{\text{L = Total Length of Trench Provided}} = 50 \text{ ft}$ W = Trench Width= 8.00 ft = 0.00005 cfs/sq.ft. per ft. of head K = Hydraulic Conductivity

H2 = Depth to Water Table = 4.00 ft = 4.00 ft DU = Non-Saturated Trench Depth = 0.00 ftDS = Saturated Trench Depth

V = Volume Treated = 1,243 cu.ft. each

DRAINAGE PLAN FOR:
EXISTING RESIDENC
220 ONONDAGA AVENUI
PALM BEACH, FL

Project #: 23-096 Issue Date: 07/06/23 Drawn By: AMW Chkd By: **AMW** Scale: As Shown



DRAINAGE & GRADING DETAILS

SHEET NUMBER:

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