

## P A L M   B E A C H ,   F L O R I D A

## D R C F I N A L S U B M I T T A L

AUGUST 28, 2023

ARCOM MEETING DATE: OCTOBER 25, 2023

*By yfigueroa at 9:48 am, Sep 13, 2023*



DOCUMENT ISSUE:	07/24/23	08/10/23	08/28/23	09/11/23	09/25/23	10/09/23	10/23/23	11/06/23	11/20/23	12/04/23	12/18/23	01/01/24	01/15/24	01/29/24	02/12/24	02/26/24	03/12/24	03/26/24	04/09/24	04/23/24	05/07/24	05/21/24	06/04/24	06/18/24	07/02/24	07/16/24	07/30/24	08/13/24	08/27/24	09/10/24	09/24/24	10/08/24	10/22/24	11/05/24	11/19/24	12/03/24	12/17/24	12/31/24	01/14/25	01/28/25	02/11/25	02/25/25	03/11/25	03/25/25	04/08/25	04/22/25	05/06/25	05/20/25	06/03/25	06/17/25	07/01/25	07/15/25	07/29/25	08/12/25	08/26/25	09/09/25	09/23/25	10/07/25	10/21/25	11/04/25	11/18/25	12/02/25	12/16/25	12/30/25	01/13/26	01/27/26	02/10/26	02/24/26	03/10/26	03/24/26	04/07/26	04/21/26	05/05/26	05/19/26	06/02/26	06/16/26	06/30/26	07/14/26	07/28/26	08/11/26	08/25/26	09/08/26	09/22/26	10/06/26	10/20/26	11/03/26	11/17/26	12/01/26	12/15/26	12/29/26	01/12/27	01/26/27	02/09/27	02/23/27	03/09/27	03/23/27	04/06/27	04/20/27	05/04/27	05/18/27	06/01/27	06/15/27	06/29/27	07/13/27	07/27/27	08/10/27	08/24/27	09/07/27	09/21/27	10/05/27	10/19/27	11/02/27	11/16/27	11/30/27	12/14/27	12/28/27	01/11/28	01/25/28	02/08/28	02/22/28	03/08/28	03/22/28	04/05/28	04/19/28	05/03/28	05/17/28	05/31/28	06/14/28	06/28/28	07/12/28	07/26/28	08/09/28	08/23/28	09/06/28	09/20/28	10/04/28	10/18/28	11/01/28	11/15/28	11/29/28	12/13/28	12/27/28	01/10/29	01/24/29	02/07/29	02/21/29	03/07/29	03/21/29	04/04/29	04/18/29	05/02/29	05/16/29	05/30/29	06/13/29	06/27/29	07/11/29	07/25/29	08/08/29	08/22/29	09/05/29	09/19/29	10/03/29	10/17/29	10/31/29	11/14/29	11/28/29	12/12/29	12/26/29	01/09/30	01/23/30	02/06/30	02/20/30	03/06/30	03/20/30	04/03/30	04/17/30	05/01/30	05/15/30	05/29/30	06/12/30	06/26/30	07/10/30	07/24/30	08/07/30	08/21/30	09/04/30	09/18/30	10/02/30	10/16/30	10/30/30	11/13/30	11/27/30	12/11/30	12/25/30	01/08/31	01/22/31	02/05/31	02/19/31	03/05/31	03/19/31	04/02/31	04/16/31	05/01/31	05/15/31	05/29/31	06/12/31	06/26/31	07/10/31	07/24/31	08/07/31	08/21/31	09/04/31	09/18/31	10/02/31	10/16/31	10/30/31	11/13/31	11/27/31	12/11/31	12/25/31	01/08/32	01/22/32	02/05/32	02/19/32	03/05/32	03/19/32	04/02/32	04/16/32	05/01/32	05/15/32	05/29/32	06/12/32	06/26/32	07/10/32	07/24/32	08/07/32	08/21/32	09/04/32	09/18/32	10/02/32	10/16/32	10/30/32	11/13/32	11/27/32	12/11/32	12/25/32	01/08/33	01/22/33	02/05/33	02/19/33	03/05/33	03/19/33	04/02/33	04/16/33	05/01/33	05/15/33	05/29/33	06/12/33	06/26/33	07/10/33	07/24/33	08/07/33	08/21/33	09/04/33	09/18/33	10/02/33	10/16/33	10/30/33	11/13/33	11/27/33	12/11/33	12/25/33	01/08/34	01/22/34	02/05/34	02/19/34	03/05/34	03/19/34	04/02/34	04/16/34	05/01/34	05/15/34	05/29/34	06/12/34	06/26/34	07/10/34	07/24/34	08/07/34	08/21/34	09/04/34	09/18/34	
-----------------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	--

- MODIFICATIONS TO THE FENESTRATION & GATE ON THE STREET FACADE OF THE BUILDING
- ELIMINATION OF THE SITE WALL ON THE EAST, SOUTH, AND A PORTION OF THE WEST SIDE OF THE PROPERTY
- ADDITION OF WALL & GATE ON THE WEST SIDE OF THE 2-STORY COTTAGE
- MODIFICATION TO THE SHAPE OF THE POOL.
- DRIVEWAY MATERIAL CHANGE FROM CORAL TO TABBY

THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE  
2020 FLORIDA BUILDING CODE.

LOT 73, ADAMS ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 7, PAGE 68, IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MUNICIPALITY: PALM BEACH  
LOCATION ADDRESS: 120 DUNBAR ROAD  
PARCEL CONTROL NUMBER: 50-43-43-14-07-000-0730

CIVIL ENGINEER  
GRUBER CONSULTING ENGINEERS, INC.  
2475 MERCER AVENUE, SUITE 305  
WEST PALM BEACH, FL 33401  
561-312-2041

ARCHITECT  
**FAIRFAX & SAMMONS ARCHITECTS**  
214 BRAZILIAN AVENUE, SUITE 100  
PALM BEACH, FL 33480  
561-805-8591

LANDSCAPE ARCHITECT  
NIEVERA WILLIAMS DESIGN  
625 N. FLAGLER DRIVE, STE 502  
WEST PALM BEACH, FL 33401  
561-659-2820

GENERAL CONTRACTOR  
**SCIAME HOMES**  
PLAZA CENTER, 251A ROYAL PALM WAY,  
PALM BEACH, FL 33480  
561-318-5048

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

**SHEET TITLE**

COVER SHEET

DATE	AUGUST 28, 2023
------	-----------------

SCALE N.T.S.	A-000
-----------------	-------

BY  
KC, CG



**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH

**FAIRFAX, SAMMONS & PARTNERS, L.L.C.**  
214 BRAZILIAN AVENUE, PALM BEACH 33460  
TELEPHONE (561) 808-8801  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA2600846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2022 FAIRFAX & GAMMONS ARCHITECTS, PC



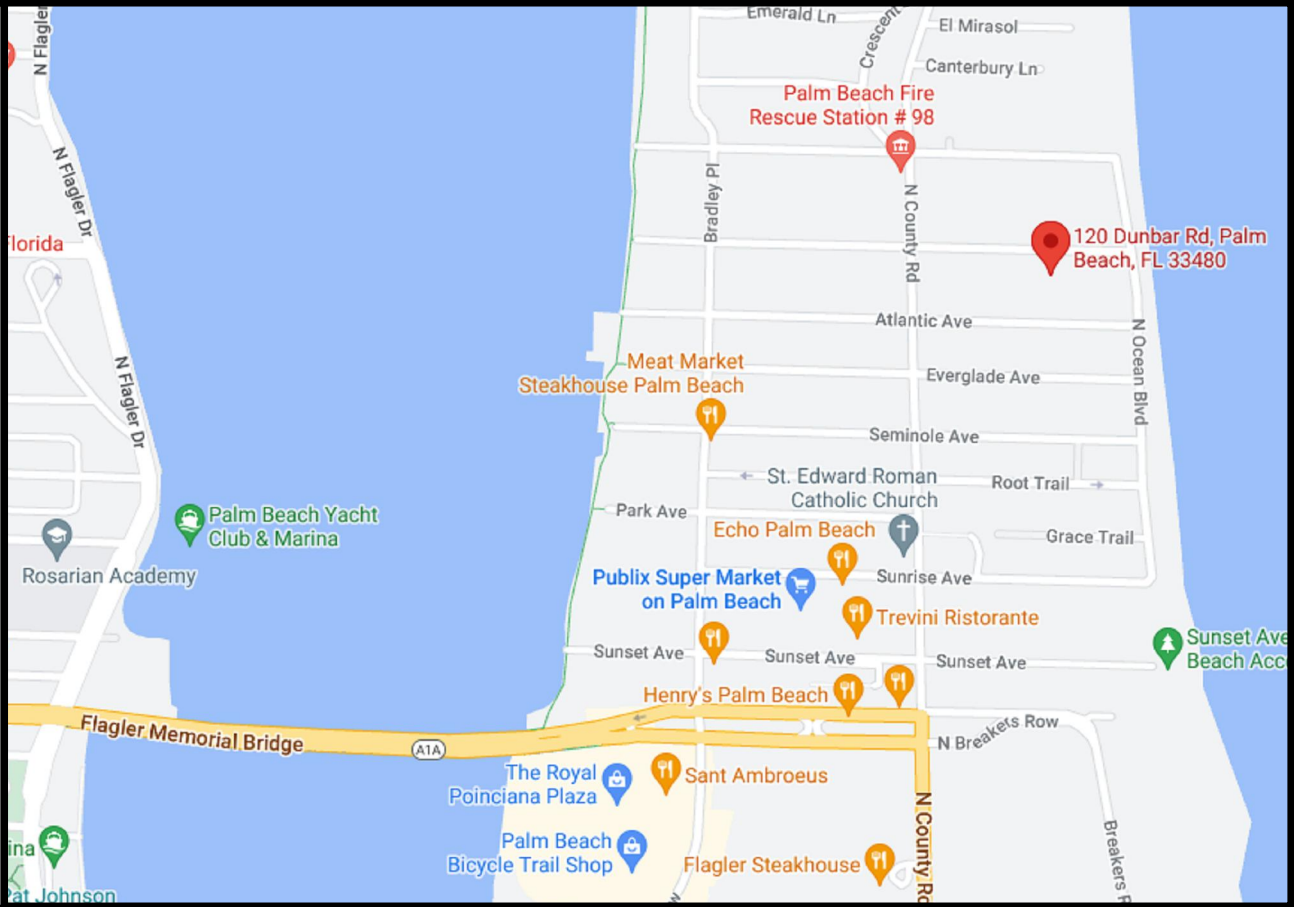
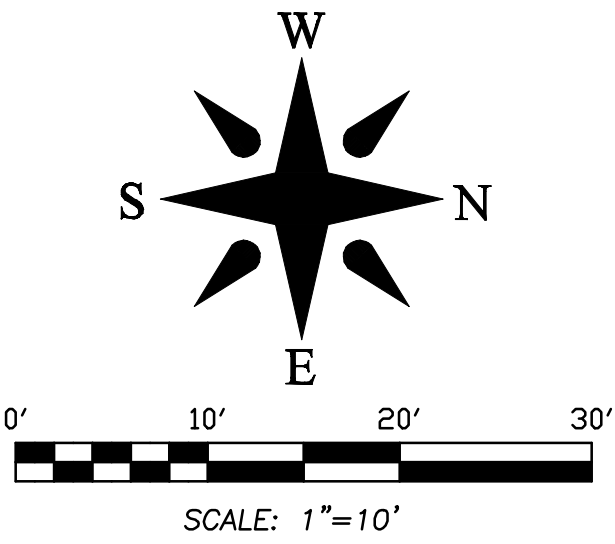
TITLE COMMITMENT REVIEW						
CLIENT: Walter Rodman Ryan and Dianne Ryan		COMMITMENT NO. : 10427424	DATE: 04/12/22			
REVIEWED BY: Craig Wallace		JOB NO. : 22-1152.1				
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-5	N/A	Standard Exceptions.				•
6	PB 7, PG 68	Restrictions, covenants, conditions, easements and other matter as contained on the Plat of Adams Addition to Palm Beach.	•			

# BOUNDARY SURVEY FOR: 120 DUNBAR ROAD TRUST

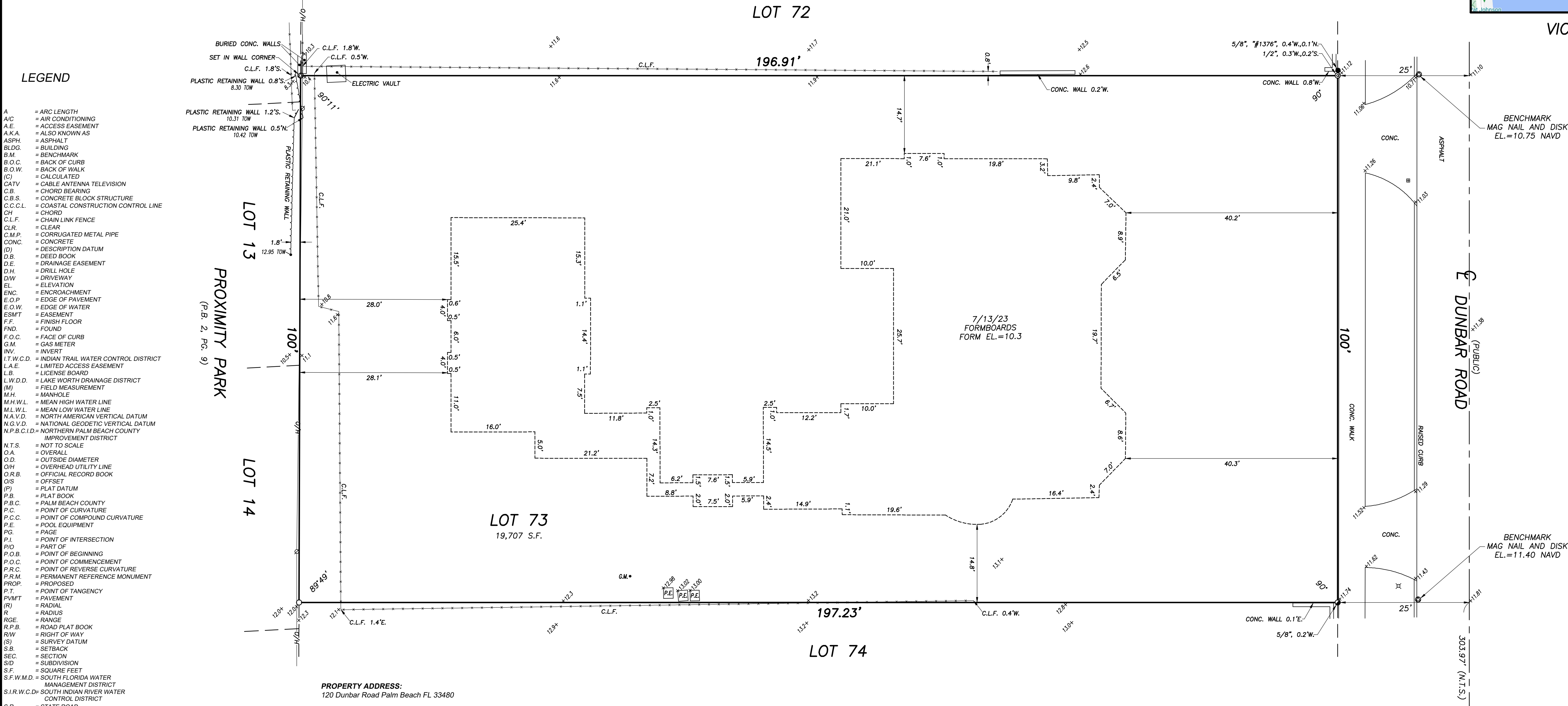
This survey is made specifically and only for the following parties for the purpose of a permit on the surveyed property.

120 Dunbar Road Trust  
Chicago Title Insurance Company  
Robert Brody, P.A.  
Kochman & Ziska PLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.



VICINITY SKETCH N.T.S.



PROPERTY ADDRESS:  
120 Dunbar Road Palm Beach FL 33480

LEGAL DESCRIPTION:  
Lot 73, of ADAMS ADDITION TO PALM BEACH, according to the map or plat thereof, as recorded in Plat Book 7, Page 68, of the Public Records of Palm Beach County, Florida.

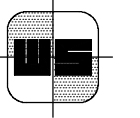
FLOOD ZONE:  
This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0581F, dated 10/5/2017.

- NOTES:
- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 10427424, issued by Chicago Title Insurance Company, dated 04/12/22. This office has made no search of the Public Records.
  - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
  - Description furnished by client or client's agent.
  - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
  - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
  - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
  - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
  - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
  - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
  - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
  - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
  - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
  - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
  - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:  
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 4/25/2022

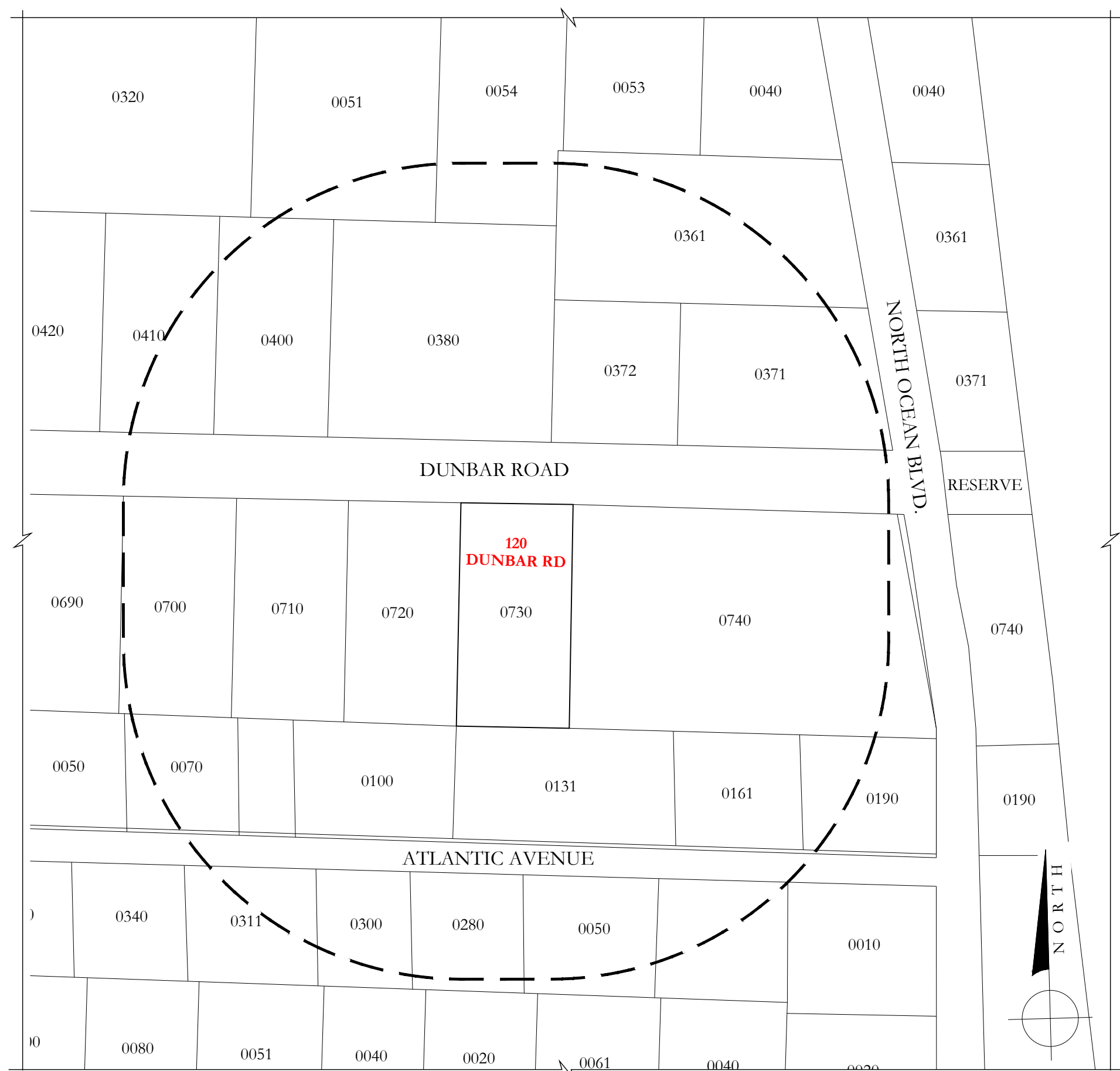
Craig L. Wallace  
Professional Surveyor and Mapper  
Florida Certificate No. 3357

REVISIONS			
07/13/23 FORMBOARD TIE-IN C.E./M.B. 22-1152.9 PB350/70 05/09/22 TITLE REVIEW M.B. 22-1152.1			
BOUNDARY SURVEY FOR:			
120 DUNBAR ROAD TRUST			
 <b>WALLACE SURVEYING</b> CORP., LICENSED BUSINESS # 4569 5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4051			
FIELD	B.M.	JOB NO: 22-1152	F.B. PB331 PG. 68
OFFICE	M.B.	DATE: 4/25/22	DWG. NO. 22-1152
C.K'D	C.W.	REF: 22-1152.DWG	SHEET 1 OF 1

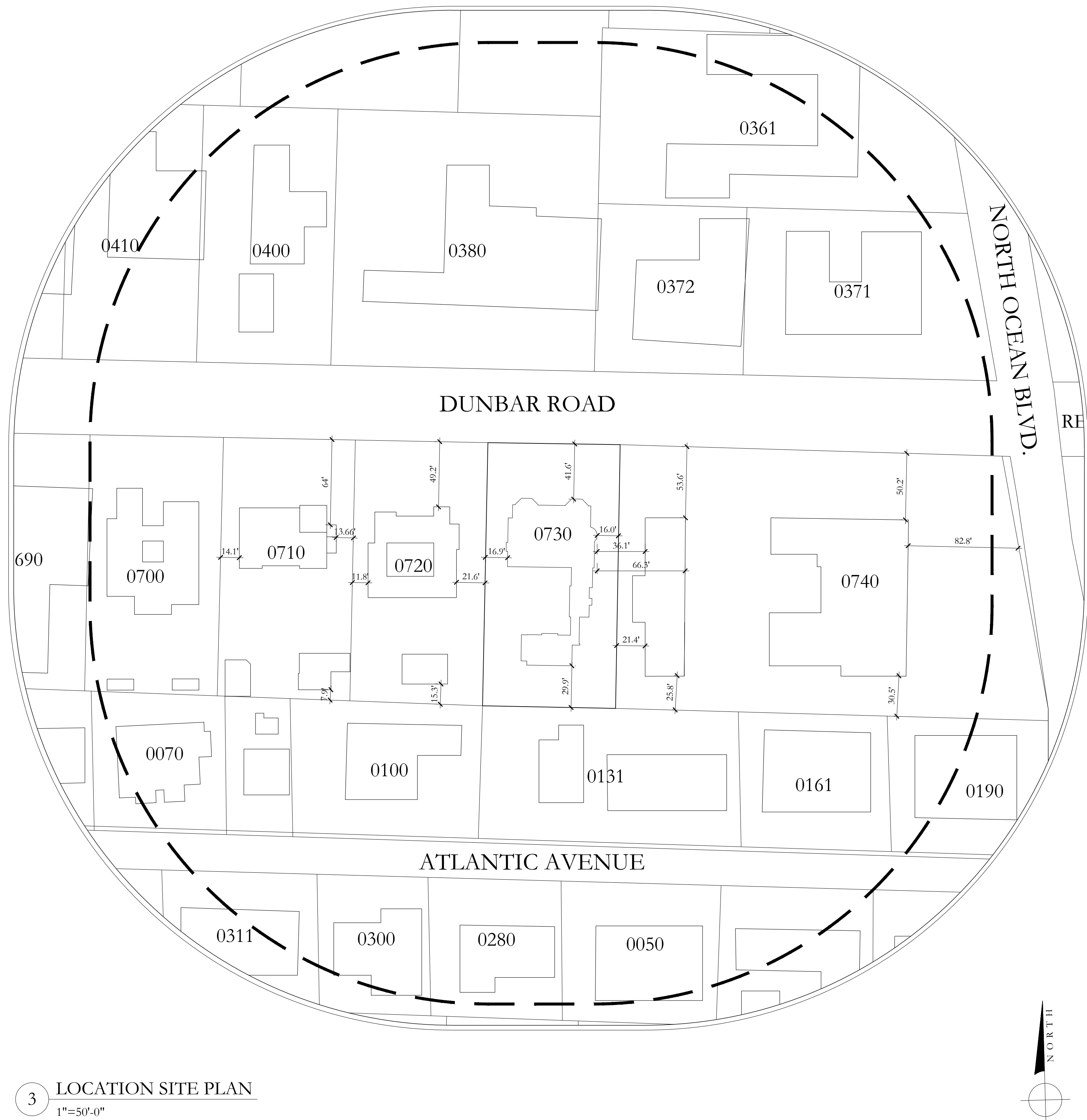




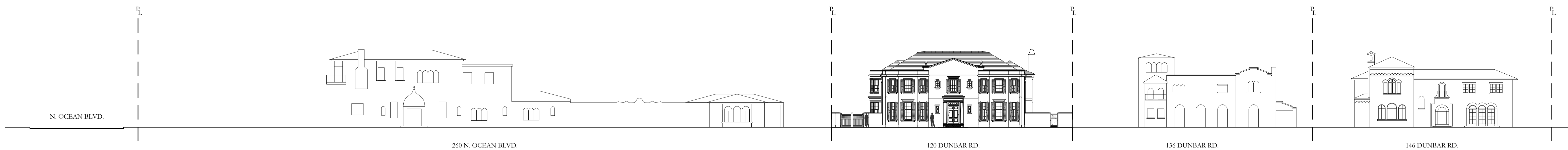
1 AERIAL MAP  
1"=300'-0"



2 LOCATION/VICINITY MAP  
1"=100'-0"



3 LOCATION SITE PLAN  
1"=50'-0"



4 PROPOSED DUNBAR RD. STREETSCAPE ELEVATION, FACING NORTH  
1"=20'-0"

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
VICINITY MAP, LOCATION PLAN  
& STREETSCAPE ELEVATION

DATE AUGUST 28, 2023	SHEET NO G-001
SCALE AS NOTED	
BY MC	

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (888) 666-8881  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AAB80000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE PREPARED IS COMPLETED OR NOT, THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC

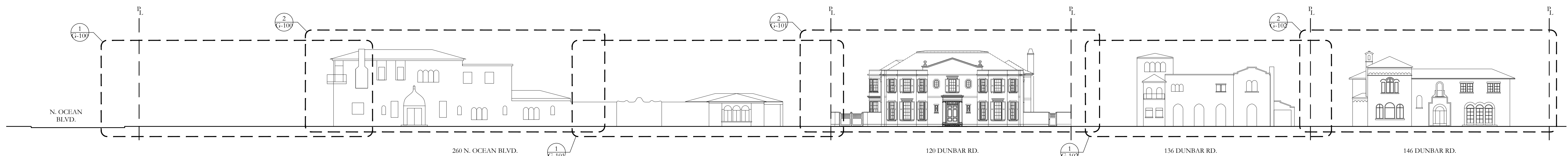




1 260 N. OCEAN BLVD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



2 260 N. OCEAN BLVD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



3 KEY ELEVATION: PROPOSED DUNBAR RD. STREETSCAPE, FACING NORTH

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
EXISTING CONDITIONS  
STREETSCAPE PHOTOGRAPHS

DATE AUGUST 28, 2023	SHEET NO G-100
SCALE N.T.S.	
BY CG	

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, LLC  
314 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 806-8881  
FAIRFAX@SAMMONS.COM  
LICENSE NO. A28900648

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTRODUCED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC

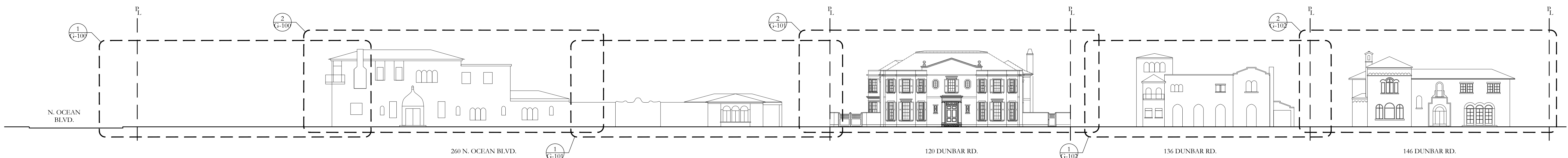




2 260 N. OCEAN BLVD. & 120 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



2 120 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



3 KEY ELEVATION: PROPOSED DUNBAR RD. STREETSCAPE, FACING NORTH

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE EXISTING CONDITIONS STREETSCAPE PHOTOGRAPHS	
DATE AUGUST 28, 2023	SHEET NO G-101
SCALE N.T.S.	
BY CG	

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 886-8888  
FAIRFAX@SAMMONS.COM  
LICENSE NO. A288000648

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTRODUCED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC

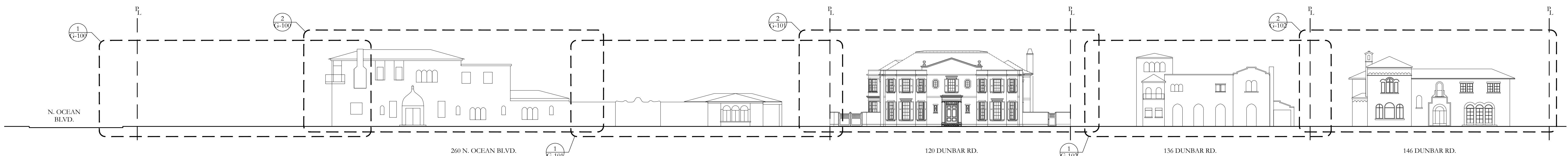




2 136 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



2 146 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



3 KEY ELEVATION: PROPOSED DUNBAR RD. STREETSCAPE, FACING NORTH

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
EXISTING CONDITIONS  
STREETSCAPE PHOTOGRAPHS

DATE AUGUST 28, 2023	SHEET NO G-102
SCALE N.T.S.	
BY CG	

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
314 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 806-8888  
FAIRFAX@SAMMONS.COM  
LICENSE NO. A28000648

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTRODUCED IS COMPLETED OR NOT, THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC





A



B



C

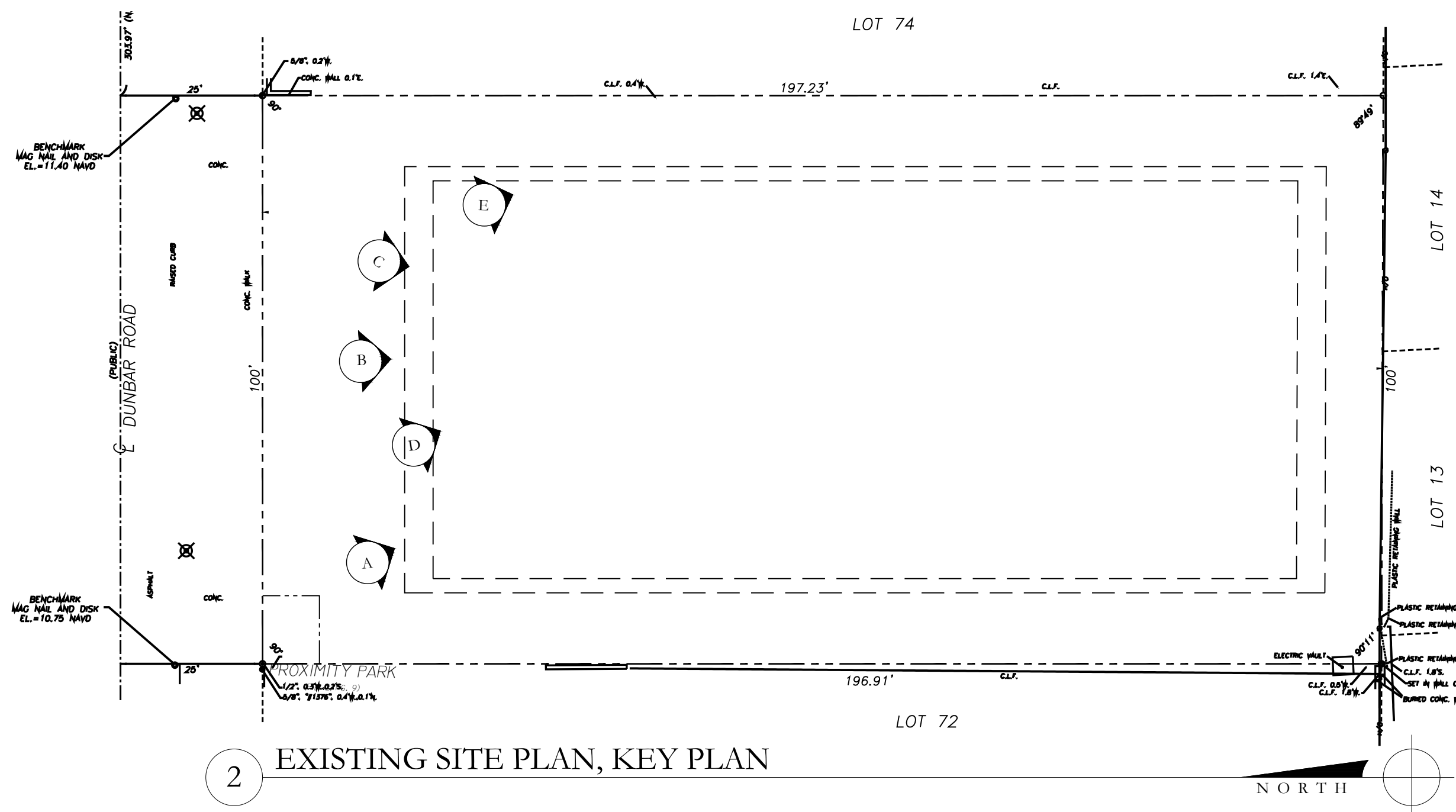


D



E

1 SITE PHOTOS OF CURRENT CONDITIONS



2 EXISTING SITE PLAN, KEY PLAN

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
CURRENT CONDITIONS  
SITE PHOTOGRAPHS

DATE AUGUST 28, 2023	SHEET NO G-103
SCALE N.T.S.	
BY CG	

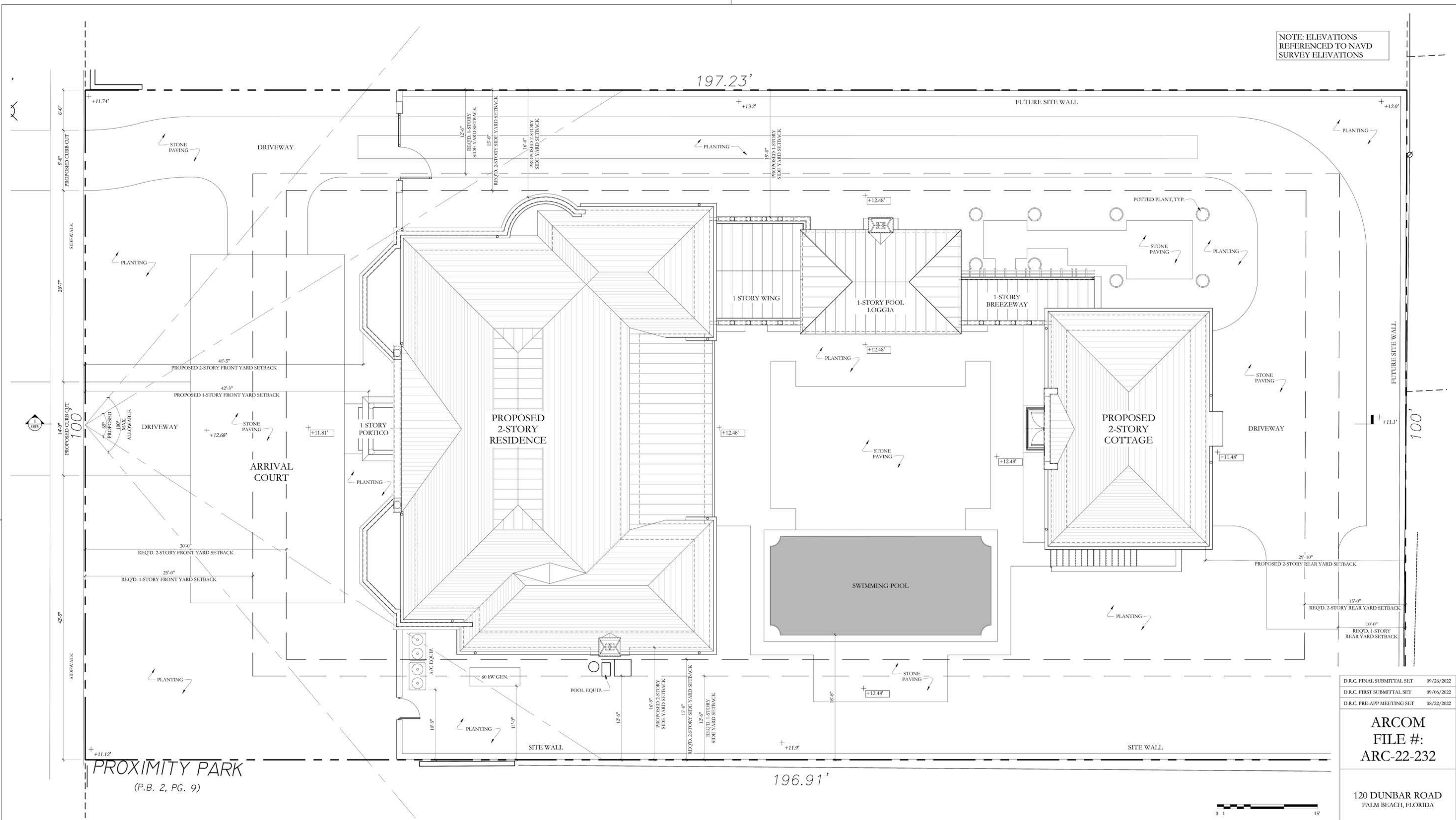
**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (888) 888-8881  
FAIRFAX@FAIRFAXSAMMONS.COM  
LICENSE NO. AA28000648

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTRODUCED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



NOTE: ELEVATIONS  
REFERENCED TO NAVD  
SURVEY ELEVATIONS



PROXIMITY PARK  
(P.B. 2, PG. 9)

1 APPROVED SITE PLAN WITH ROOF PLAN  
3/16" = 1'-0"

D.R.C. FINAL SUBMITTAL SET 09/26/2022  
D.R.C. FIRST SUBMITTAL SET 09/06/2022  
D.R.C. PRE-APP MEETING SET 08/22/2022

ARCOM  
FILE #:  
ARC-22-232

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
PROPOSED SITE PLAN  
ROOF PLAN

DATE  
JULY 24, 2023  
SCALE  
3/16" = 1'-0"  
BY  
KC, CG

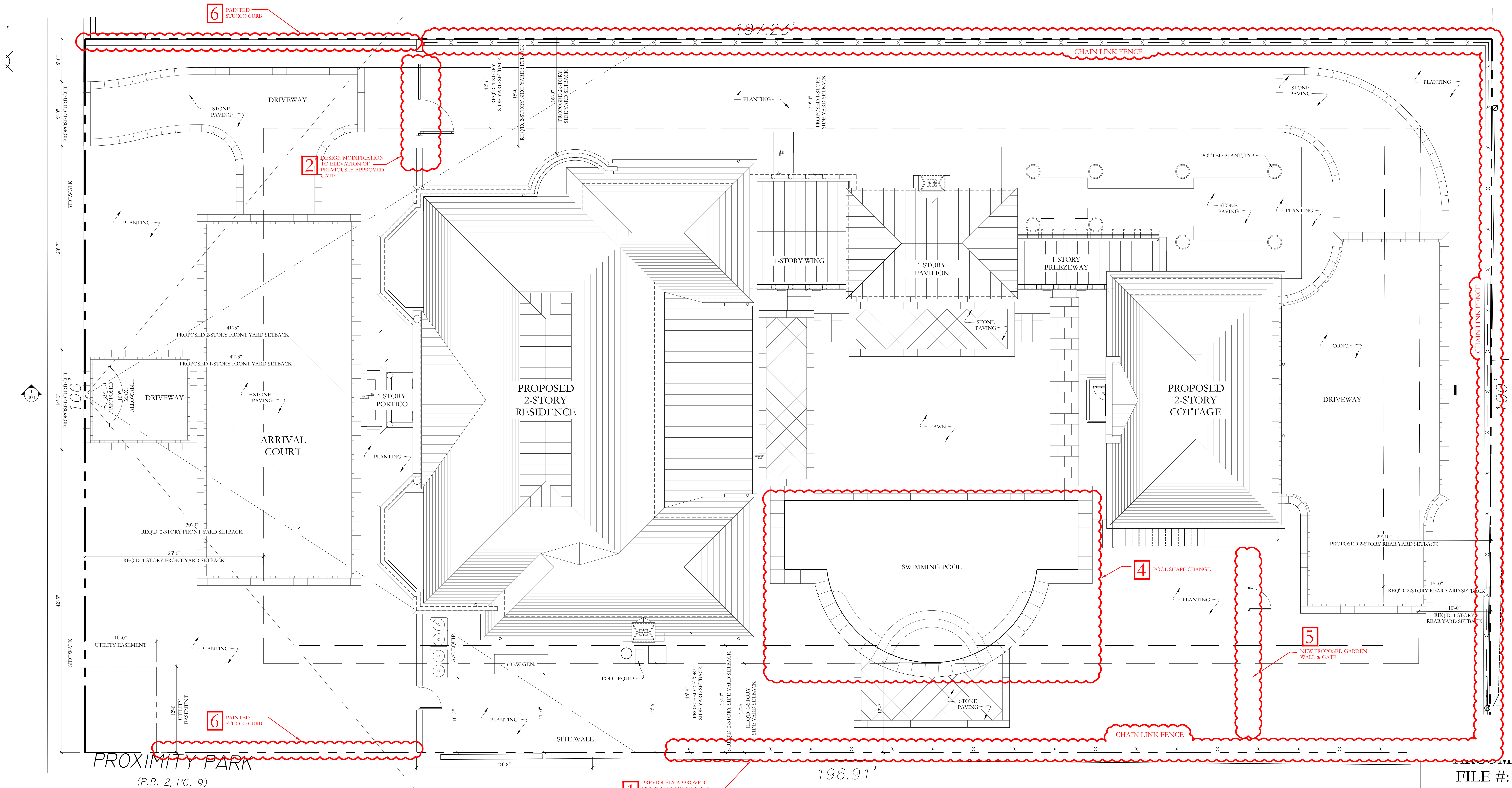
SHEET NO  
A-001

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE: (561) 805-8501  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA26000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT. WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE PREPARED IS COMPLETED OR NOT, THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE LOANED OR REPRODUCED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC

LEGEND:  
+5.30' EXISTING SPOT ELEVATION  
+13'-0" PROPOSED SPOT ELEVATION





1 PROPOSED SITE PLAN WITH ROOF PLAN  
3/16" = 1'-0"

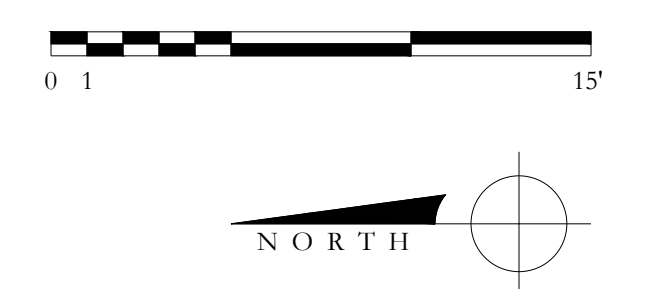
Town of Palm Beach  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Zoning Legend				
1	Property Address:	120 Dunbar Road, Palm Beach, FL 33480		
2	Zoning District:	R-B Low Density Residential		
3	Structure Type:	CBS		
4		Required/Allowed	Previously Approved	Proposed
5	Lot Size (sq ft)	10,000 s.f. min.	19,707 (N/C)	(N/C)
6	Lot Depth	100' min.	196.91' - 197.23' (N/C)	(N/C)
7	Lot Width	100' min.	100' (N/C)	(N/C)
8	Lot Coverage (Sq Ft and %)	5,921 s.f. (30%) max.	4,714 s.f. (23.92%)	(N/C)
9	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs., Structure, etc.)	N/A	7,496 s.f.	(N/C)
10	Cubic Content Ratio (CCR) (R-B ONLY)	3.90 (76,857 c.f.) max.	3.90 (76,776 c.f.)	(N/C)
11	*Front Yard (North) Setback (1st Story) (Ft.)	25.0' min.	42'-3"	(N/C)
12	*Front Yard (North) Setback (2nd Story) (Ft.)	30.0' min.	41'-5"	(N/C)
13	*Side Yard (East) Setback (1st Story) (Ft.)	12.5' min.	19'-0"	(N/C)
14	*Side Yard (East) Setback (2nd Story) (Ft.)	15.0' min.	16'-0"	(N/C)
15	*Side Yard (West) Setback (2nd Story) (Ft.)	15.0' min.	16'-9"	(N/C)
16	*Rear Yard (South) Setback (2nd Story) (Ft.)	15.0' min.	29'-10"	(N/C)
17	Angle of Vision (Deg.)	100 deg. max.	65 deg.	(N/C)
18	Building Height (1-story) (Ft.)	14' max.	10'-0"	(N/C)
19	Building Height (2-story) (Ft.)	22' max.	19'-8"	(N/C)

Town of Palm Beach  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Zoning Legend				
1	Property Address:	120 Dunbar Road, Palm Beach, FL 33480		
2	Zoning District:	R-B Low Density Residential		
3	Structure Type:	CBS		
4		Required/Allowed	Previously Approved	Proposed
20	Overall Building Height (1-story) (Ft.)	22' max. (pitched roof)	16'-8" (pitched roof)	(N/C)
21	Overall Building Height (2-story) (Ft.)	30' max. (pitched roof)	30'-0"	(N/C)
22	Highest Crown of Road (COR) (NAVD)	N/A	+11.81' NAVD	(N/C)
23	Max. Amount of Fill Added to Site (Ft.)	0.75	0.75	(N/C)
24	Finished Floor Elev. (FFE) (NAVD)	N/A	+13.31' NAVD	(N/C)
25	Zero Datum for point of meas. (NAVD)	N/A	+13.31' NAVD	(N/C)
26	FEMA Flood Zone Designation	N/A	Flood Zone X	(N/C)
27	Base Flood Elevation (BFE) (NAVD)	N/A	N/A	(N/C)
28	Landscape Open Space (LOS) (Sq Ft and %)	8,868 s.f. (45%) min.	9,084 s.f. (46%)	8,957 s.f. (45%)
29	Perimeter LOS (Sq Ft and %)	4,433.5 s.f. (50%) min.	4,447 s.f. (50%)	4,439 s.f. (50%)
30	Front Yard LOS (Sq Ft and %)	1,000 s.f. (40%) min.	1,100 s.f. (44%)	(N/C)
31	**Native Plant Species %	Please refer to separate landscape legend.		

\* Indicate each yard area with cardinal direction (N,S,E,W)  
\*\* Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table



FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
PROPOSED SITE PLAN WITH  
ROOF PLAN

DATE  
AUGUST 28, 2023  
SCALE  
3/16" = 1'-0"  
BY  
KC, CG  
SHEET NO  
A-001

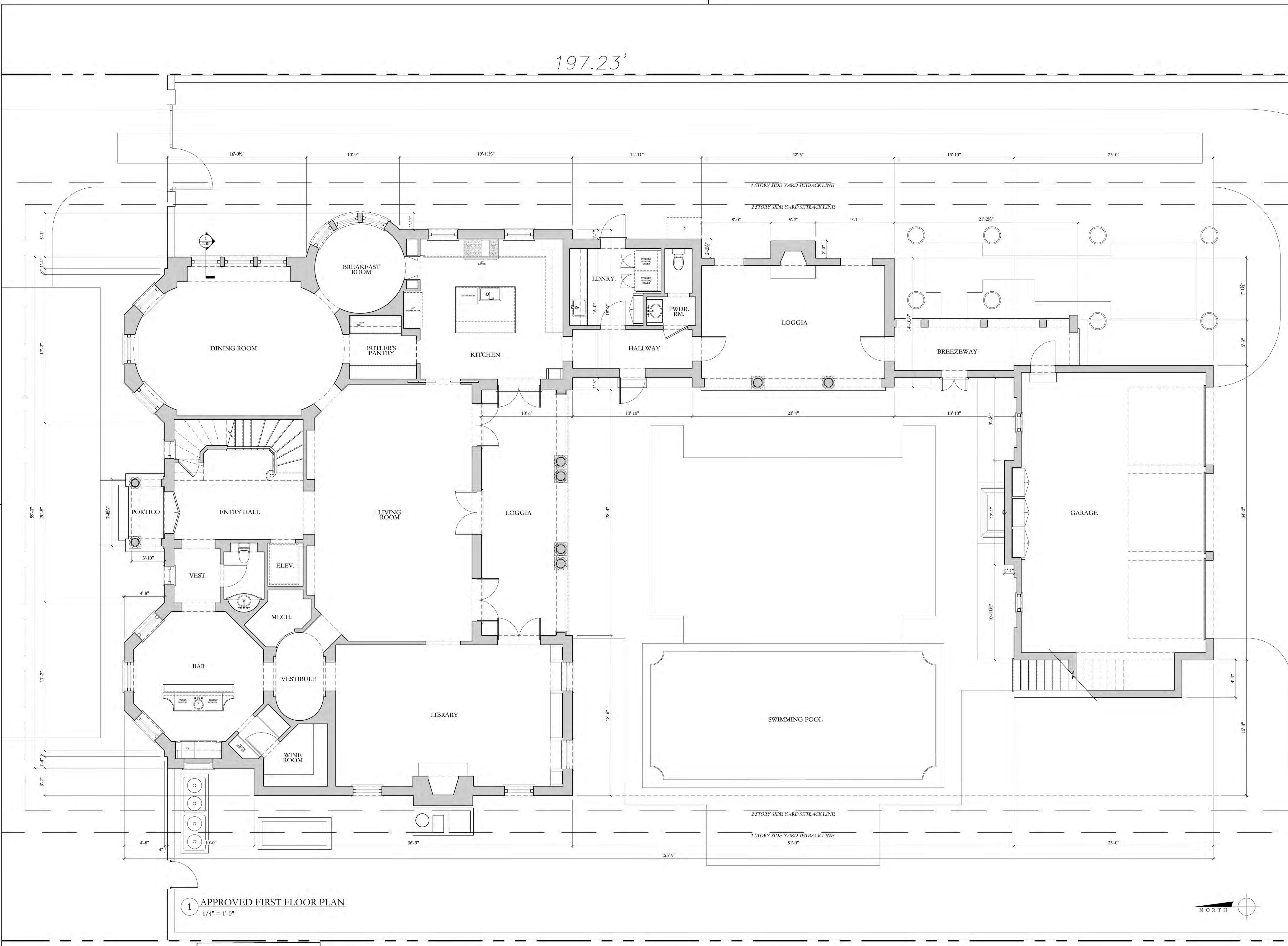
FAIRFAX & SAMMONS  
NEW YORK, PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
314 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 855-8581  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA28000846

LEGEND:  
EXISTING SPOT  
ELEVATION  
PROPOSED SPOT  
ELEVATION

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE PREPARED IS COMPLETED OR NOT, THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, WITHOUT THE ARCHITECT'S WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



NOTE: ELEVATIONS  
REFERENCED TO NAVD  
SURVEY ELEVATIONS



1 APPROVED FIRST FLOOR PLAN  
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-22-232

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE

PROPOSED  
FIRST FLOOR PLAN

DATE: \_\_\_\_\_

SCALE  
1/4"=1'-0"

KC

SHEET NO.

A-100

KC



**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.  
214 BRAZILIAN AVENUE, PALM BEACH 33460  
TELEPHONE (561) 805-8591  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AA26000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2022 FAIRFAX & GAMMONS ARCHITECTS PC



197.23'

3 DESIGN MODIFICATION TO ELEVATIONS OF PREVIOUSLY APPROVED WINDOWS

DINING ROOM

BREAKFAST ROOM

BUTLER'S PANTRY

KITCHEN

LDNRY.

HALLWAY

LOGGIA

BREEZEWAY

PORTICO

ENTRY HALL

LIVING ROOM

LOGGIA

GARAGE

VEST.

ELEV.

MECH.

BAR

VESTIBULE

LIBRARY

WINE ROOM

SWIMMING POOL

1 PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"



D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
PROPOSED  
FIRST FLOOR PLAN

DATE  
AUGUST 28, 2023

SCALE  
1/4" = 1'-0"

BY  
KC

SHEET NO  
A-100



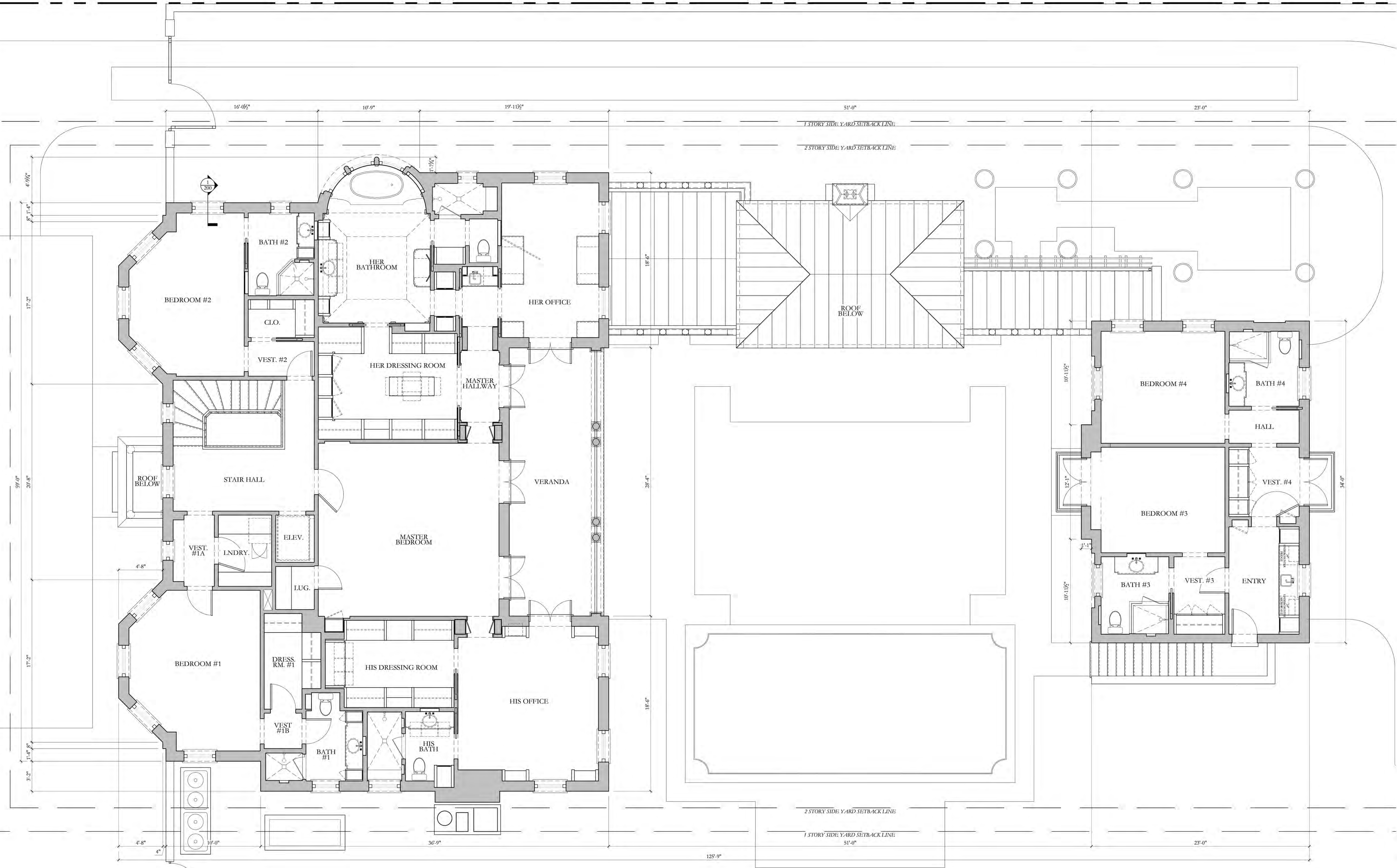
**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (888) 806-8881  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. A238000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE PREPARED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



NOTE: ELEVATIONS  
REFERENCED TO NAVD  
SURVEY ELEVATIONS

197.23'



1 APPROVED SECOND FLOOR PLAN  
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET 09/26/2022  
D.R.C. FIRST SUBMITTAL SET 09/06/2022  
D.R.C. PRE-APP MEETING SET 08/22/2022

ARCOM  
FILE #:  
ARC-22-232

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

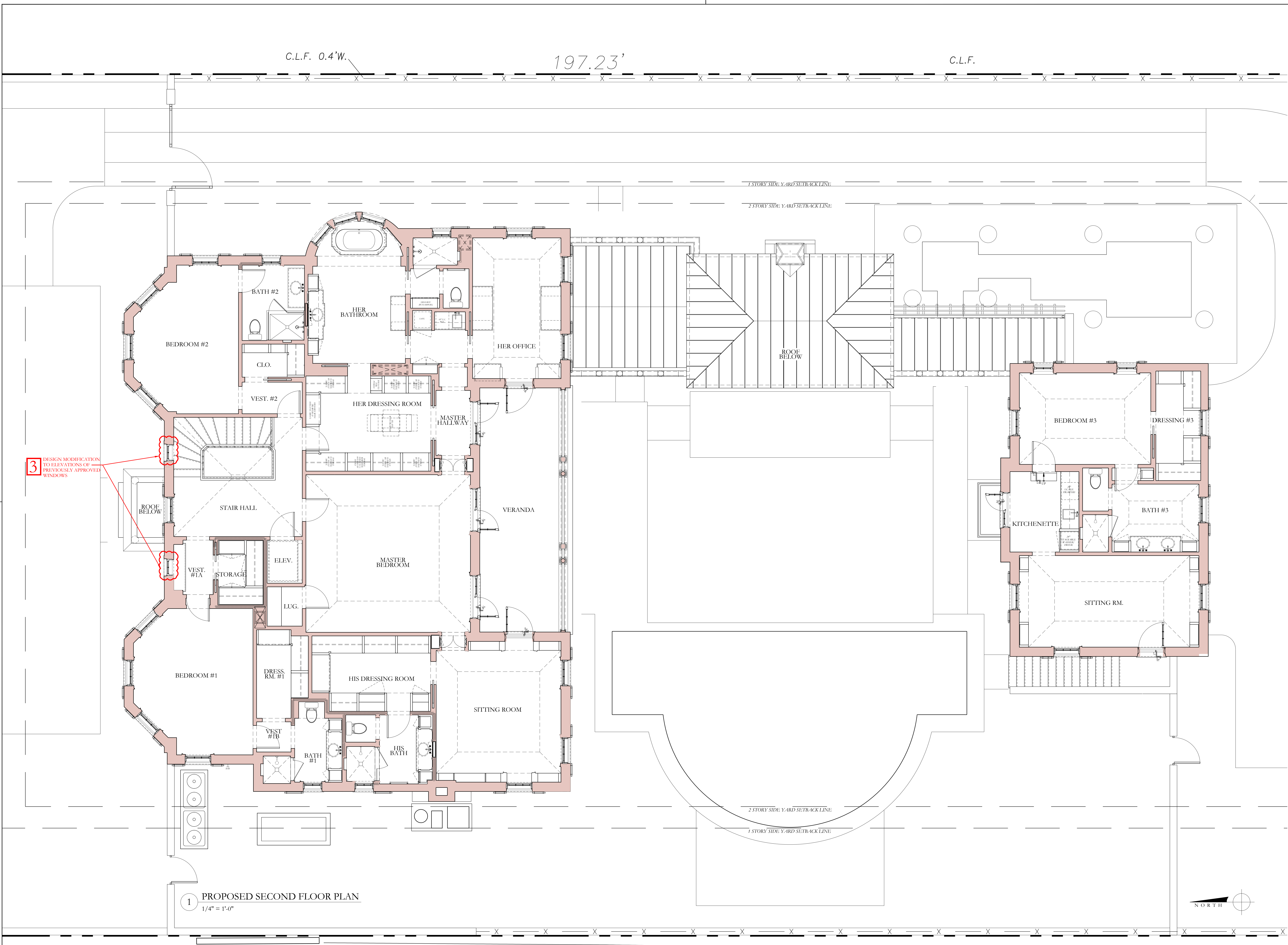
SHEET TITLE  
PROPOSED  
SECOND FLOOR PLAN

DATE  
JULY 24, 2023  
SHEET NO  
A-101  
SCALE  
1/4" = 1'-0"  
BY  
KC

FAIRFAX & SAMMONS  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, LLC  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 808-6581  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. A28600846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT'S FIRM AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE PREPARED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC





3 DESIGN MODIFICATION  
TO ELEVATIONS OF  
PREVIOUSLY APPROVED  
WINDOWS

1 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
PROPOSED  
SECOND FLOOR PLAN

DATE  
AUGUST 28, 2023

SCALE  
1/4" = 1'-0"

BY  
KC

SHEET NO  
A-101



**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
314 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 805-8881  
FAIRFAX@SAMMONS.COM  
LICENSE NO. AAS8000648

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTRODUCED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



[illegible]

2 NORTH ELEVATION: CURRENTLY PROPOSED  
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

**SHEET TITLE**

PREVIOUSLY APPROVED &  
PROPOSED NORTH ELEVATIONS

<b>DATE</b> AUGUST 28, 2023	<b>SHEET NO</b>  A-110
<b>SCALE</b> 1/4"=1'-0"	

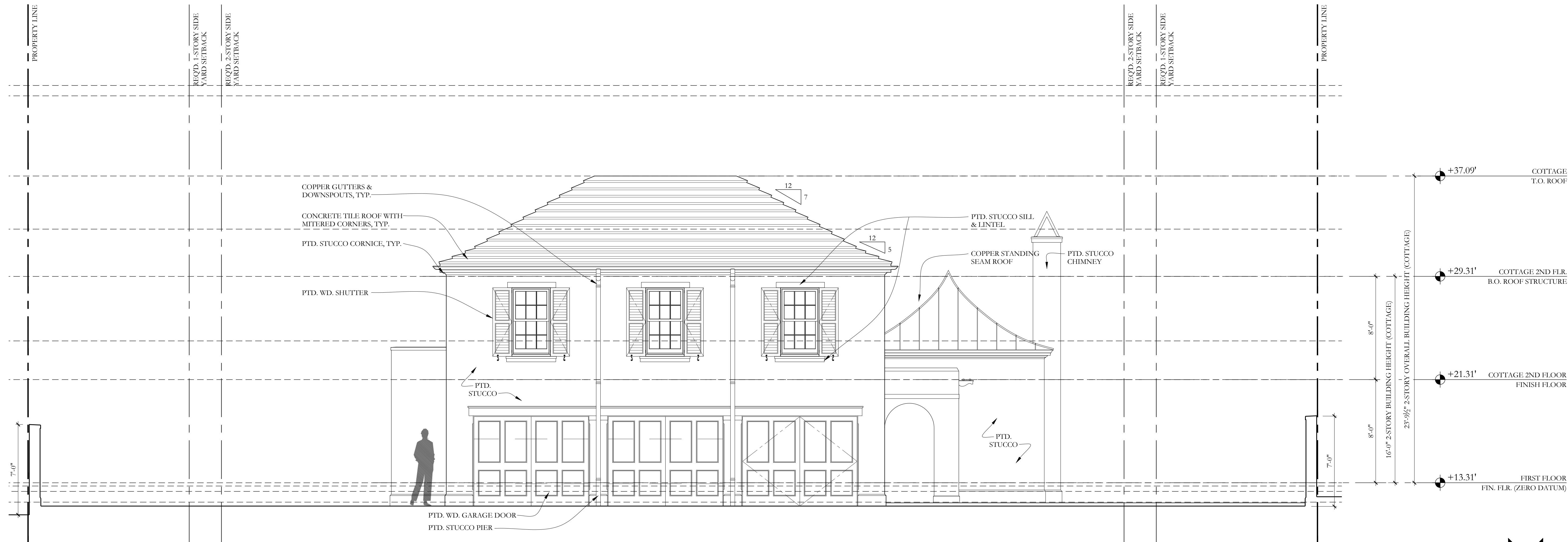
BY KC	
 <p><b>FAIRFAX &amp; SAMMONS</b> NEW YORK - PALM BEACH</p> <p><b>FAIRFAX, SAMMONS &amp; PARTNERS, L.L.C.</b> 214 BRAZILIAN AVENUE, PALM BEACH 33480</p> <p><b>TELEPHONE (561) 908-0891</b> <b>FAIRFAXANDSAMMONS.COM</b> <b>LICENSE NO. AA28000648</b></p>	

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

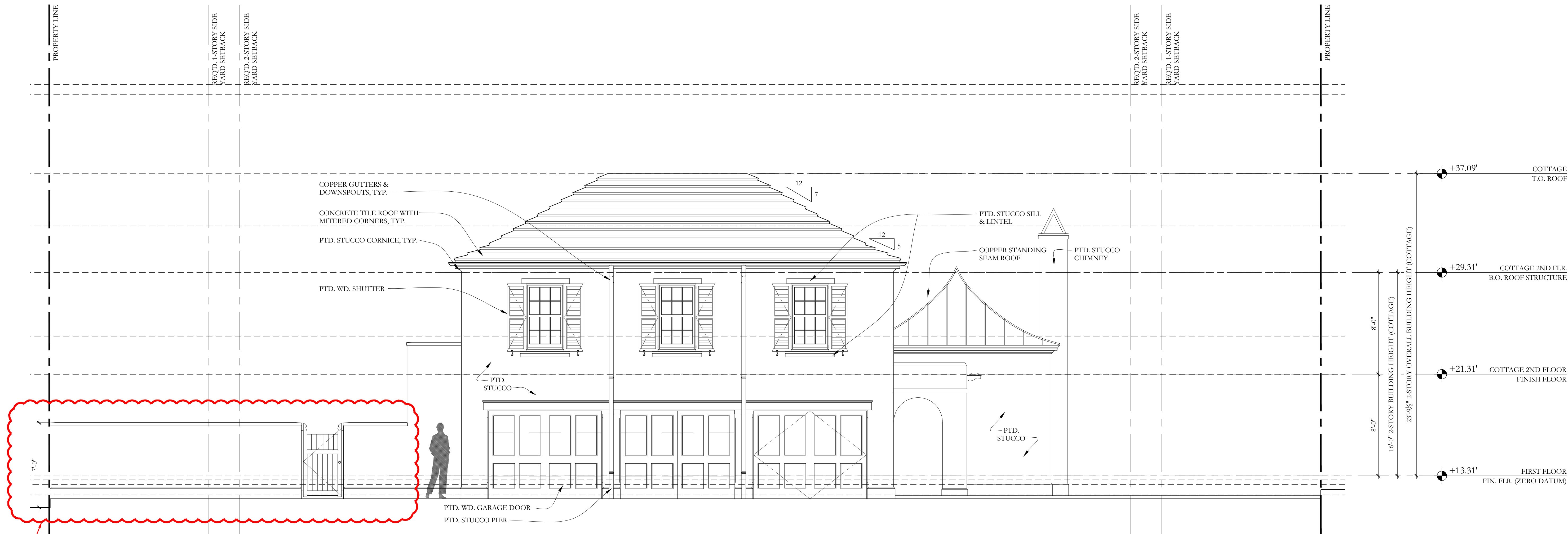
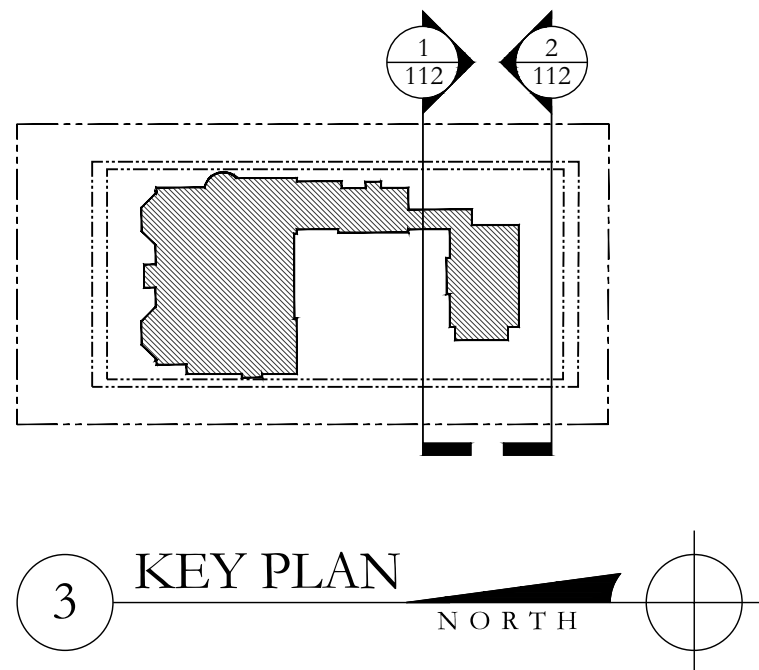
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC



NOTE: ELEVATIONS  
REFERENCED TO NAVD  
SURVEY ELEVATIONS



1 COTTAGE SOUTH ELEVATION : PREVIOUSLY APPROVED  
1/4" = 1'-0"



2 COTTAGE SOUTH ELEVATION : CURRENTLY PROPOSED  
1/4" = 1'-0"

5 NEW PROPOSED GARDEN  
WALL & GATE

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE  
PREVIOUSLY APPROVED  
PROP. COTTAGE SOUTH ELEV.

DATE AUGUST 28, 2023	SHEET NO A-111
SCALE 1/4"=1'-0"	
BY KC	

**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (888) 806-8881  
FAIRFAX@SAMMONS.COM  
LICENSE NO. A228000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE PREPARED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.  
© 2022 FAIRFAX & SAMMONS ARCHITECTS PC





1 PREVIOUSLY APPROVED VIEW FROM STREET TOWARDS HOUSE



2 CURRENTLY PROPOSED VIEW FROM STREET TOWARDS HOUSE

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM  
FILE #:  
ARC-23-133

120 DUNBAR ROAD  
PALM BEACH, FLORIDA

SHEET TITLE VIEW FROM STREET TOWARD HOUSE	
DATE AUGUST 28, 2023	SHEET NO V-002
SCALE N/A	
BY SB	

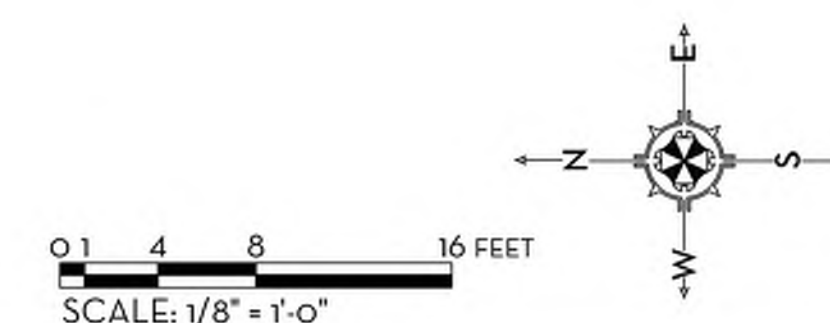
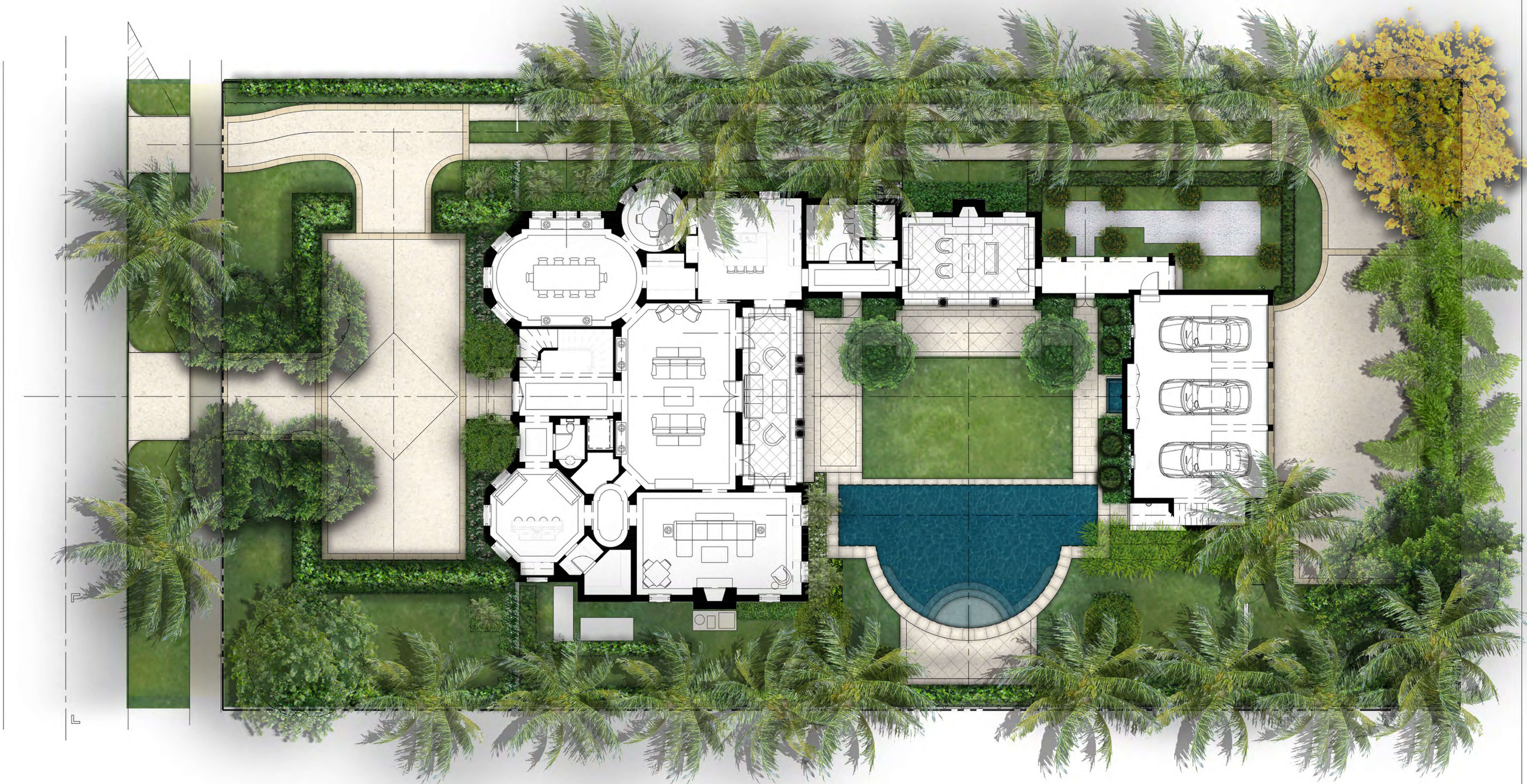


**FAIRFAX & SAMMONS**  
NEW YORK - PALM BEACH  
FAIRFAX, SAMMONS & PARTNERS, L.L.C.  
214 BRAZILIAN AVENUE, PALM BEACH 33480  
TELEPHONE (561) 855-8551  
FAIRFAXANDSAMMONS.COM  
LICENSE NO. AAB8000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE EXTENDED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2022 FAIRFAX & SAMMONS ARCHITECTS PC





MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

OVERALL SITE PLAN  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

SCALE: 1/8" = 1'-0"



NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

Lo





0 1 2 4 8 12 FEET  
SCALE: 3/16" = 1'-0"

MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

SCALE: 3/16" = 1'-0"

NORTH ELEVATION  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**EL1**





0 1 4 8 16 FEET  
SCALE: 1/8" = 1'-0"

MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

SCALE: 1/8" = 1'-0"

EAST ELEVATION  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**EL2**





0 1 2 4 8 12 FEET  
SCALE: 3/16" = 1'-0"

MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

SCALE: 3/16" = 1'-0"

SOUTH ELEVATION  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**EL3**





0 1 4 8 16 FEET  
SCALE: 1/8" = 1'-0"

MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

SCALE: 1/8" = 1'-0"

WEST ELEVATION  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



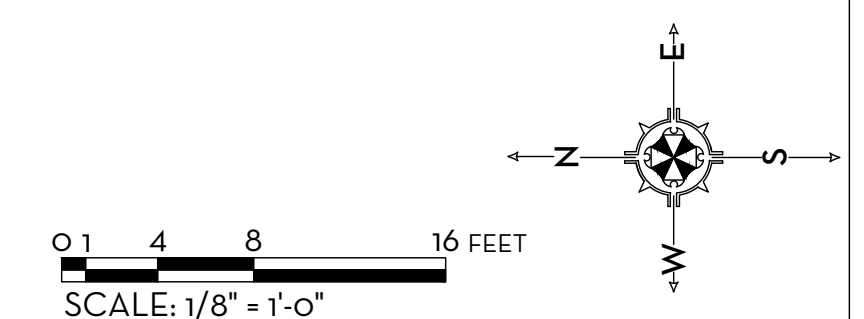
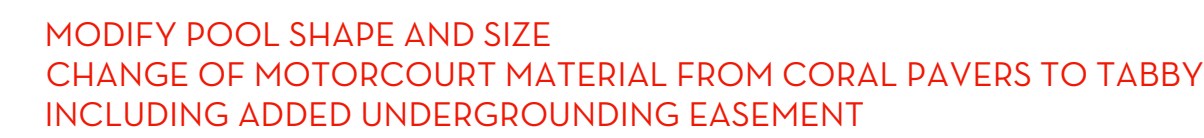
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**EL4**





L1

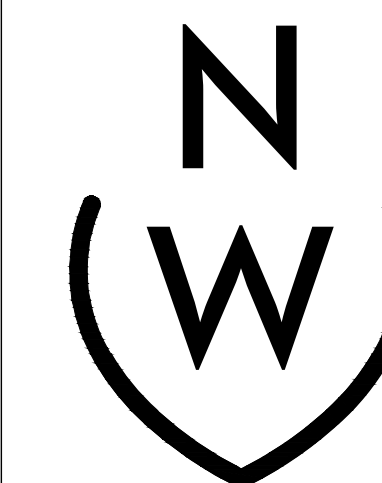


State of Florida  
Landscape Architect  
Registration No.  
6666856

DAI M BEACH EL OPIDA

26 SEPTEMBER 2022 - FINAL SUBMITTAL

SCALE: 1/8" = 1'-0"

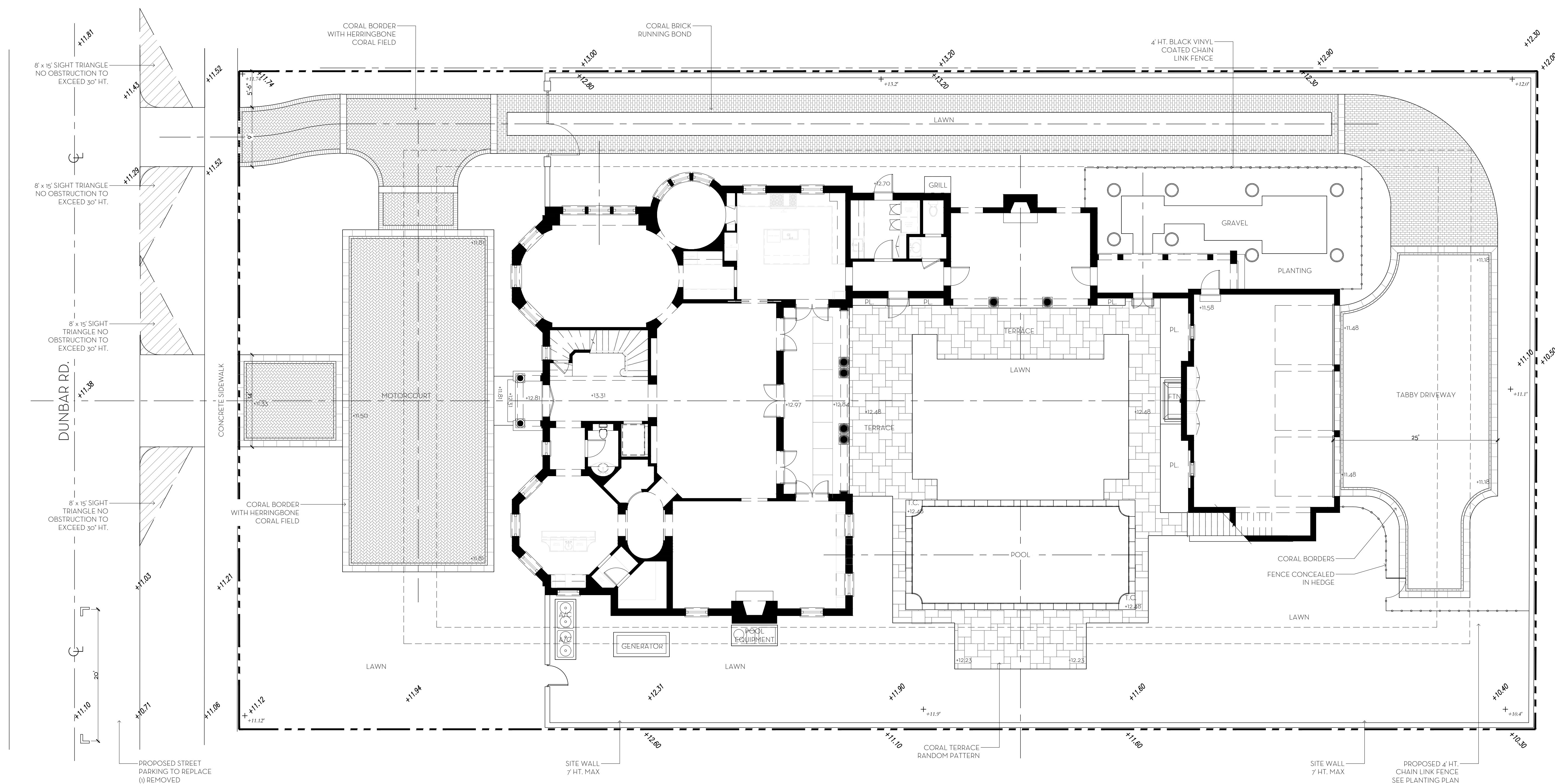


NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

Li



SITE AREA =	19,706	SQ FT	100%
<b>MINIMUM LANDSCAPE:</b>			
REQUIRED =	8,867	SQ FT	45%
PROPOSED =	9,084	SQ FT	46%

25' SETBACK AREA =	2,500	SQ FT	100%
<b>MINIMUM LANDSCAPE:</b>			
REQUIRED =	1,000	SQ FT	40%
PROPOSED =	1,100	SQ FT	44%

PERIMETER AREA = 5,541 SQ FT

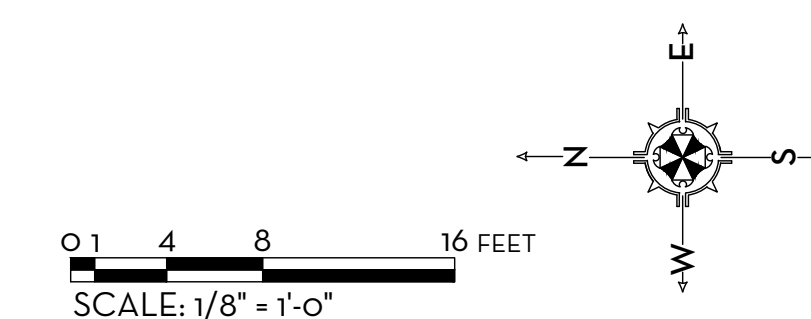
**MINIMUM LANDSCAPE:**  
(50% OF 8,867 SF) = 4,433.5 REQUIRED

PROPOSED = 4,447 SQ FT

+7.40	PROPOSED ELEVATION
+3.5	EXISTING ELEVATION

SITE AREA =

PREVIOUSLY ARCOM APPROVED







CORAL STONE  
(PREVIOUSLY APPROVED DRIVEWAY MATERIAL)

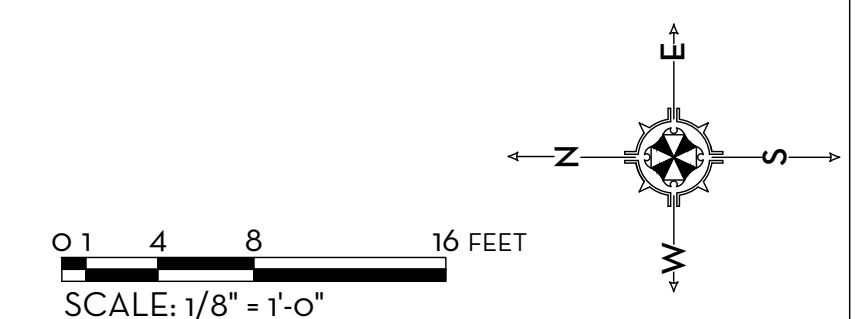


TABBY CONCRETE  
(PROPOSED DRIVEWAY MATERIAL)



BLACK VINYL COATED CHAIN LINK FENCE  
(TO BE CONCEALED IN PLANTING)





SITE AREA =	19,706	SQ FT	100%
<b>MINIMUM LANDSCAPE:</b>			
REQUIRED =	8,867	SQ FT	45%
PROPOSED =	8,957	SQ FT	45%

25' SETBACK AREA =	2,500	SQ FT	100%
<b>MINIMUM LANDSCAPE:</b>			
REQUIRED =	1,000	SQ FT	40%
PROPOSED =	1,100	SQ FT	44%

PERIMETER AREA = 5,541 SQ FT

**MINIMUM LANDSCAPE:**  
(50% OF 8,867 SF) = 4,433.5 REQUIRED

PROPOSED = 4,439 SQ FT

# LP1

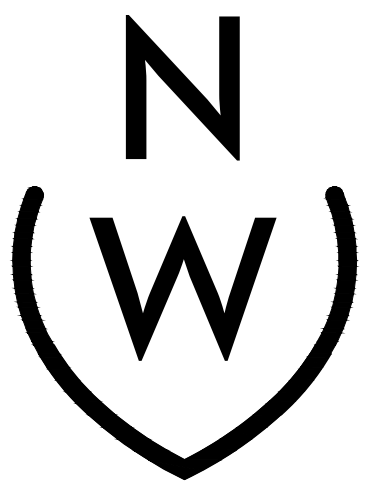


MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

LANDSCAPE PLAN  
120 DUNBAR  
PALM BEACH, FLORIDA

26 SEPTEMBER 2022 - FINAL SUBMITTAL  
02 SEPTEMBER 2022 - FIRST SUBMITTAL



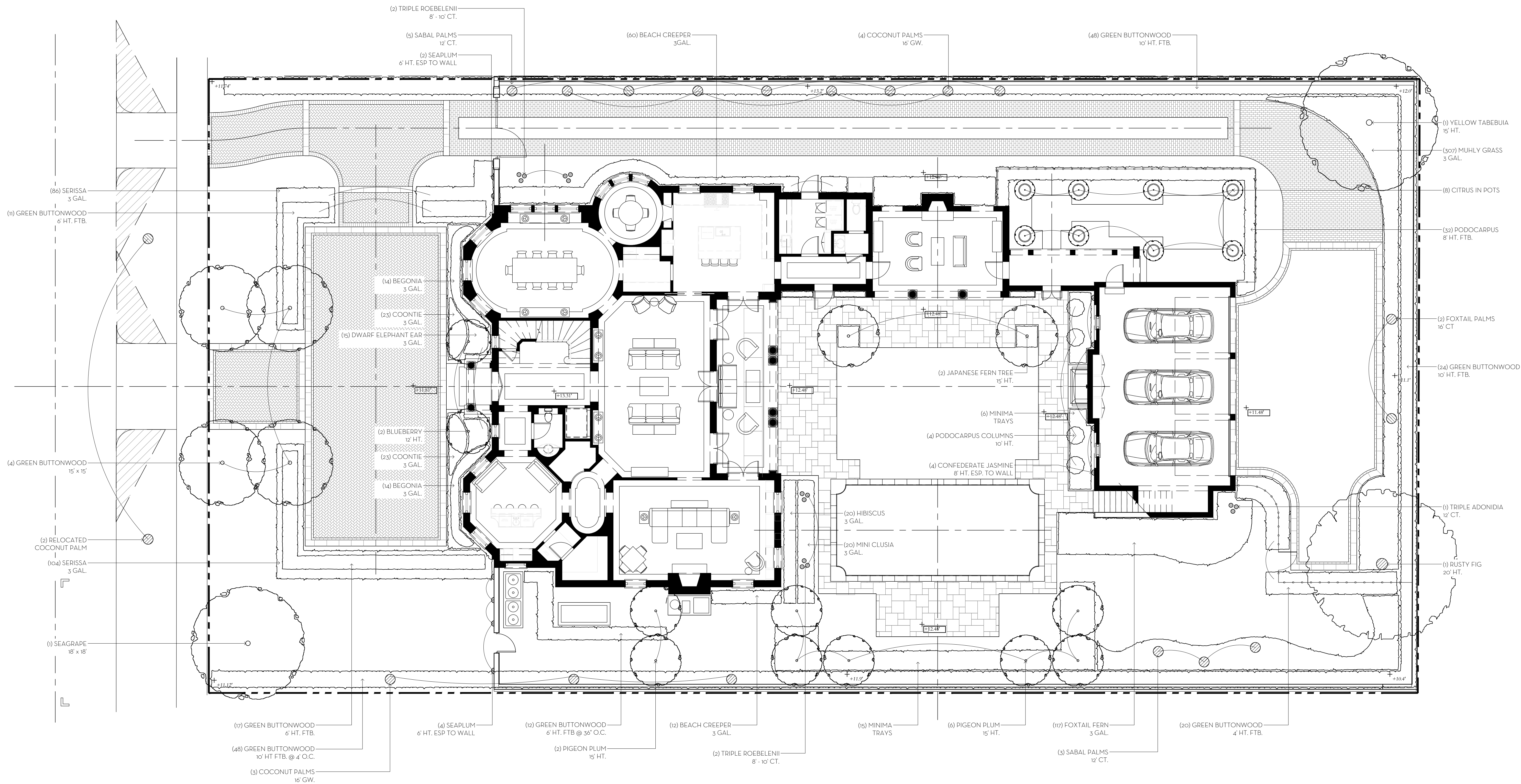
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

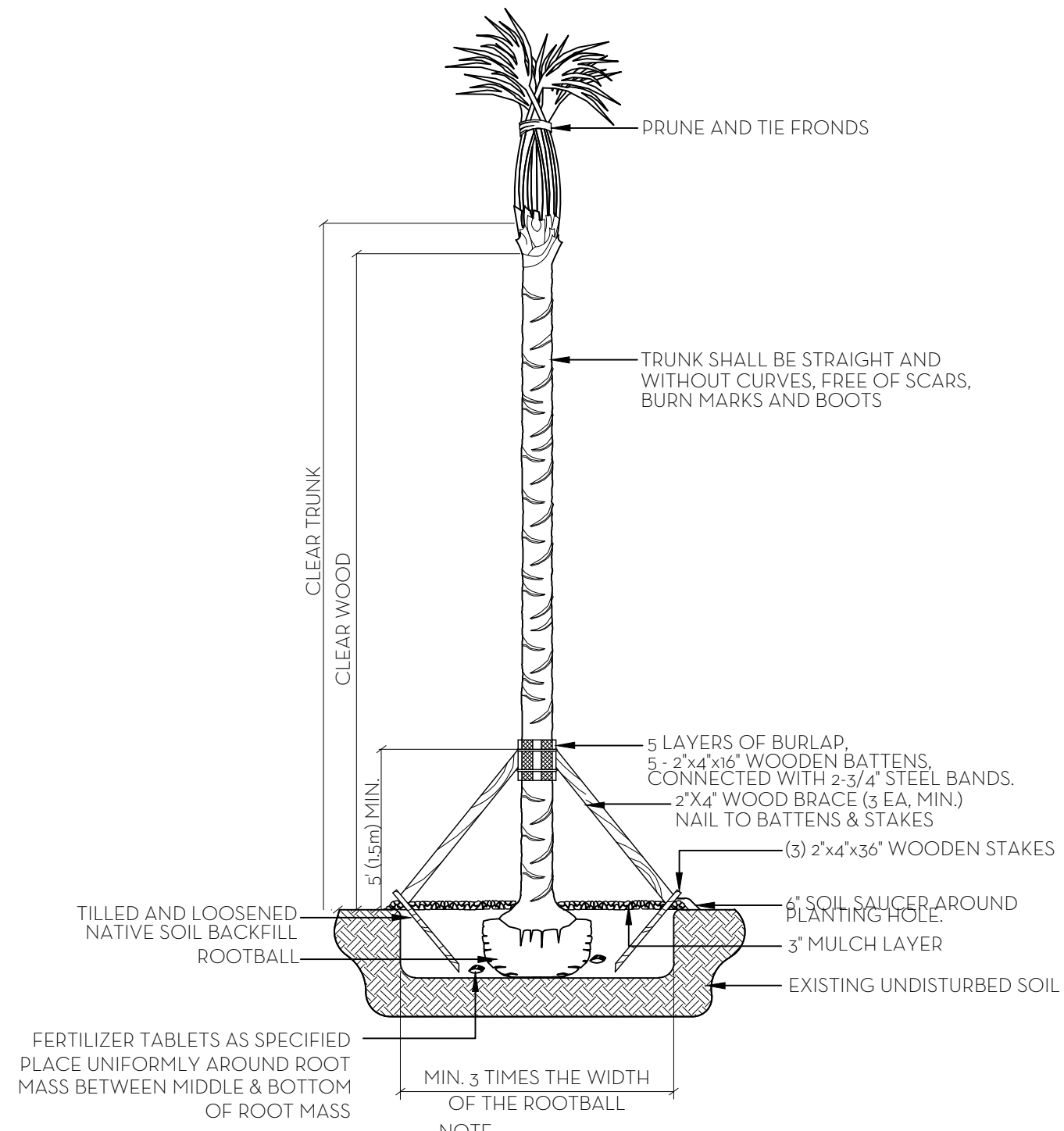
NIEVERAWILLIAMS.COM

LP1

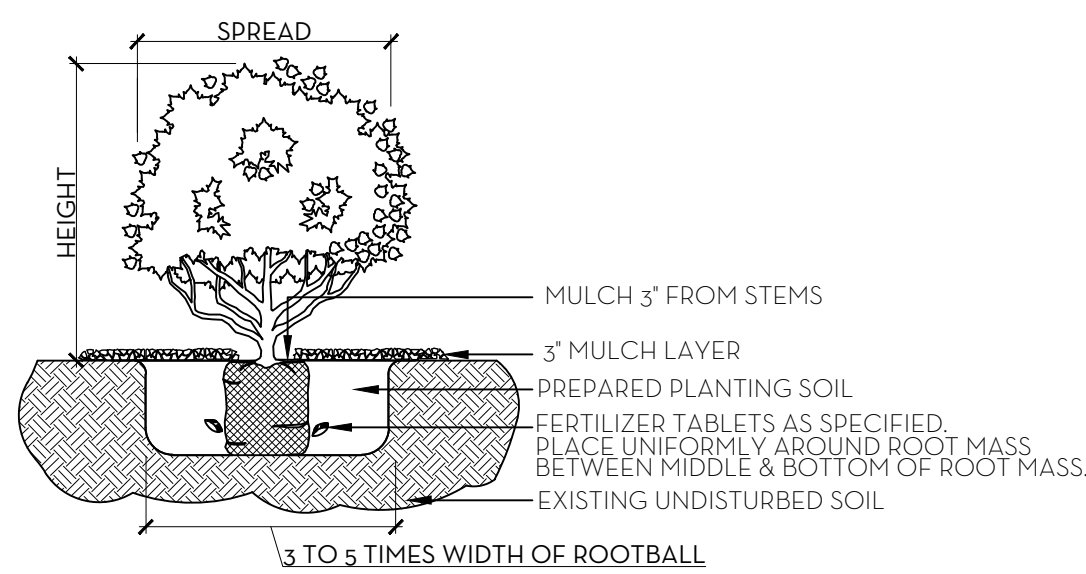
SCALE: 1/8" = 1'-0"





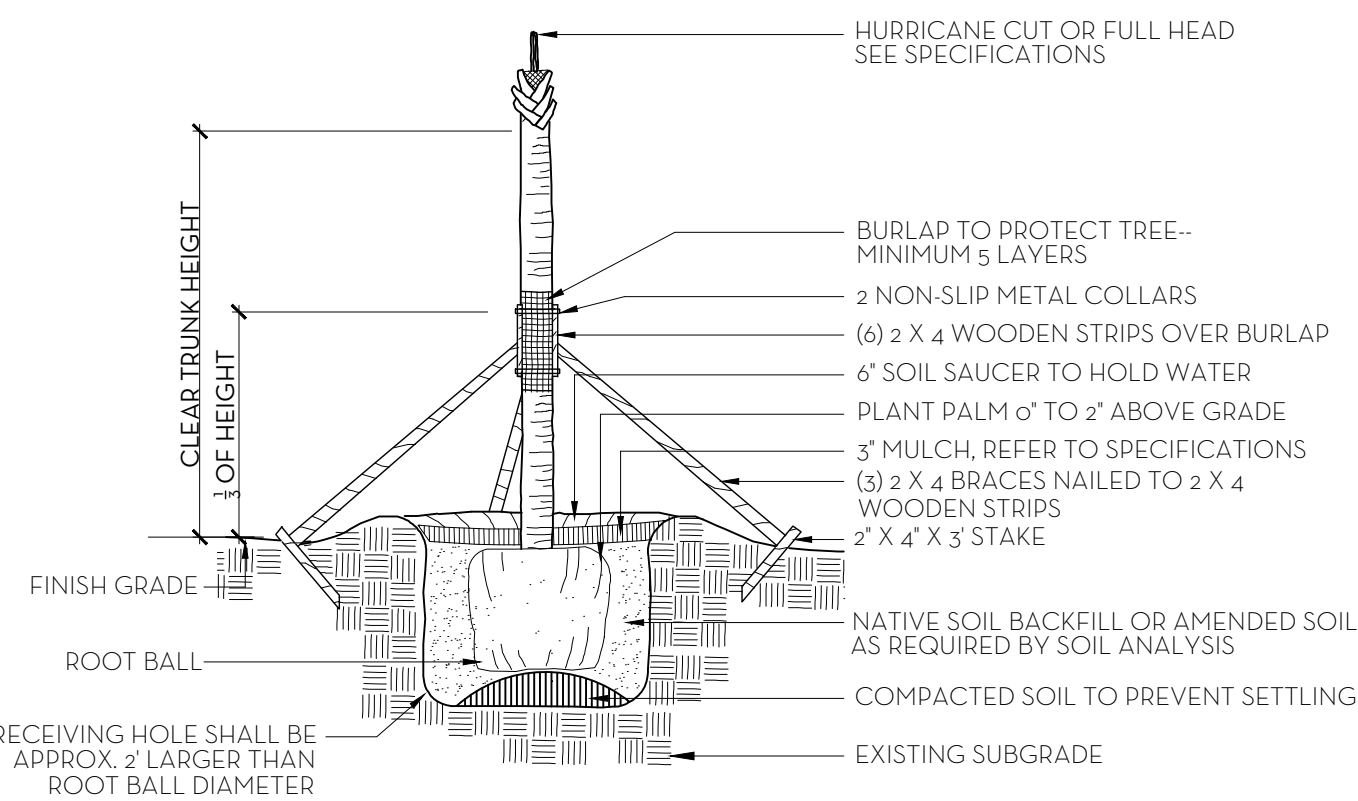


PALM PLANTING DETAIL  
N.T.S.



SHRUB & GROUNDCOVER PLANTING DETAIL  
N.T.S.

NOTE: BUD SHALL BE PERPENDICULAR TO GROUND PLANE. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES. NO SCARRED OR BLACKENED TRUNKS.



PALM TREE PLANTING AND STAKING DETAIL  
N.T.S.

**FERTILIZATION**

SHRUBS AND TREES

ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

1 GALLON CAN: 1 - 21 GRAM TABLET

3 GALLON CAN: 2 - 21 GRAM TABLETS

5 GALLON CAN: 3 - 21 GRAM TABLETS

7 GALLON CAN: 4 - 21 GRAM TABLETS

TREES: 3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER

PALMS: 7 - 21 GRAM TABLETS

GROUND COVER AREAS

ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURER'S SPECIFICATIONS.

**NOTES:**

1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.

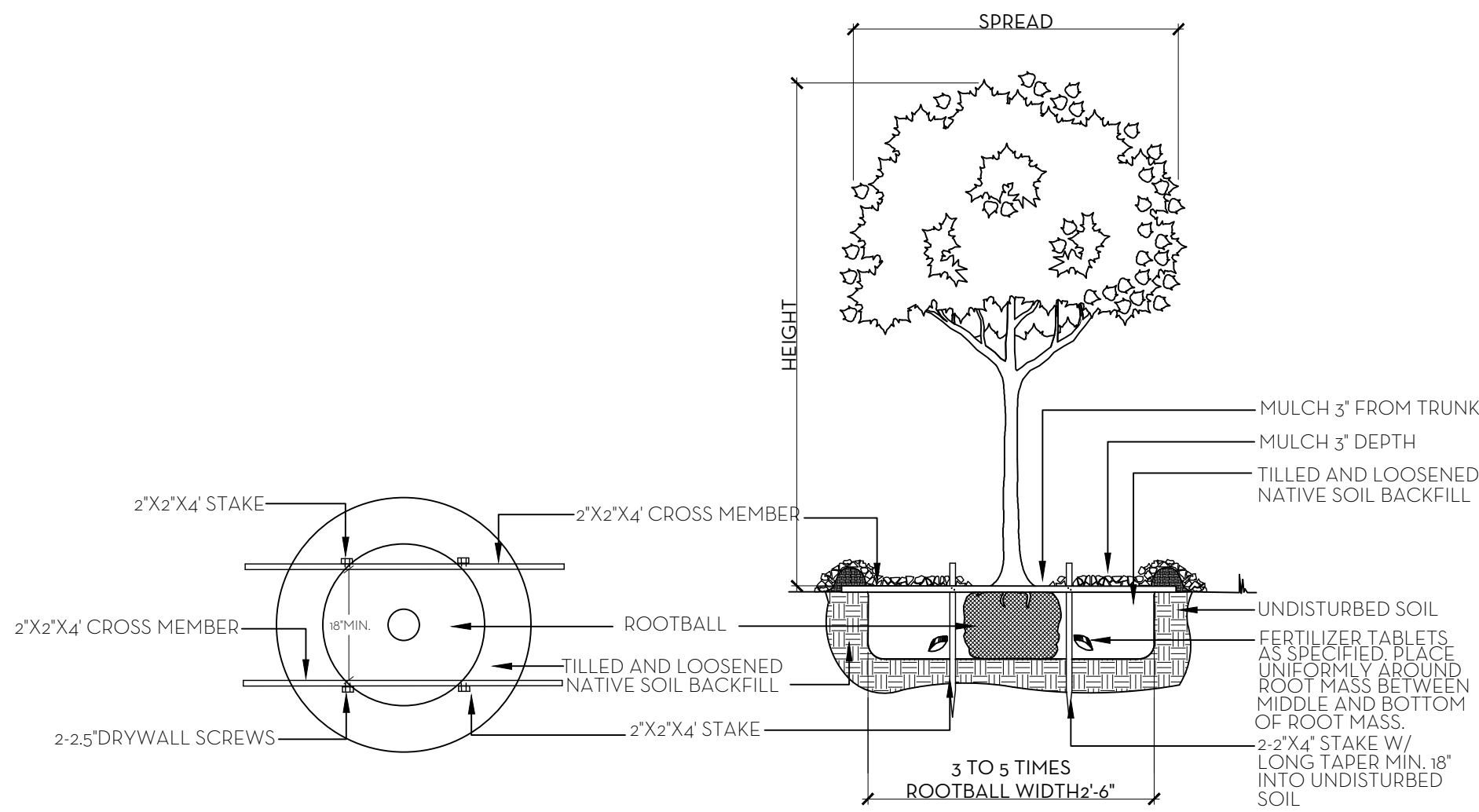
2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.

3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.

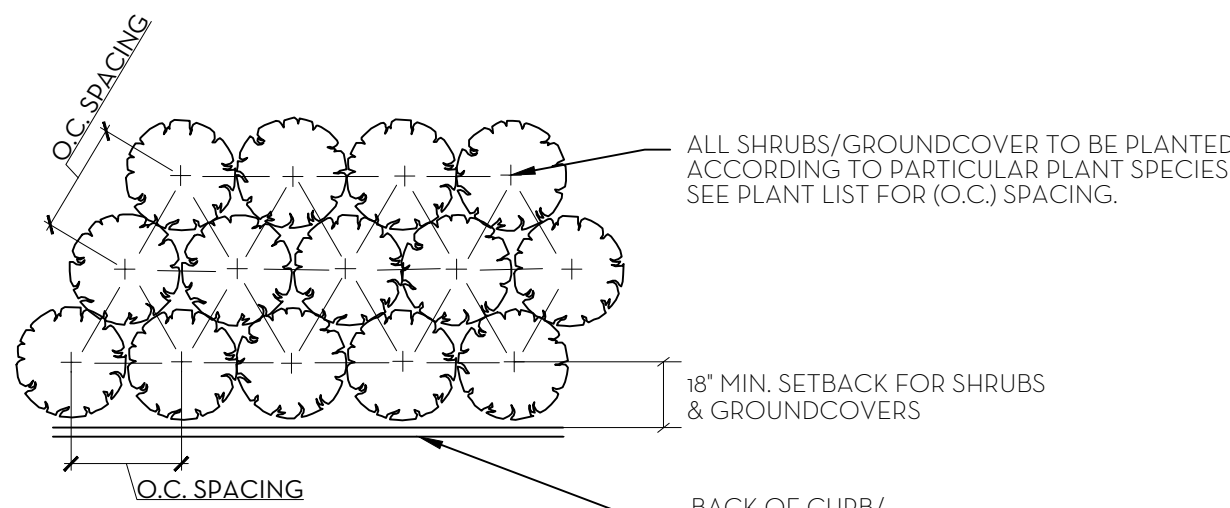
4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.

5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.

6. TOP OF ROOTBALL TO BE SET 2" BELOW FINISH SURROUNDING FINISH GRADE.



TREE PLANTING DETAIL  
N.T.S.



PLANT SPACING DETAIL  
N.T.S.

**SOD NOTES:**

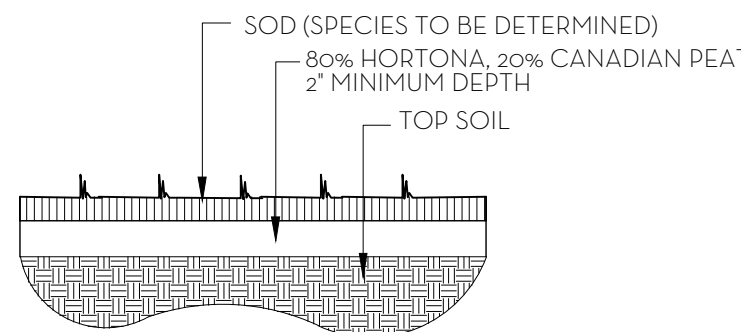
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5" BELOW GRADE

2. RAKE AND REMOVE ALL CONSTRUCTION DEBRIS

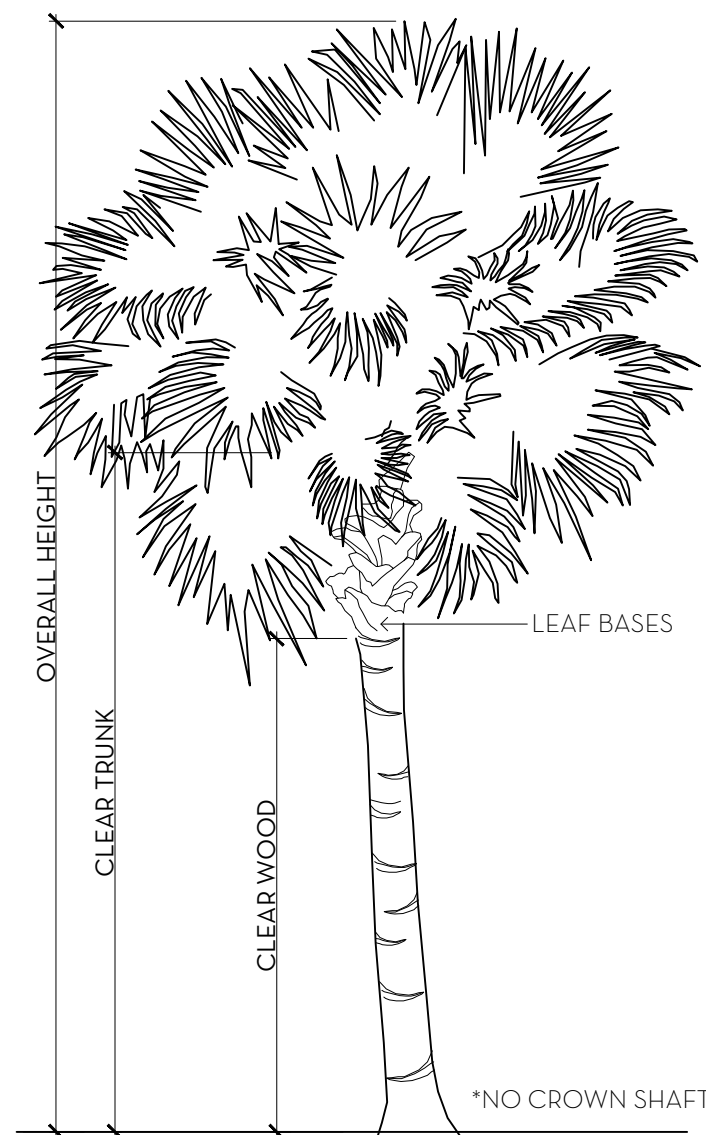
3. PRIOR TO LAYING SOD ADD 80% HORTANA AND 20% CANADIAN PEAT, 2" MIN.

4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.

5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS

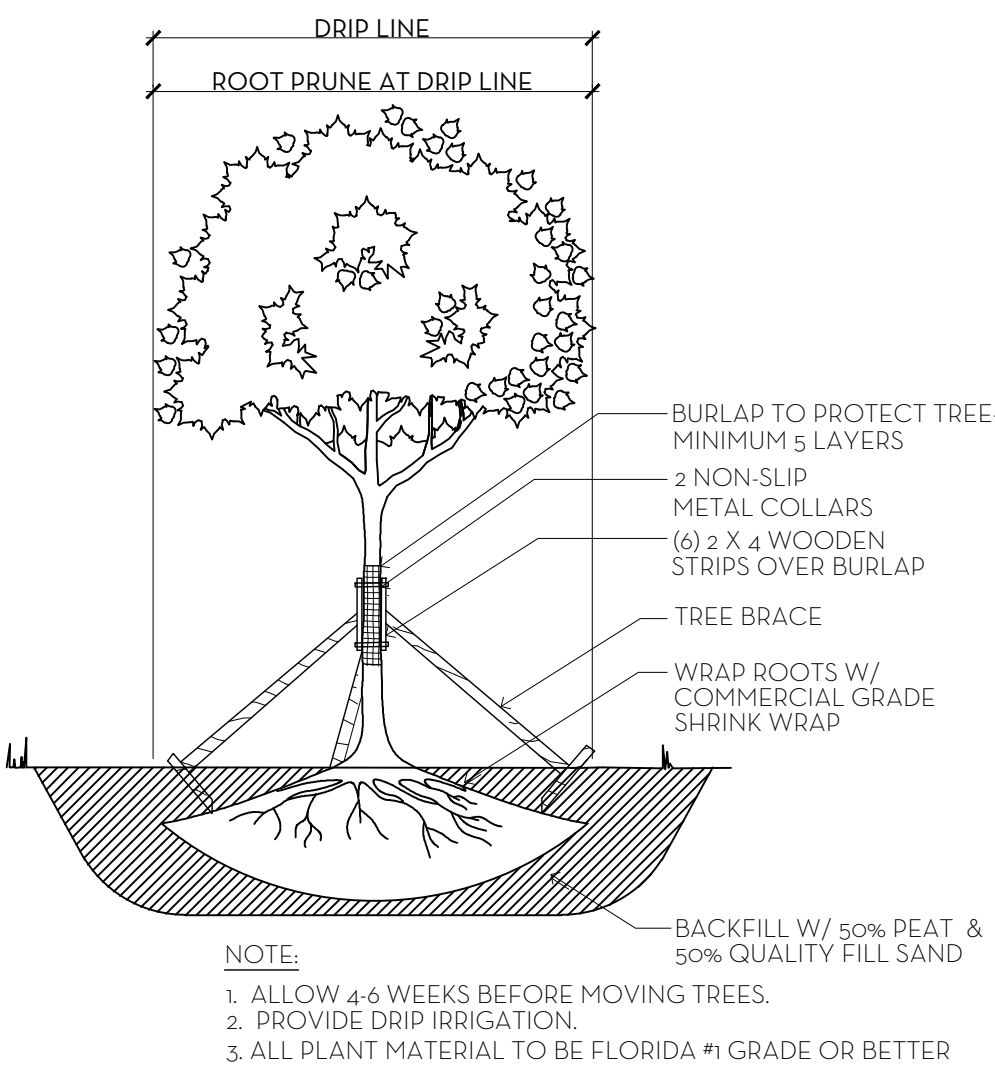


SOD PLANTING DETAIL  
N.T.S.



PALM SPECIFICATION DETAIL  
N.T.S.

TREE ROOT PRUNING DETAIL  
N.T.S.



<div><div>NW</div><div>NIEVERA WILLIAMS DESIGN</div></div>			120 Dunbar Rd, Palm Beach, FL		
			AUGUST 09, 2023		
Landscape Material Schedule					
Item No.	Common Name	Botanical Name	Qty	Native	Specification
TREES					
1	BAYRUM	Pimenta racemosa	1		18' x 18'
2	PIGEON PLUM	Coccoloba diversifolia	6	✓	15' HT.
3	RUSTY FIG	Ficus rubiginosa	1		20' HT.
4	BLUEBERRY TREE	Elaeocarpus decipiens	2		15' HT.
5	GREEN BUTTONWOOD	Conocarpus erectus	4	✓	15' x 15'
6	YELLOW TABEBUIA	Tabebuia chrysantha	1		15' HT.
			15	67%	
PALMS					
7	SABAL PALMS	Sabal palmetto	7	✓	16' CT.
8	TRIPLE ADONIDIA	Adonidia merrillii	1		12' CT.
9	TRIPLE ROEBELENI	Phoenix roebelenii	4		8' - 10' CT.
10	SINGLE ROEBELENI	Phoenix roebelenii	4		10' CT.
11	COCONUT PALM	Cocos nucifera	6		20' GW.
12	COCONUT PALM	Cocos nucifera	5		25' GW.
13	COCONUT PALM	Cocos nucifera	4		16' GW.
13	COCONUT PALM	Cocos nucifera	2		16' GW, CURVED
14	COCONUT PALM	Cocos nucifera	3		14' GW.
15	FOXTAIL PALM	Wodyetia bifurcata	5		16' CT.
			41		77%
HEDGE/SHRUB					
16	GREEN BUTTONWOOD	Conocarpus erectus	10	✓	10' HT, FTB
17	GREEN BUTTONWOOD	Conocarpus erectus	23	✓	6' HT, FTB
18	GREEN BUTTONWOOD	Conocarpus erectus	20	✓	4' HT, FTB
19	GREEN BUTTONWOOD	Conocarpus erectus	129	✓	16' HT, FTB
20	GREEN BUTTONWOOD	Conocarpus erectus	17	✓	14' HT, FTB
21	PODOCARPUS	Podocarpus macrophyllus	32		8' HT, FTB.
22	PODOCARPUS COLUMNS	Podocarpus macrophyllus	4		10' HT.
23	CITRUS	Citrus ssp	8		POTS
24	ILEX SPHERE	Ilex cassine	2		4'x4'
35	SEAPLUM	Coccoloba diversifolia	6	✓	6' HT, Exp to Wall
36	CONFEDERATE JASMINE	Trachelospermum jasminoides	8		8' HT, Exp to Wall
37	BOUGAINVILLEA	Bougainvillea Afterglow	1		20' HT, Exp to Wall
38	BOUGAINVILLEA	Bougainvillea Afterglow	4		12' HT, Exp to Wall
			264	78%	
GROUND COVER/VINES					
25	GREEN ISLAND FICUS	Ficus microcarpa 'green island'	150		3 GAL. @ 12" O.C.
26	CARMONA	Carmona microphylla	60		3 GAL. @ 12" O.C.
27	SERISSA	Serissa japonica	190		3 GAL. @ 12" O.C.
28	COONIE	Zamia pumila	46	✓	3 GAL. @ 12" O.C.
29	BEACH CREEPER	Ernodea littoralis	72	✓	3 GAL. @ 12" O.C.
30	MUHL GRASS	Muhlenbergia capillaris	307	✓	3 GAL. @ 18" O.C.
31	HIBISCUS	Hibiscus ssp	20		3 GAL. @ 12" O.C.
32	MINI CLUSIA	Clusia rosea 'nana'	20		3 GAL. @ 12" O.C.
33	FOXTAIL FERN	Asparagus densiflorus	24		3 GAL. @ 18" O.C.
34	MINIMA	Trachelospermum asiaticum	21		TRAYS
			700	36%	
SOD					
39	ZOYSIA	Contractor to (VIF)			



**Town of Palm Beach**  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Landscape Legend	
	Property Address:	120 Dunbar
1	Required	Proposed
4		
5	Lot Size (sq ft)	10,000
6	Landscape Open Space (LOS) (Sq Ft and %)	8,867 (45%)
7	Perimeter LOS (Sq Ft and %)	4,433 (50%)
8	Front Yard LOS (Sq Ft and %)	1,000 (44%)
9	Native* Trees %	30%
10	Native* Palms %	N/A
11	Native* Shrubs / Vines %	30%
12	Native* Ground Cover %	30%

\*To determine appropriate native vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect

REV BF 20220304

MARIO F. NIEVERA

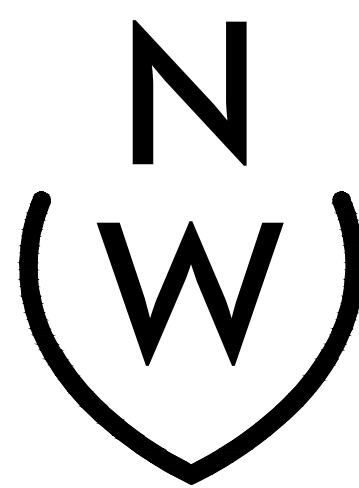
State of Florida  
Landscape Architect  
Registration No.  
6666856

PLANT LIST AND DETAILS

120 DUNBAR

PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



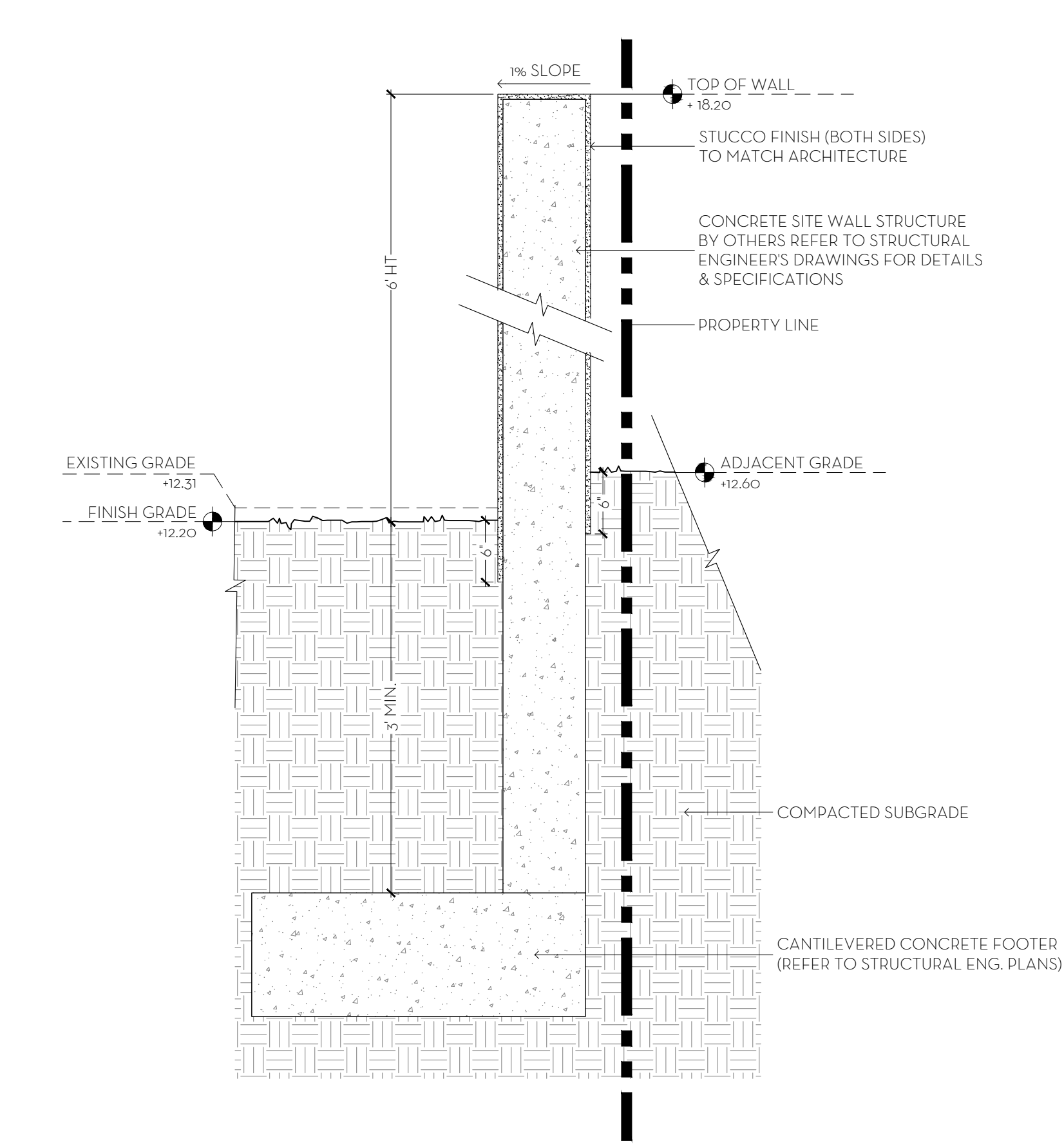
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

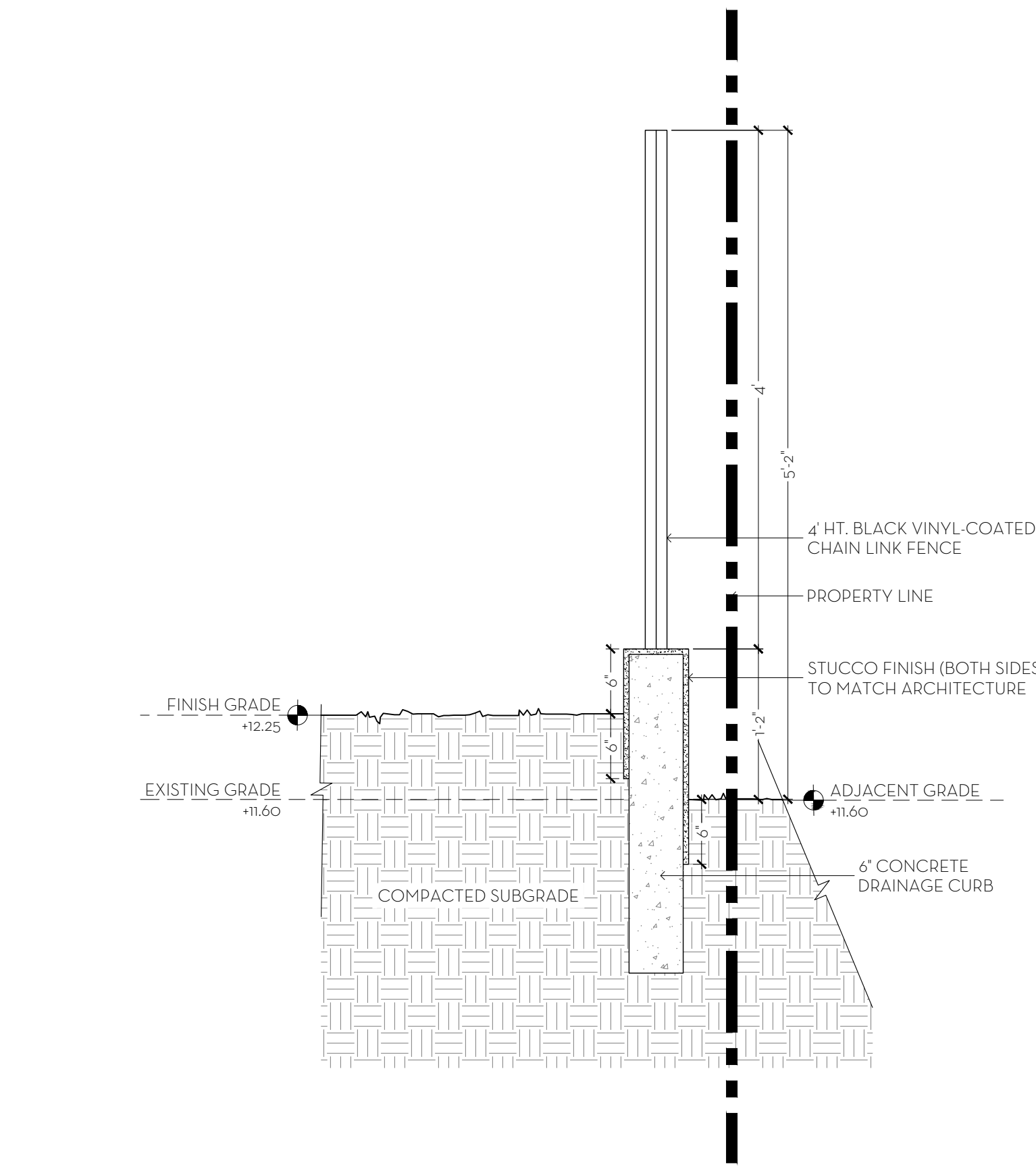
NIEVERAWILLIAMS.COM

LP2

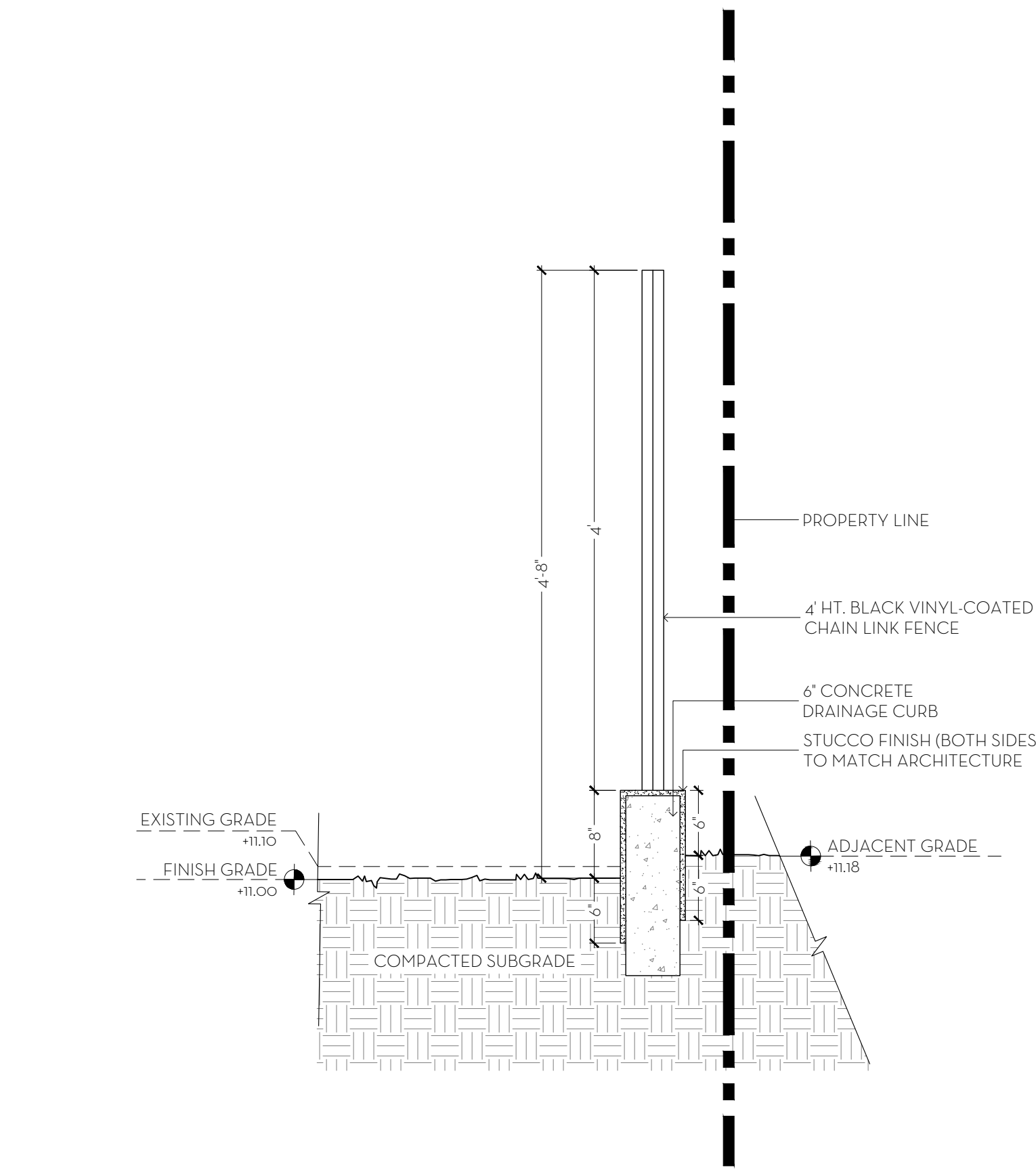




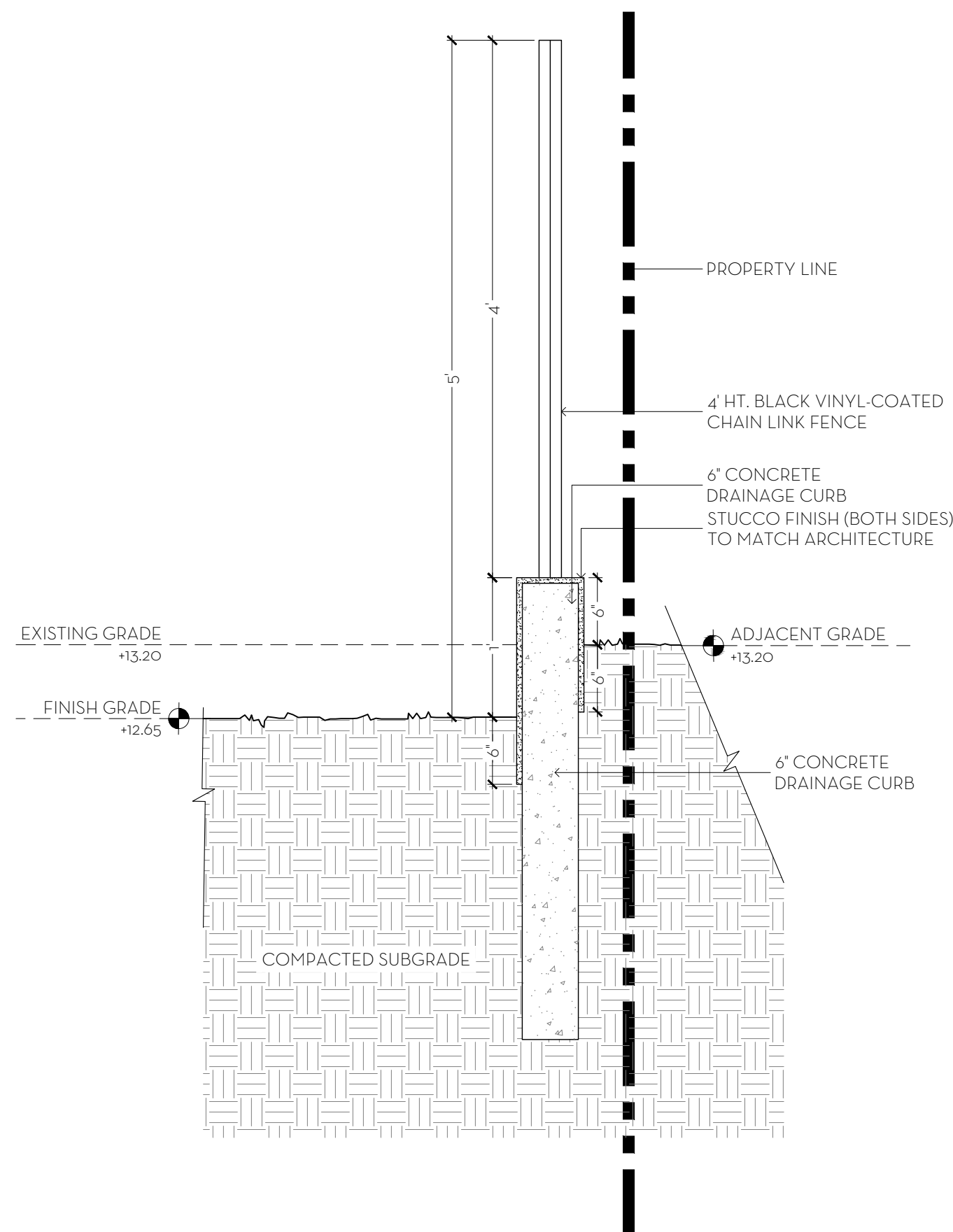
1 SITE WALL DETAIL- SECTION A (TYP.)  
D1 SCALE: 1" = 1'-0"



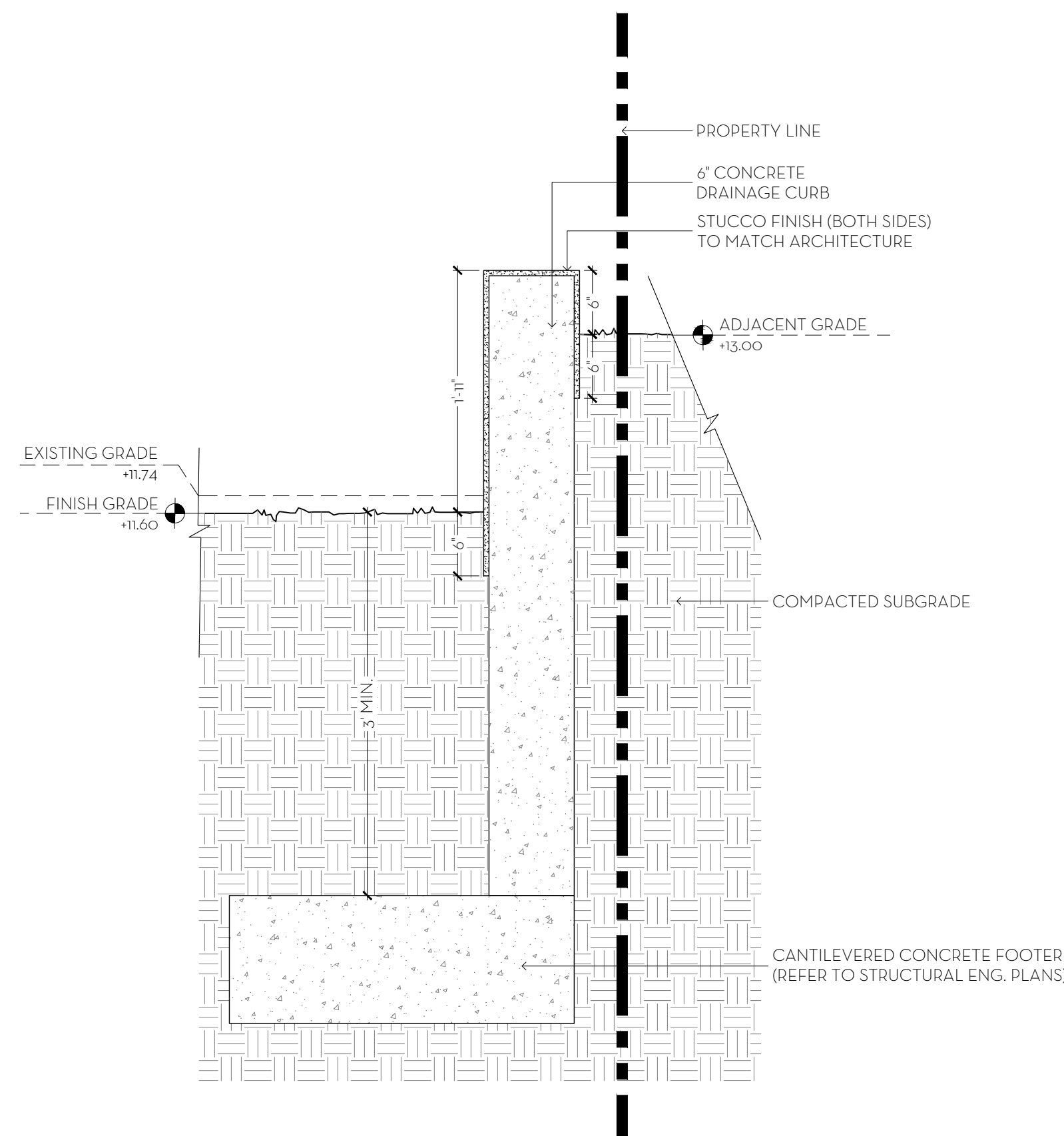
2 CURB WALL DETAIL- SECTION B (TYP.)  
D1 SCALE: 1" = 1'-0"



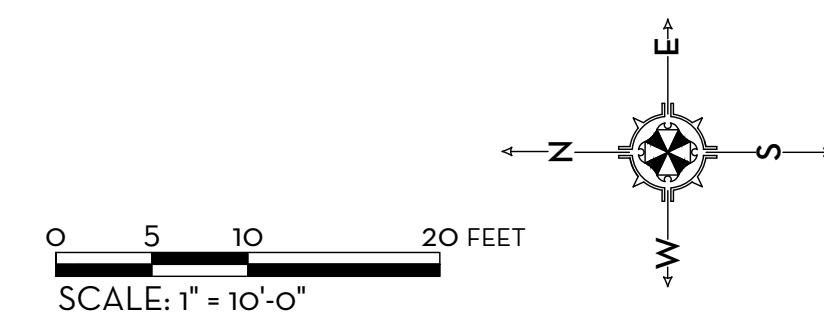
3 CURB WALL DETAIL- SECTION C (TYP.)  
D1 SCALE: 1" = 1'-0"



4 CURB WALL DETAIL- SECTION E (TYP.)  
D1 SCALE: 1" = 1'-0"



5 SITE WALL DETAIL- SECTION D (TYP.)  
D1 SCALE: 1" = 1'-0"

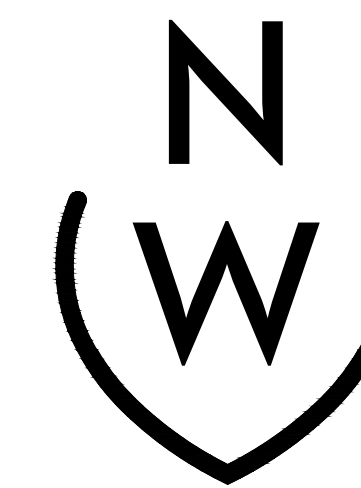


MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

SITE WALL DETAILS  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



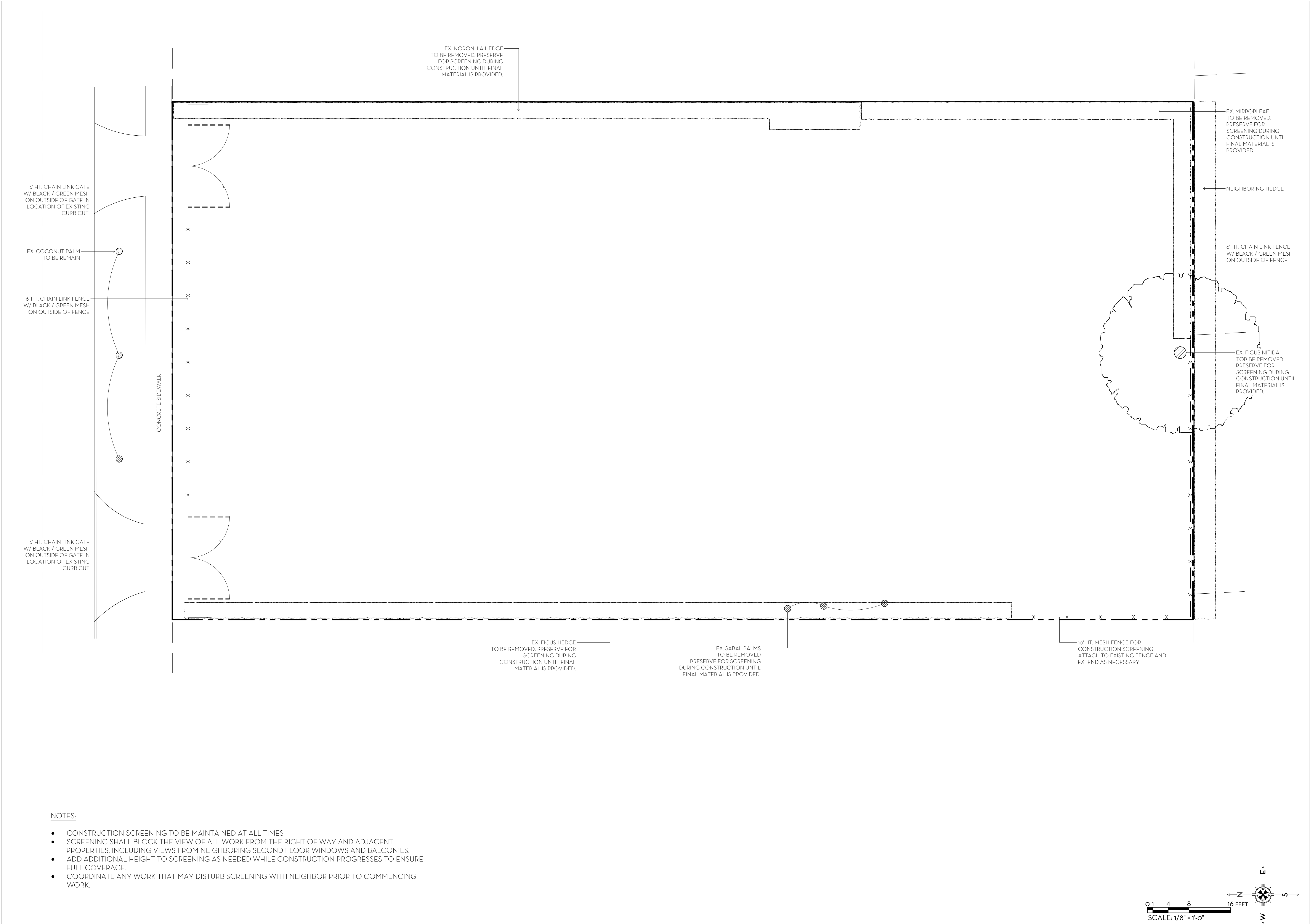
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**D1**





- NOTES:
- CONSTRUCTION SCREENING TO BE MAINTAINED AT ALL TIMES
  - SCREENING SHALL BLOCK THE VIEW OF ALL WORK FROM THE RIGHT OF WAY AND ADJACENT PROPERTIES, INCLUDING VIEWS FROM NEIGHBORING SECOND FLOOR WINDOWS AND BALCONIES.
  - ADD ADDITIONAL HEIGHT TO SCREENING AS NEEDED WHILE CONSTRUCTION PROGRESSES TO ENSURE FULL COVERAGE.
  - COORDINATE ANY WORK THAT MAY DISTURB SCREENING WITH NEIGHBOR PRIOR TO COMMENCING WORK.

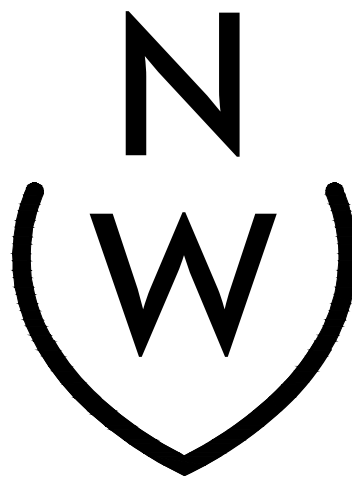
MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

CONSTRUCTION SCREENING PLAN  
**PRIVATE RESIDENCE**

120 DUNBAR ROAD, PALM BEACH, FL

25 AUGUST 2023 - SECOND SUBMITTAL



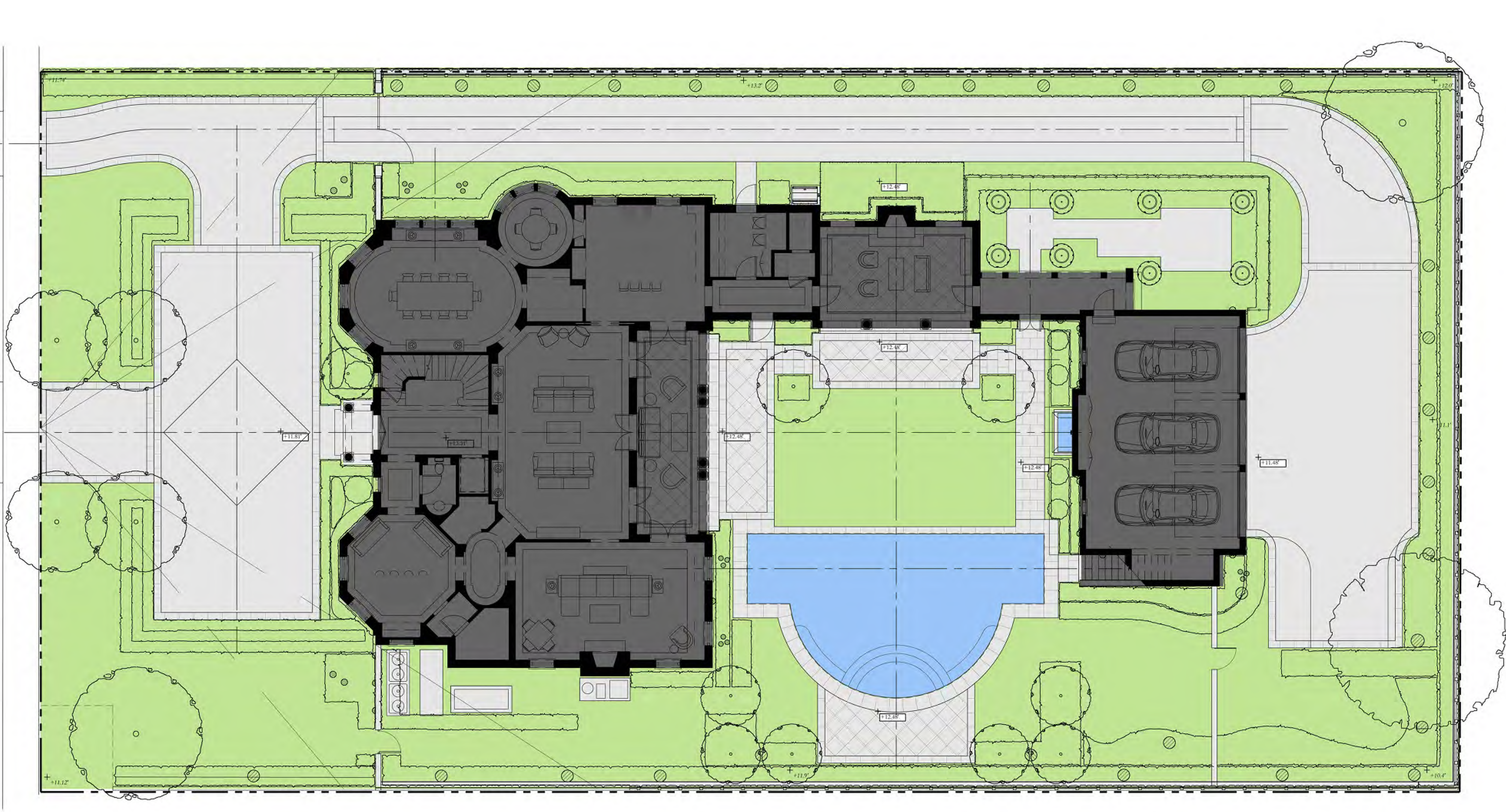
NIEVERA WILLIAMS  
DESIGN

223 Sunset Avenue  
Suite 150  
Palm Beach, Florida 33480  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

CSP





**OVERALL R-B SITE CALCULATIONS:**

SITE AREA =	19,706	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	8,867	SQ FT	45%
PROPOSED =	8,957	SQ FT	45%

**FRONT SETBACK SITE CALCULATIONS:**

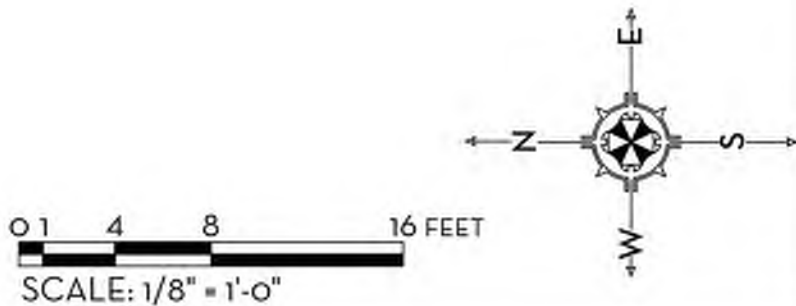
25' SETBACK AREA =	2,500	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	1,000	SQ FT	40%
PROPOSED =	1,100	SQ FT	44%

**10' PERIMETER SITE CALCULATIONS:**

PERIMETER AREA =	5,541	SQ FT	
MINIMUM LANDSCAPE:			
(50% OF 8,867 SF) = 4,433.5 REQUIRED			
PROPOSED =	4,439	SQ FT	

**OPEN SPACE LEGEND**

LANDSCAPE	
HARDSCAPE	
WATER	
HOUSE	



MARIO F. NIEVERA  
State of Florida  
Landscape Architect  
Registration No.  
6666856

OPEN SPACE PLAN - OVERALL LANDSCAPE  
**120 DUNBAR**  
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

SCALE: 1/8" = 1'-0"

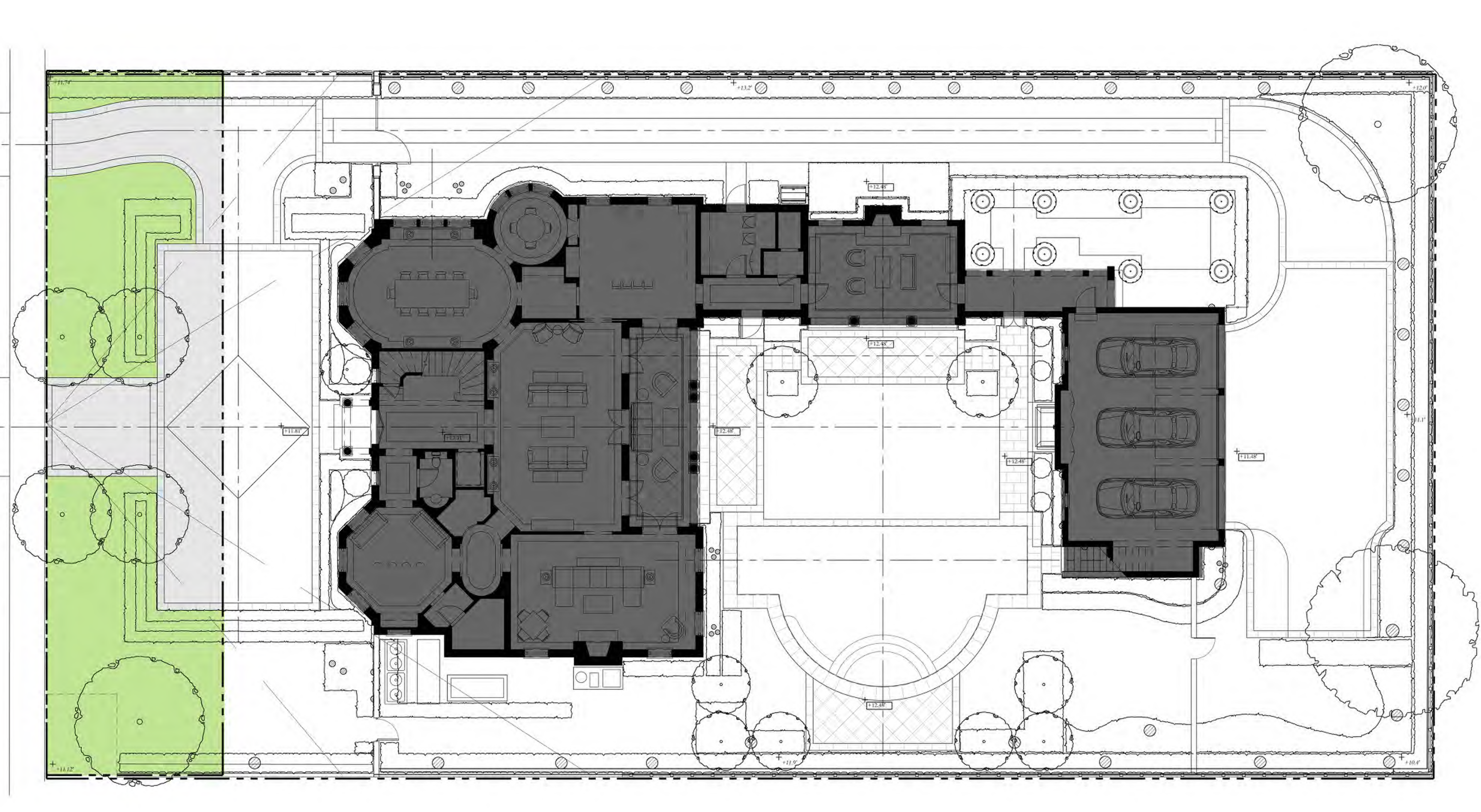
**NW**  
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**OS1**





**OVERALL R-B SITE CALCULATIONS:**

SITE AREA =	19,706	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	8,867	SQ FT	45%
PROPOSED =	8,957	SQ FT	45%

**FRONT SETBACK SITE CALCULATIONS:**

25' SETBACK AREA =	2,500	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	1,000	SQ FT	40%
PROPOSED =	1,100	SQ FT	44%

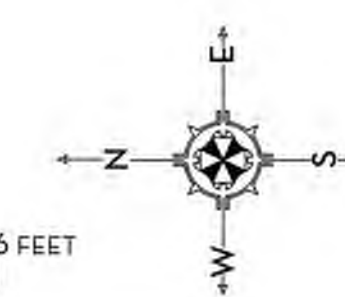
**10' PERIMETER SITE CALCULATIONS:**

PERIMETER AREA =	5,541	SQ FT	
MINIMUM LANDSCAPE:			
(50% OF 8,867 SF) = 4,433.5 REQUIRED			
PROPOSED =	4,439	SQ FT	

**OPEN SPACE LEGEND**

LANDSCAPE	
HARDSCAPE	
WATER	
HOUSE	

0 4 8 16 FEET  
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

OPEN SPACE PLAN - 25' FRONT SETBACK  
**120 DUNBAR**

PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

SCALE: 1/8" = 1'-0"



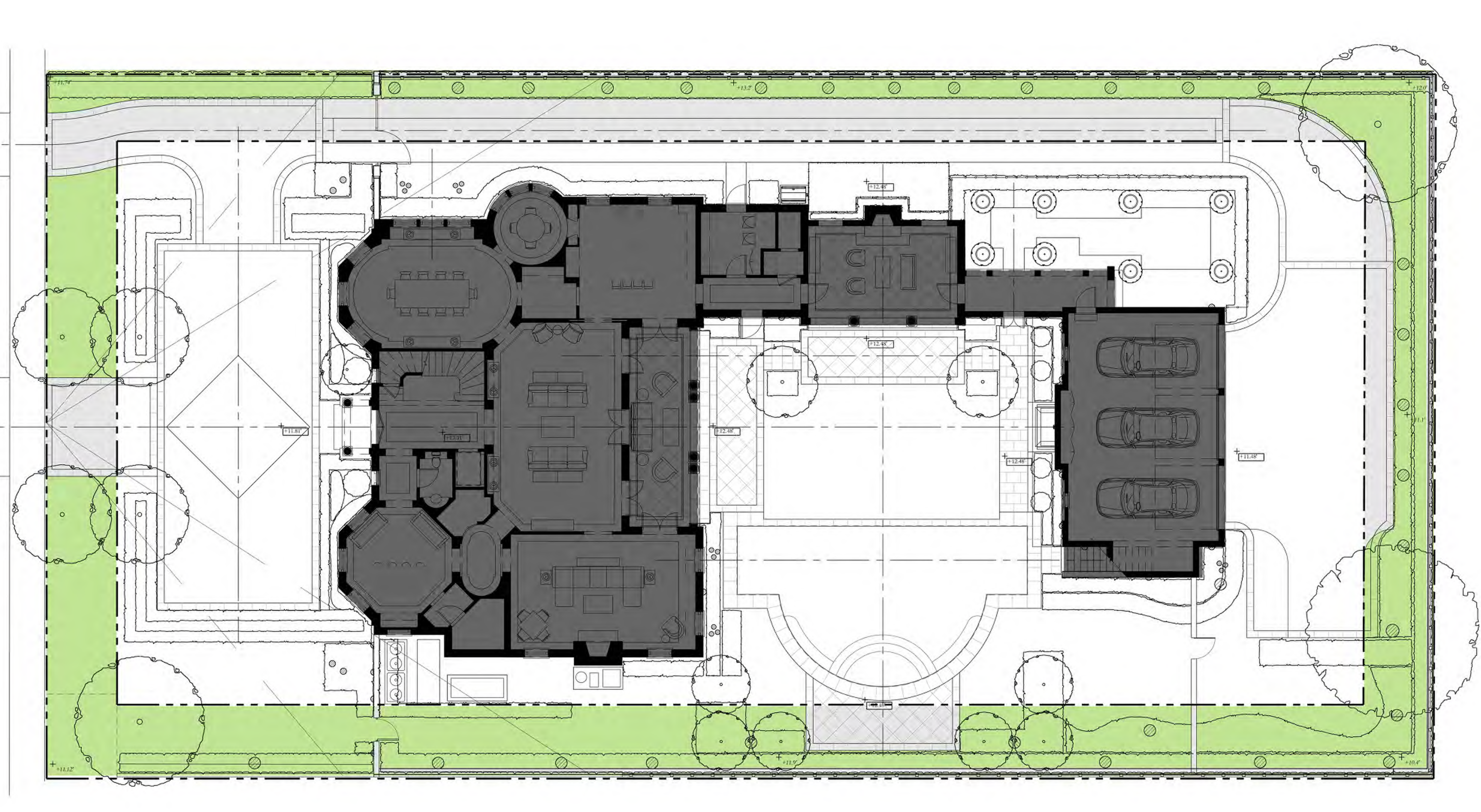
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**OS2**





**OVERALL R-B SITE CALCULATIONS:**

SITE AREA =	19,706	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	8,867	SQ FT	45%
PROPOSED =	8,957	SQ FT	45%

**FRONT SETBACK SITE CALCULATIONS:**

25' SETBACK AREA =	2,500	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	1,000	SQ FT	40%
PROPOSED =	1,100	SQ FT	44%

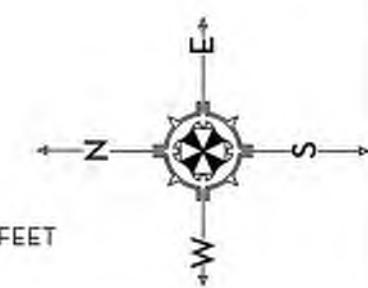
**10' PERIMETER SITE CALCULATIONS:**

PERIMETER AREA =	5,541	SQ FT	
MINIMUM LANDSCAPE:			
(50% OF 8,867 SF) = 4,433.5 REQUIRED			
PROPOSED =	4,439	SQ FT	

**OPEN SPACE LEGEND**

LANDSCAPE	
HARDSCAPE	
WATER	
HOUSE	

0 4 8 16 FEET  
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

OPEN SPACE PLAN - 10' PERIMETER

**120 DUNBAR**

PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

SCALE: 1/8" = 1'-0"



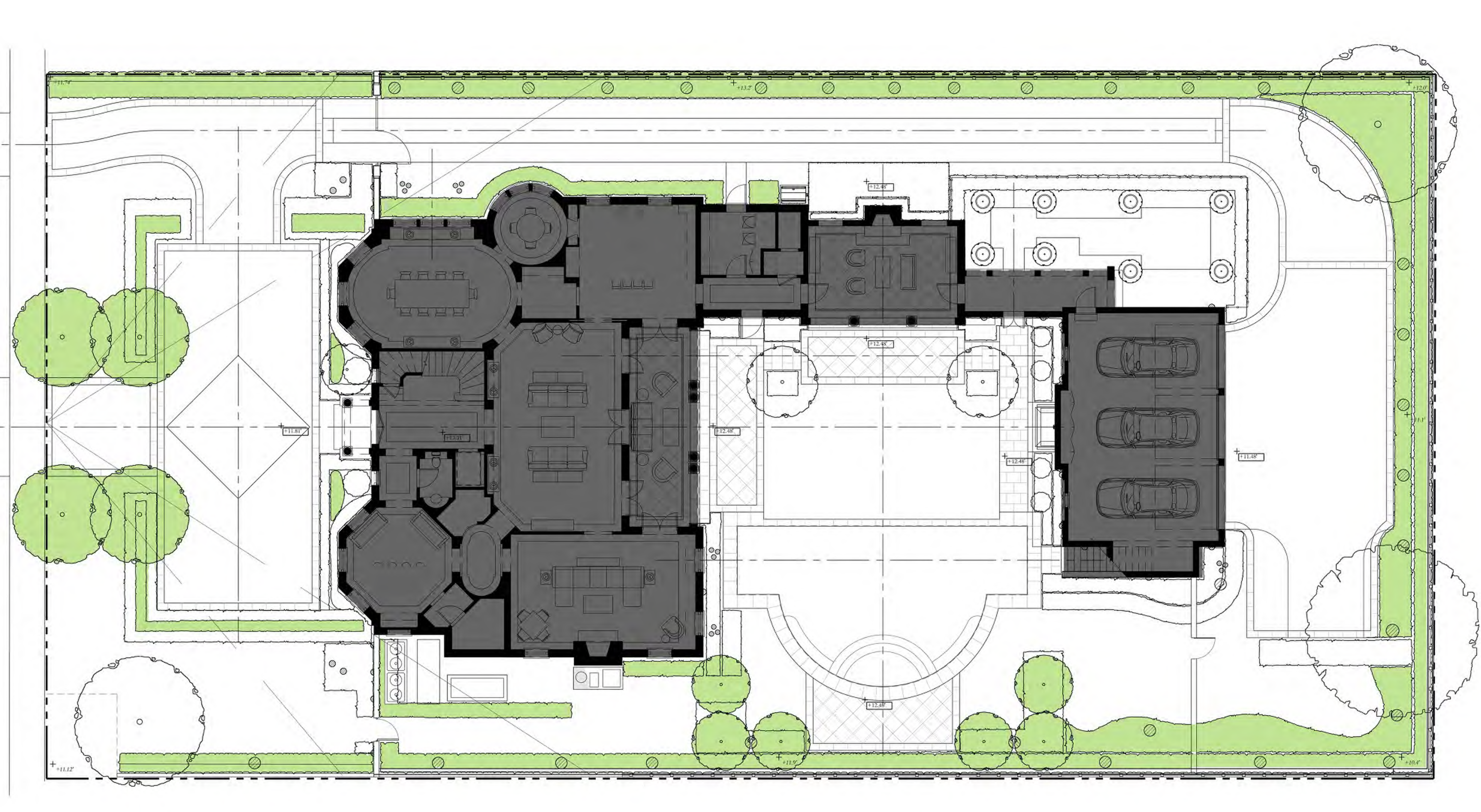
NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**OS3**





**OVERALL R-B SITE CALCULATIONS:**

SITE AREA =	19,706	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	8,867	SQ FT	45%
PROPOSED =	8,957	SQ FT	45%

**FRONT SETBACK SITE CALCULATIONS:**

25' SETBACK AREA =	2,500	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	1,000	SQ FT	40%
PROPOSED =	1,100	SQ FT	44%

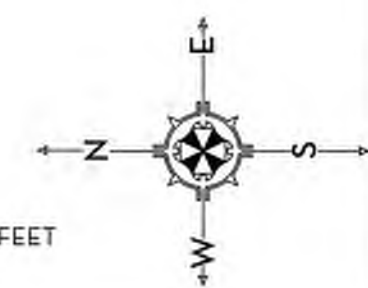
**10' PERIMETER SITE CALCULATIONS:**

PERIMETER AREA =	5,541	SQ FT	
MINIMUM LANDSCAPE:			
(50% OF 8,867 SF) = 4,433.5 REQUIRED			
PROPOSED =	4,439	SQ FT	

**OPEN SPACE LEGEND**

LANDSCAPE	
HARDSCAPE	
WATER	
HOUSE	

0 4 8 16 FEET  
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

State of Florida  
Landscape Architect  
Registration No.  
6666856

OPEN SPACE PLAN - NATIVE LANDSCAPE

**120 DUNBAR**

PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

SCALE: 1/8" = 1'-0"



NIEVERA WILLIAMS  
DESIGN

625 N. Flagler Drive  
Suite 502  
West Palm Beach, FL 33401  
P: 561-659-2820  
F: 561-659-2113

NIEVERAWILLIAMS.COM

**OS4**



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 19,707 sq.ft.

Drainage Area Impervious Surface = 10,839 sq.ft.

Drainage Area Pervious Surface = 8,868 sq.ft.\*

\* Minimum required by zoning code without a variance.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ( $Q=CiA$ )

where:

$C = 1.0$  (impervious surface)

$C = 0.2$  (pervious surface)

$i = 2$  in/hr

Impervious Surface Runoff Volume:

$1.0 \times 2 \text{ in/hr} \times 10,839 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 1,807 \text{ cu.ft.}$

Pervious Runoff Volume:

$0.2 \times 2 \text{ in/hr} \times 8,868 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 296 \text{ cu.ft.}$

Total Volume to be Retained = 2,103 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1

L = Total Length of Trench Provided = 50 ft  
W = Trench Width = 18 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 6.00 ft  
DU = Un-Saturated Trench Depth = 3.00 ft  
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 2,587 cu.ft.

Exfiltration Trench #2

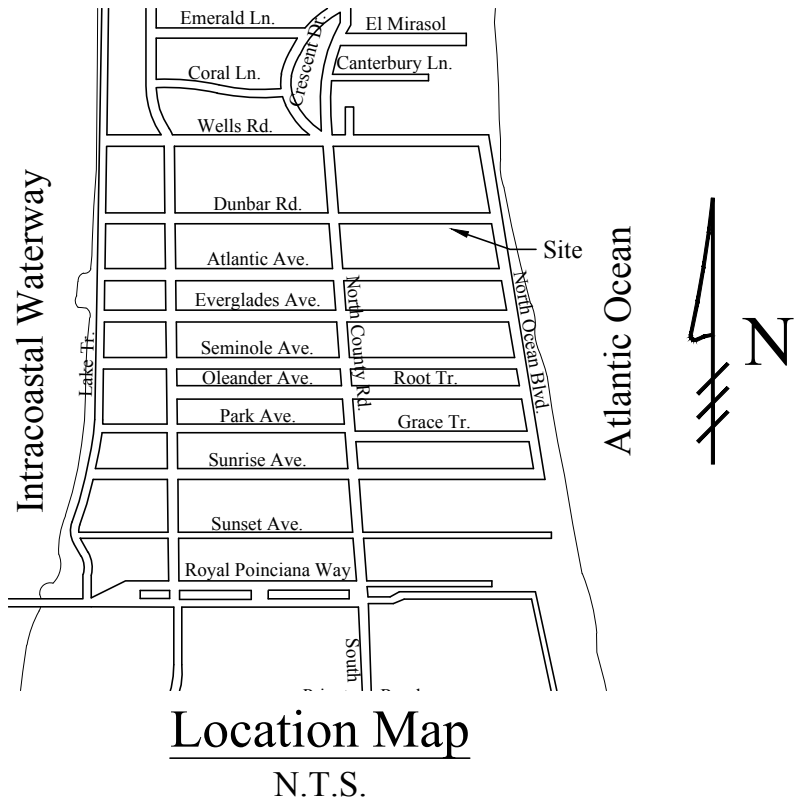
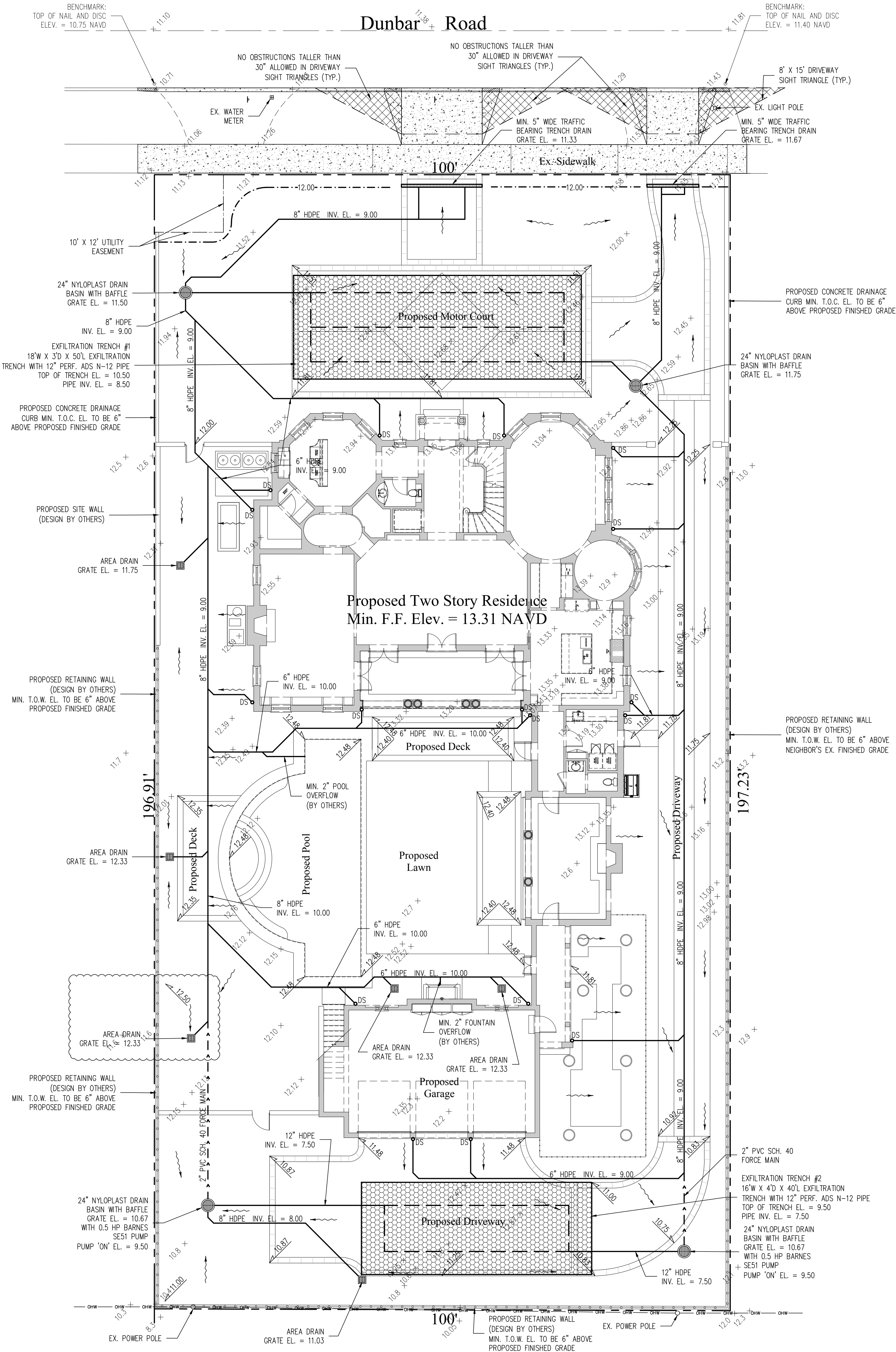
L = Total Length of Trench Provided = 40 ft  
W = Trench Width = 16 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 6.00 ft  
DU = Un-Saturated Trench Depth = 4.00 ft  
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 2,220 cu.ft.

Total Volume Retained in Exfiltration Trenches = 4,807 cu.ft.

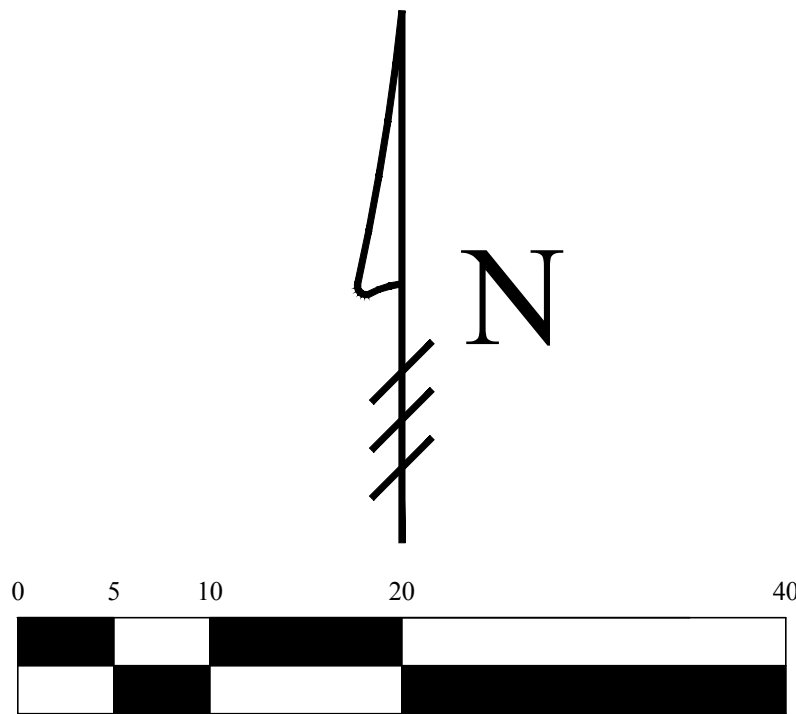
Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD--88)
- PROPOSED ELEVATION (NAVD--88)
- PROPOSED ELEVATION CONTOUR (NAVD--88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1" = 10'

- | Revisions |            |  |
|-----------|------------|--|
| 1         | 02/22/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE                       |
| 2         | 08/09/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; ADD UTILITY EASEMENT |
| 3         | 08/24/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE                       |

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by Nievera Williams Design Received 8/24/23

ARC-23-133

© 2023 Gruber Consulting Engineers, Inc.



Gruber Consulting Engineers, Inc.  
574 MERCER AVE., SUITE 305  
WEST PALM BEACH, FL 33401  
PHONE: 561.312.2841  
office@gruberengineers.com

Project Information				
Project No.	2023-0099	Issue Date	09/27/2023	Scale
Scale	1" = 10'	Drawn By	KM	Checked By
Checked By	CG			

Site Grading & Drainage Plan For:  
**Proposed Residence**  
120 Dunbar Road  
Palm Beach, Florida

Revisions	
1	02/22/2023
2	08/09/2023
3	08/24/2023
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber  
FL P.E. No. 57466

Sheet No.  
**C-1**



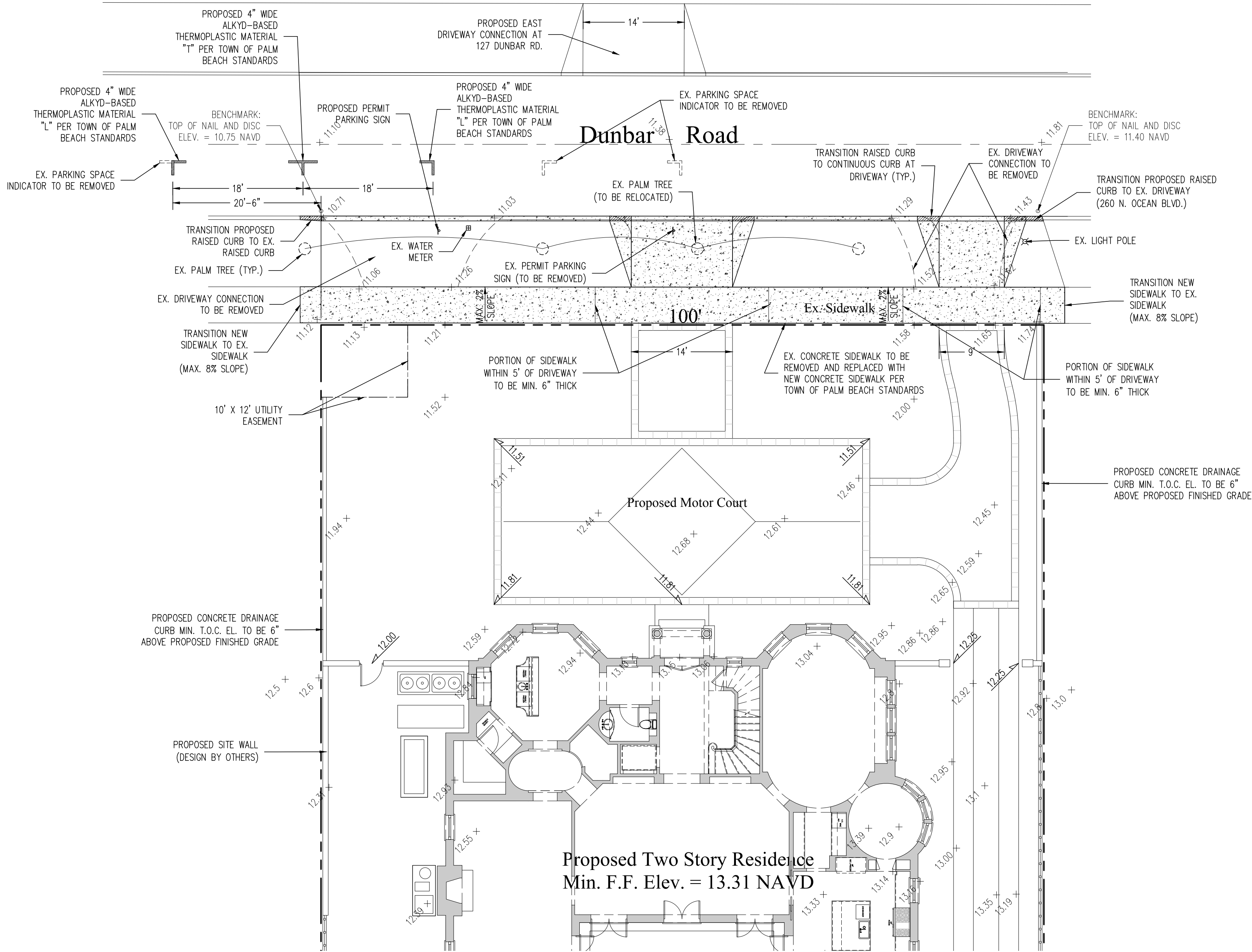
General Notes & Specifications:

- The contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify the engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in the specifications or mentioned in the specifications and not shown on the drawings, shall be of like effect as if shown or mentioned in both.
- Figure marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall in general, govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, the contractor shall adjust such dimensions as conditions may require.
- If the contractor, in the course of the work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by the contractor, it shall be his duty to immediately inform the engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at once report to the engineer any discrepancies between the executed work and the drawings.
- The engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. The contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit but any unburned remains are to be disposed of as directed by the owner or his representatives.
- The contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims of damage. The contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalk, lawns, utilities and other items damaged by this construction activity.
- The contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by the engineer. Should any test fail to meet specification as shown herein, the contractor shall, at his expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workman like manner and shall conform with all applicable City, County, State and Federal regulations and/or Codes. The contractor shall obtain all permits and licenses required to begin work.
- The contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed and/or relocated which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect the completed work.
- The contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at the contractor's expense.
- All work shall be accomplished in a safe and workmanlike manner. The contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury or property damage.
- Minimum Construction Inspection Checkpoints: 1) Prior to any major deviation from the approved plans 2) Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved 3) Upon completion of subgrade compacting 4) At the time of delivery of base material 5) Upon completion of the base and prior to priming 6) Immediately prior to and upon the first and second applications of the plant mixed wearing course 7) Upon completion of construction, a final inspection will be made with project representative.
- All unsuitable material such as muck, marl and debris shall be removed from the limits of construction and legally disposed. At the engineer's direction, muck may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement or repairs within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- The contractor shall complete "as-built" information relative to pipe lengths, materials and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

TABLE 100			
TABLE OF MATERIALS AND CONSTRUCTION STANDARDS			
RESIDENTIAL ACCESS AND LOCAL STREETS			
COMPONENT (1)	DESCRIPTION OF MATERIALS	CONSTRUCTION STANDARDS (WHICH IN SIZES) DEPTHS (2) METHOD (3)	NOTES
A	TYPE 1 ASPHALTIC CONCRETE	1-1/2"	ONE (1) LIFT
	TYPE 3-3 ASPHALTIC CONCRETE	1-1/2"	TWO (2) EQ. LIFTS
B	LIMEROCK	6"	COMPACTED
	CRUSHED CONCRETE	8"	COMPACTED
C	SUBGRADE	12"	COMPACTED
(1) A = PAVEMENT B = BASE C = SUBGRADE			
(2) ALL DIMENSIONS REFER TO FINISHED THICKNESS.			
(3) COMPACTED TO AT LEAST 98% MAXIMUM DENSITY PER A.A.S.H.T.O. T-180.			
TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT		TABLE 100	DRAWING NO. 2
REVISIONS:	DATE:	APPROVED: <i>Chad M. Gruber</i>	EFFECTIVE: 7-4-14
		TOWN ENGINEER	

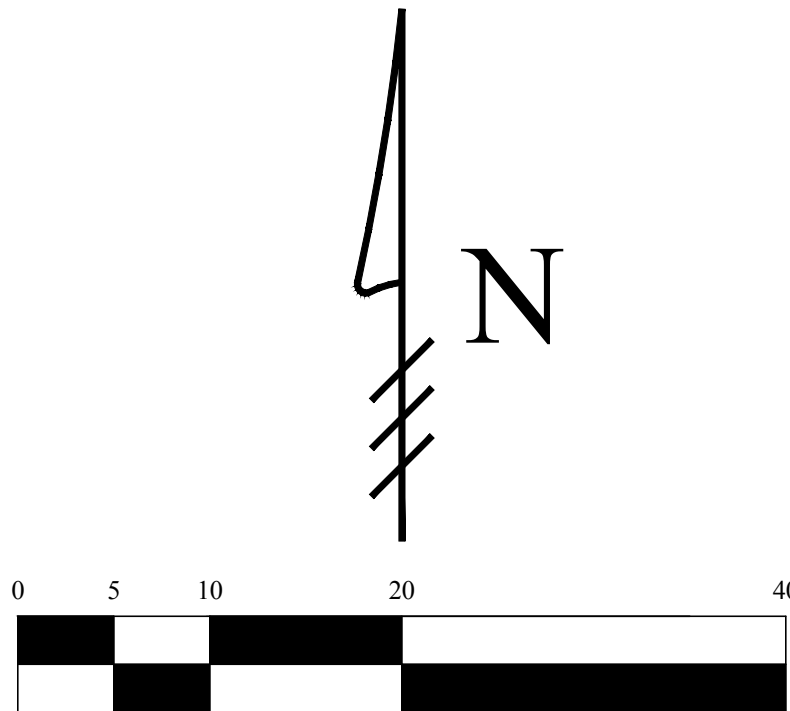
TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT			
REVISIONS:	DATE:	APPROVED: <i>Chad M. Gruber</i>	EFFECTIVE: 9-9-03
		TOWN ENGINEER	
6"X 18" CONCRETE CURB		DRAWING NO. 6	

TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT			
REVISIONS:	DATE:	APPROVED: <i>Chad M. Gruber</i>	EFFECTIVE: 9-9-03
		TOWN ENGINEER	
RESIDENTIAL DRIVEWAY CURB & GUTTER SECTION (CONCRETE)		DRAWING NO. 13	



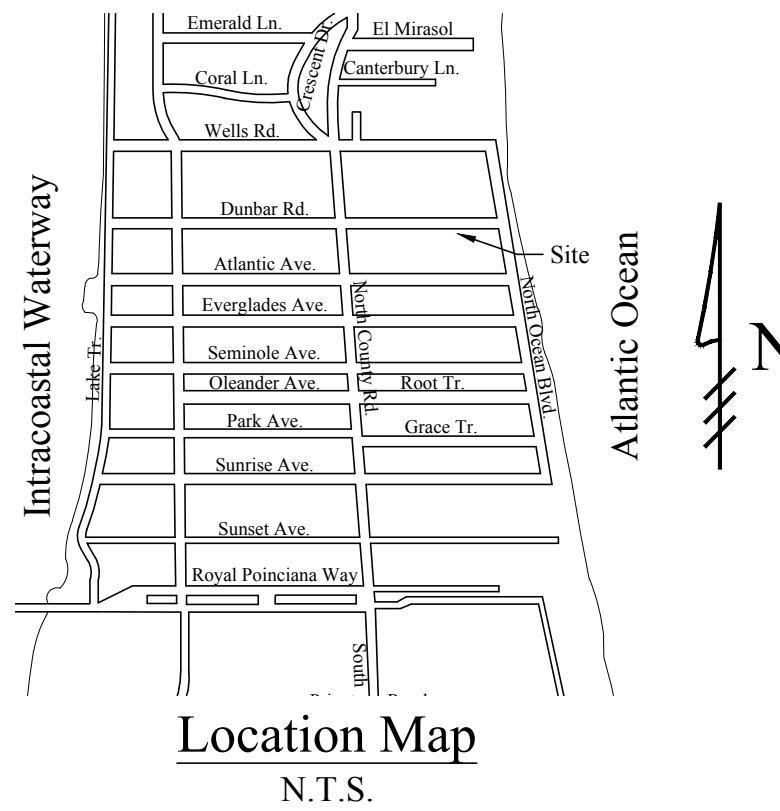
Legend

- 5.7 + EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD--88)
- 6.00 + PROPOSED ELEVATION (NAVD--88)



Scale: 1" = 10'

48 HOURS BEFORE DIGGING  
CALL  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.  
Contractor is responsible for obtaining  
location of existing utilities prior to  
commencement of construction activities.



Gruber Consulting  
Engineers, Inc.  
5725 ARBON AVE., SUITE 305  
WEST PALM BEACH, FL 33401  
PHONE: 861.312.2801  
office@gruberengineers.com

Project Information	
Project No.	2022-0099
Issue Date	06/05/2023
Scale	1" = 10'
Drawn By	KM
Checked By	CG

Curb & Sidewalk Replacement Plan For:  
**Proposed Residence**  
Palm Beach, Florida  
120 Dunbar Road

Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber  
FL P.E. No. 57466

Sheet No.  
**CB-1**

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by  
Nievera Williams Design Received 8/24/23

ARC-23-133  
© 2023 Gruber Consulting Engineers, Inc.