

FINAL SUBMITTAL FOR PROPOSED ADDITION TO LA BELLUCIA 1200 SOUTH OCEAN BLVD. PALM BEACH, FLORIDA

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By yfigueroa at 12:03 pm, Sep 12, 2023

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ARCHITECTURAL

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SCOPE OF WORK

- NEW 2-STORY ADDITION TO EXISTING RESIDENCE
- HARDSCAPE & LANDSCAPE

MEETING DATES:

PROJECT TYPE:	Private Residence
Pre-App Submittal:	August 21, 2022
Pre-App Meeting:	August 28, 2022
First Submittal:	N/A
Second Submittal:	August 28, 2023
COA Hearing:	October 18, 2023

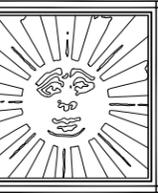
PROJECT TEAM:

ARCHITECT

BRIDGES, MARSH & ASSOCIATES, INC.
18 VIA MIZNER
PALM BEACH, FL. 33480
PHONE: (561) 832-1533

LANDSCAPE ARCHITECT

ENVIRONMENT DESIGN GROUP
139 NORTH COUNTY ROAD
THE PARAMOUNT BUILDING
PALM BEACH, FL. 33480
PHONE: (561) 832-4600



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CONSULTANT

MICHAEL MARK MARSH
AR9030
SEAL

ADDITIONS/RENOVATION TO
LA BELLUCIA
JOB
1200 SOUTH OCEAN BLVD
PALM BEACH, FLORIDA

COVER
DRAWING

22014
JOB NO.

NOTE:
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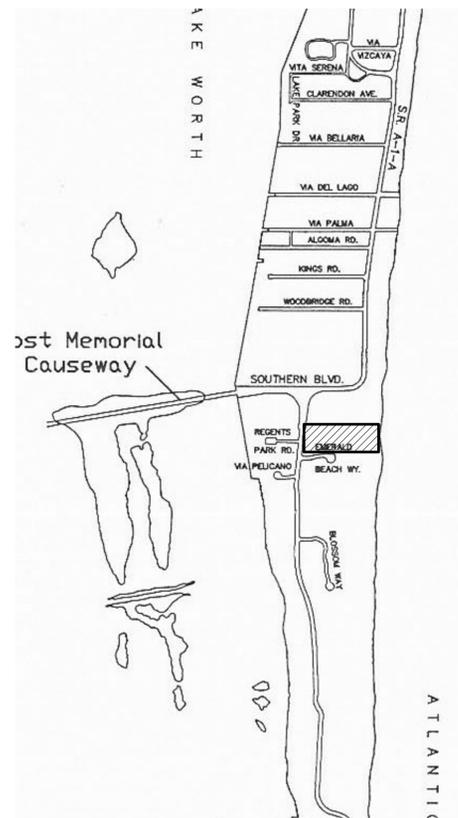
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N.T.S.
SCALE

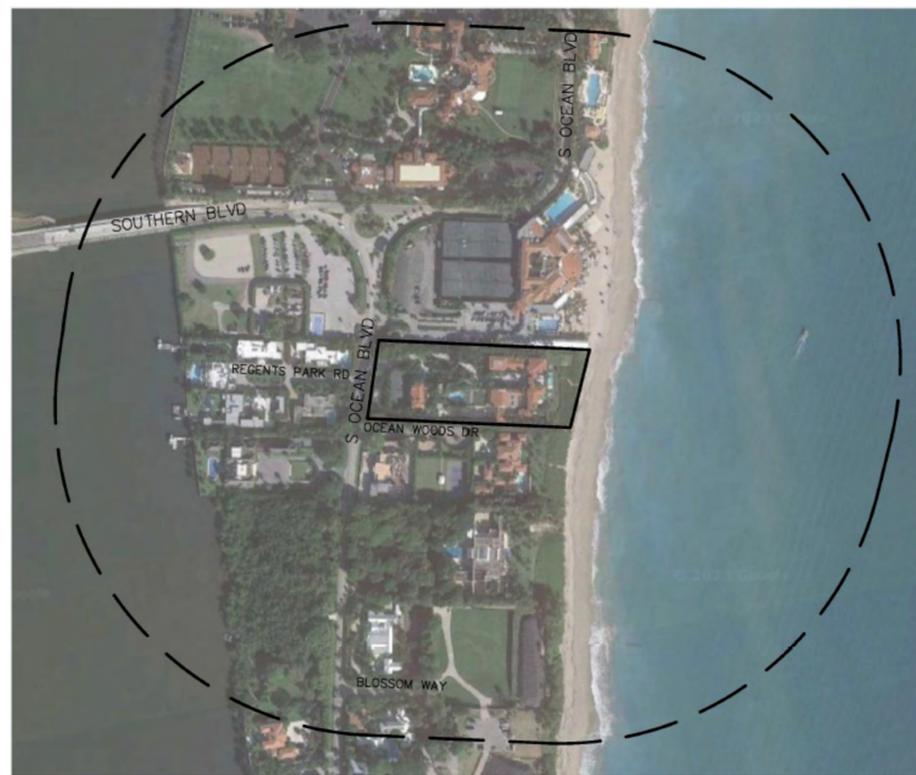
9/11/23 DATE HCT3
M.M. CHK/DRWN

C1
DWG. NO.

COA-23-045

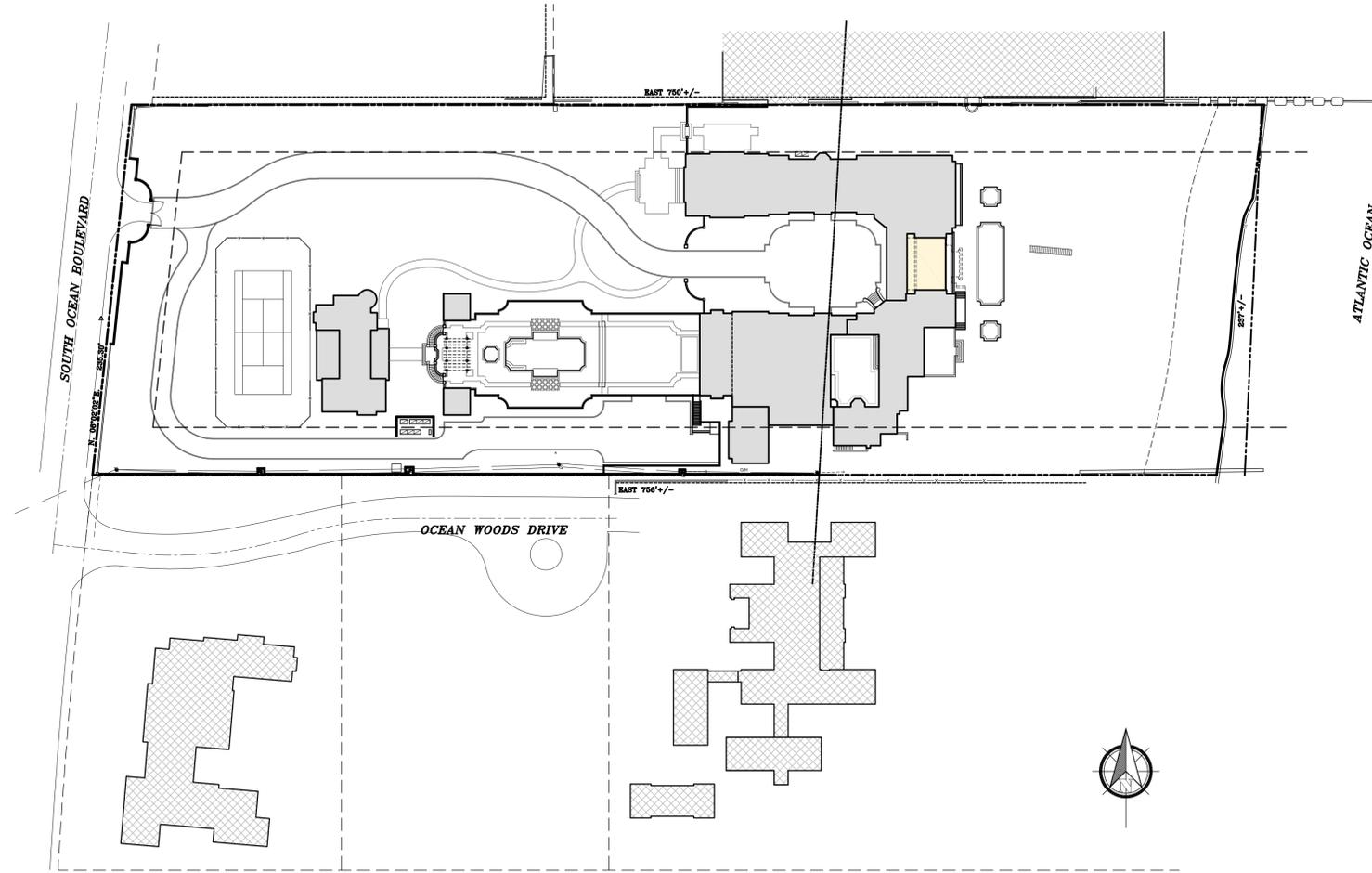


VICINITY MAP



AERIAL VICINITY MAP

1/4 MILE RADIUS



LOCATION MAP

1"=50'

PROPERTY ADDRESS

1200 South Ocean Boulevard
Palm Beach, Florida 33480

PROPERTY OWNER

Jeffrey & Mei S. Greene

LEGAL DESCRIPTION

The South 135 feet of Government Lot 2, Section 35, Township 43 South, Range 43 East, lying East of County Road, and the North 99 feet of Government Lot 1, Section 2, Township 44 South, Range 43 East, lying East of County Road (said County Road being also known as State Road No. A1A and as Ocean Boulevard) in Palm Beach County, Florida.



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend		
1	Property Address:	1200 S Ocean Blvd	
2	Zoning District:	R-AA	
3	Lot Area (sq. ft.):	175,500 sq ft	
4	Lot Width (W) & Depth (D) (ft.):	234 ft W, 750 ft D	
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	Single Family Residence	
6	FEMA Flood Zone Designation:	X	
7	Zero Datum for point of meas. (NAVD)	7.0	
8	Crown of Road (COR) (NAVD)	4.5 ft	
9		REQ'D / PERMITTED	EXISTING
10	Lot Coverage (Sq Ft and %)	43,875 sqft / 25.0%	24,617 sqft / 14.0%
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	-	36,941 Sq Ft
12	*Front Yard Setback (Ft.)	35 Ft	128.7 Ft
13	* Side Yard Setback (1st Story) (Ft.)	35 Ft	S 7.6 Ft. / N 30 Ft
14	* Side Yard Setback (2nd Story) (Ft.)	35 Ft	S 7.6 Ft. / N 32 Ft
15	*Rear Yard Setback (Ft.)	15 Ft	187.7 Ft
16	Angle of Vision (Deg.)	108 deg	34 deg
17	Building Height (Ft.)	30 Ft	29.5 Ft
18	Overall Building Height (Ft.)	40 Ft	34.8 Ft
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A
20	** Max. Fill Added to Site (Ft.)	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	7.0 Ft	11.0 Ft (basement)
22	Base Flood Elevation (BFE)(NAVD)	7.0 Ft	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	55%	62%
24	Perimeter LOS (Sq Ft and %)	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	45%	89%
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

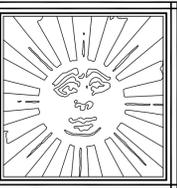
* Indicate each yard area with cardinal direction (N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

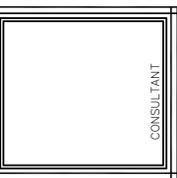
Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626



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AR9030

ADDITIONS/RENOVATION TO
LA BELLUCIA

1200 SOUTH OCEAN BLVD
PALM BEACH, FLORIDA

GROUND FLOOR ARCHITECTURAL PLAN

22014

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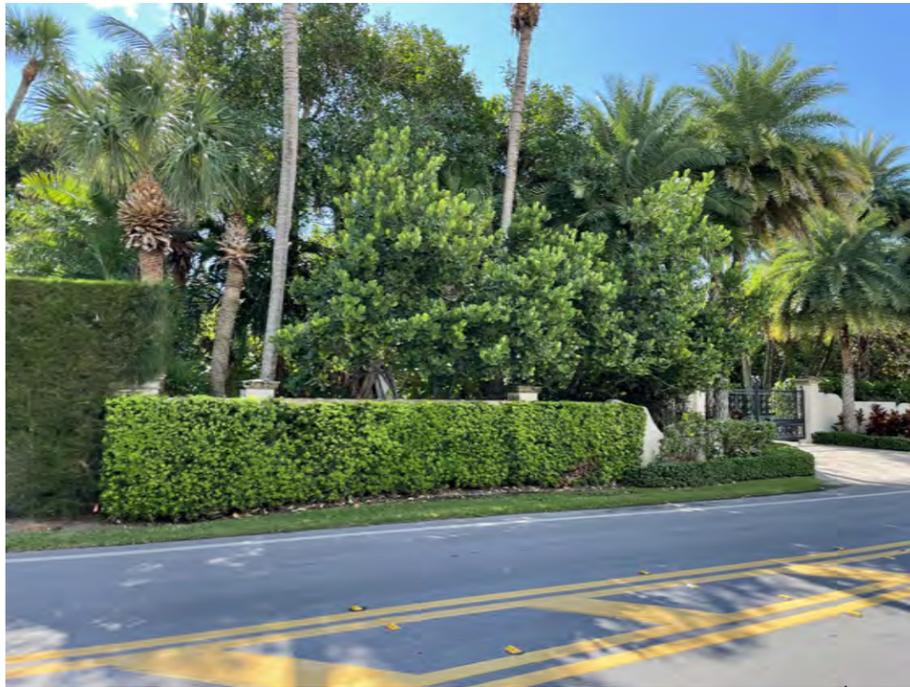
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1"=30'

8/29/23 DATE HCT3
M.M. CHK. DRWN

A1.0 DWG. NO.

COA-23-045



1200 S OCEAN BLVD (NORTH)



1200 S OCEAN BLVD (SOUTH)



OCEAN WOODS DR



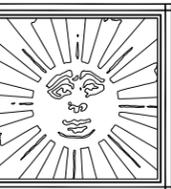
1170 S OCEAN BLVD (BATH & TENNIS CLUB)



AREA MAP



1230 S OCEAN BLVD



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NEIGHBORHOOD
PHOTOS
DRAWING

22014
JOB NO.

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REVISIONS

N.T.S. SCALE

9/11/23 DATE
M.M. CHK. DRWN

A1.2 DWG. NO.



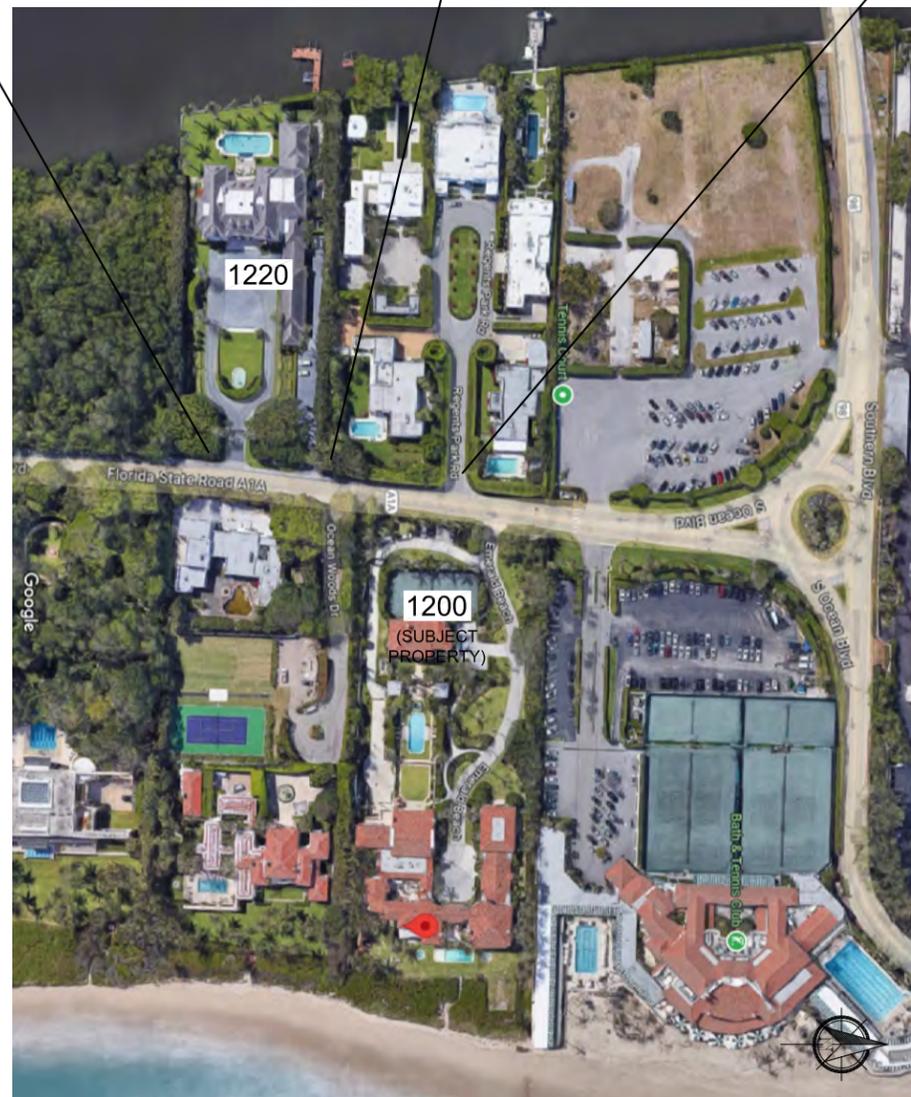
1220 S OCEAN BLVD



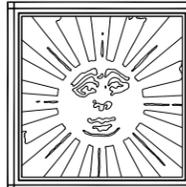
1220 S OCEAN BLVD



REGENTS PARK RD



AREA MAP



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A1.3 DWG. NO.



WEST SIDE OF ENTRY



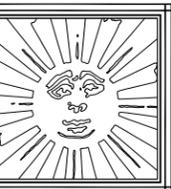
EAST SIDE AT PROPOSED ADDITION



EAST SIDE FACING SOUTH



EAST SIDE FACING NORTH



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EXISTING
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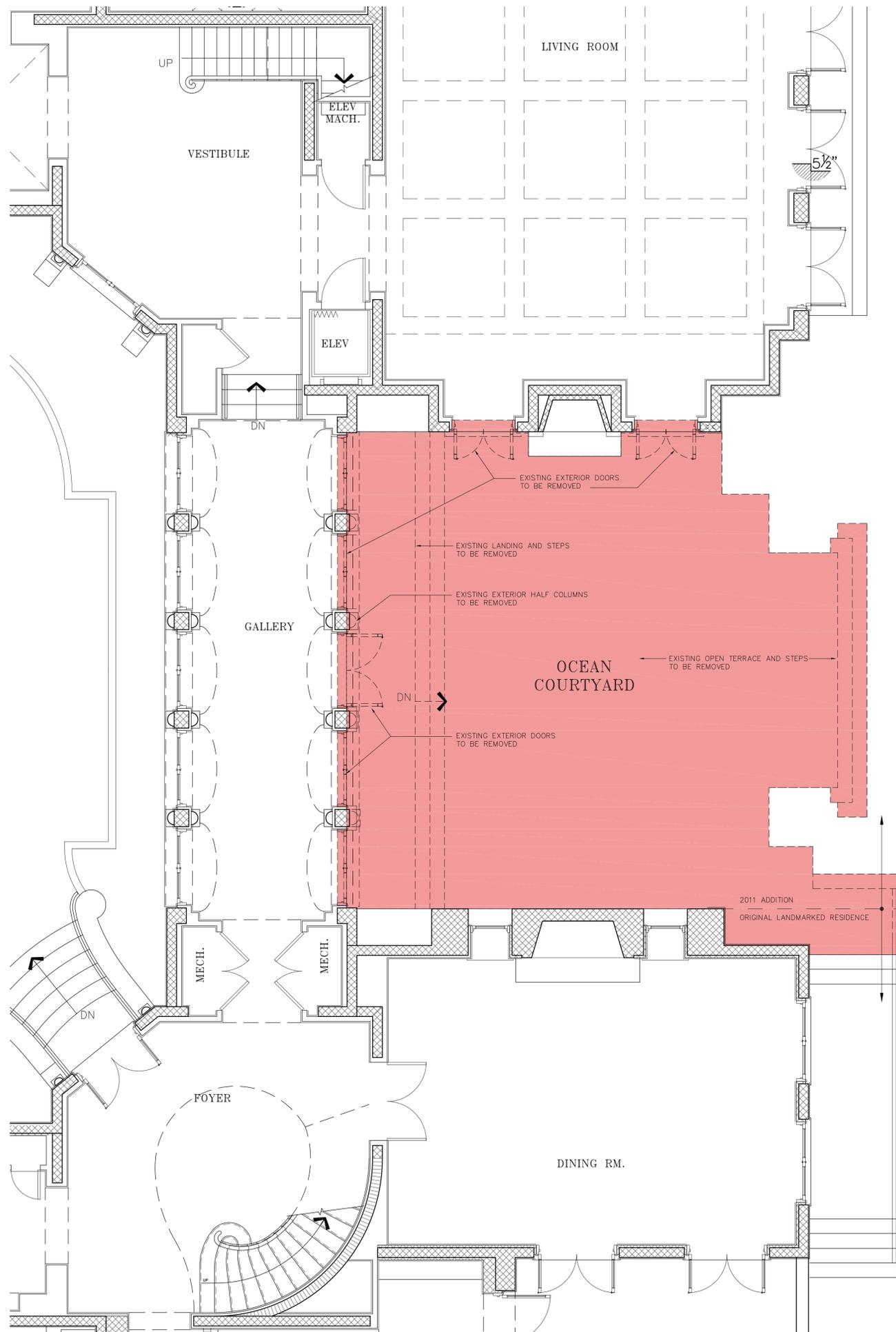
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REVISIONS

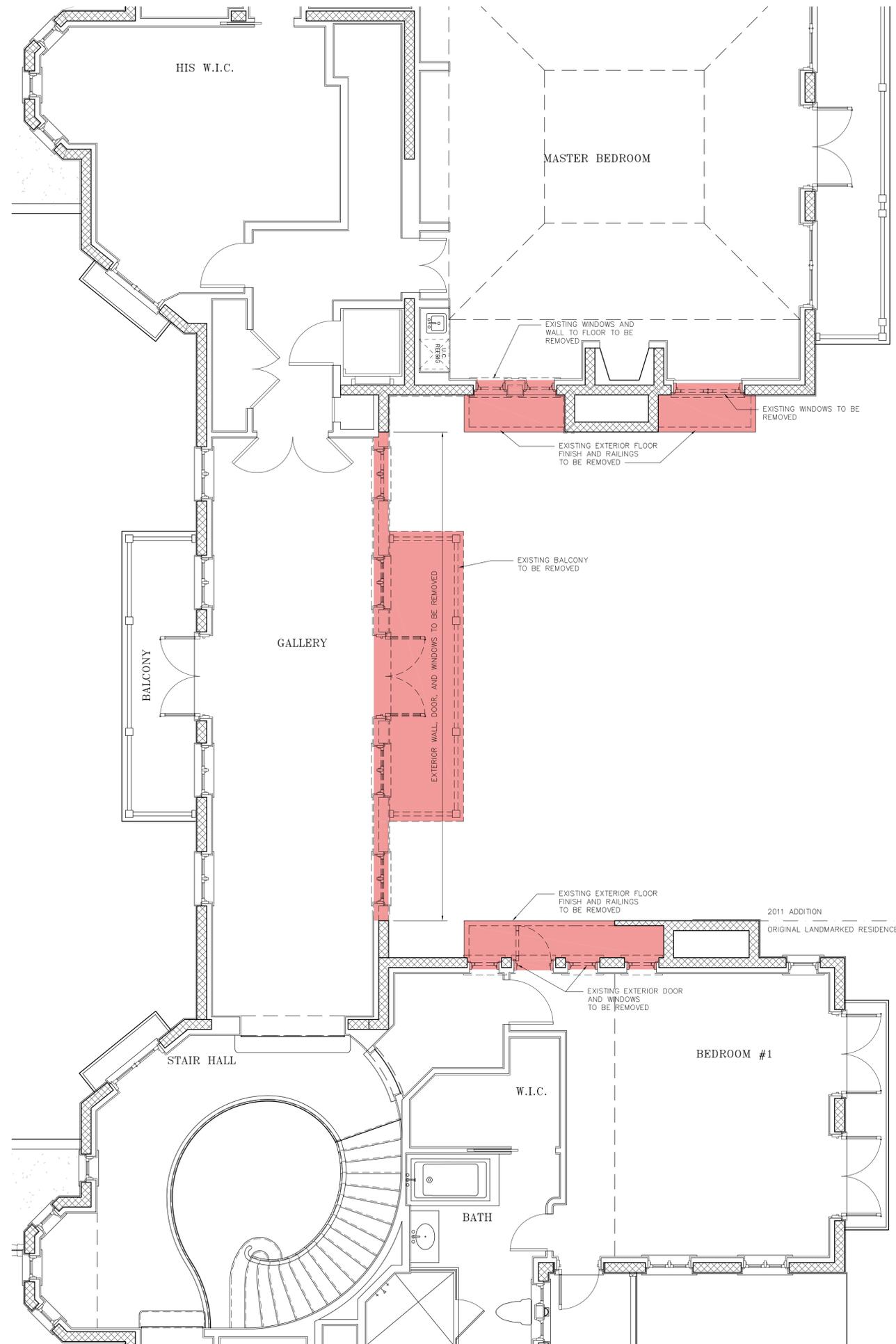
N.T.S.
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9/11/23	DATE	HCT3	CHK
		M.M	DRW

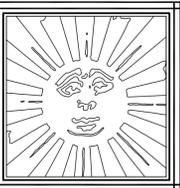
A1.4
 DWG. NO.



PROPOSED FIRST FLOOR DEMOLITION PLAN



PROPOSED SECOND FLOOR DEMOLITION PLAN



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 JOB
 1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA

DEMOLITION FLOOR PLANS
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4	9
5	10

REVISIONS

1/4"=1'-0" SCALE

9/11/23 DATE
 HCT3
 M.M. CHK. ERM

DWG. NO. D2.1

COA-23-045



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 JOB
**1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA**

DEMO ELEVATIONS
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22014
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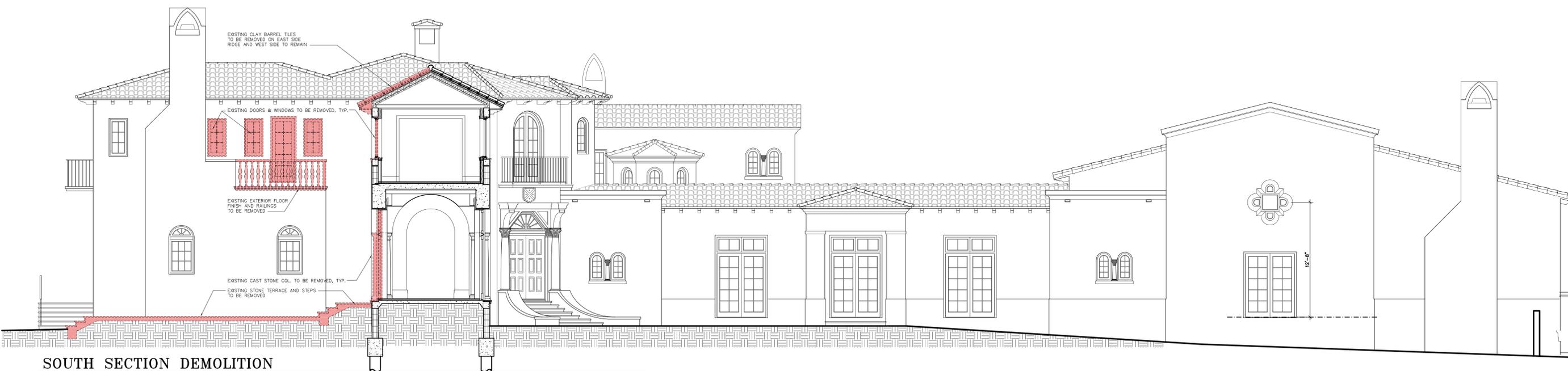
3/16"=1'-0" SCALE

9/11/23 DATE HCT3
 M.M. CHK. DRW

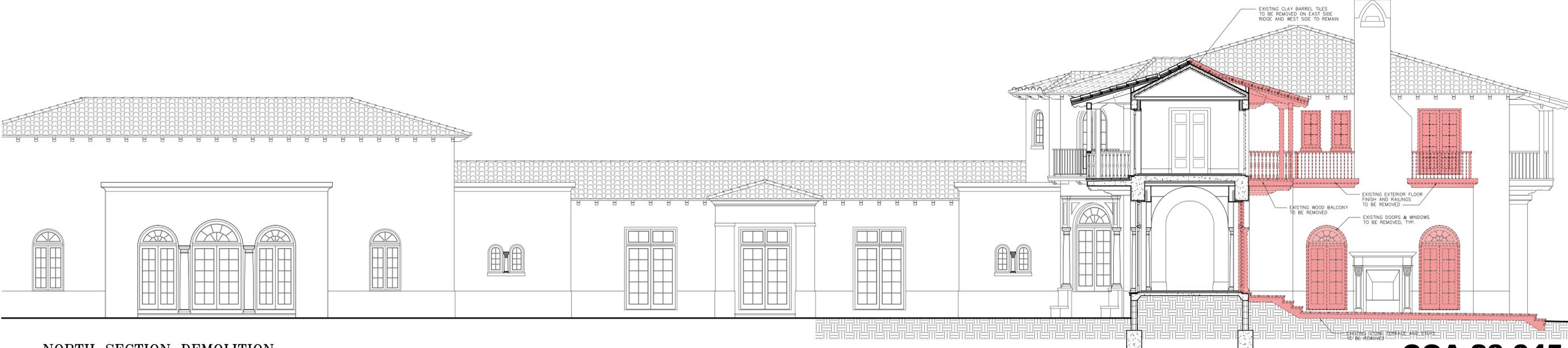
D4.1 DWG. NO.



EAST ELEVATION DEMOLITION

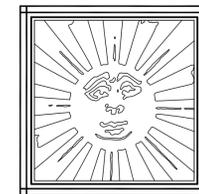


SOUTH SECTION DEMOLITION



NORTH SECTION DEMOLITION

COA-23-045



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**FIRST FLOOR
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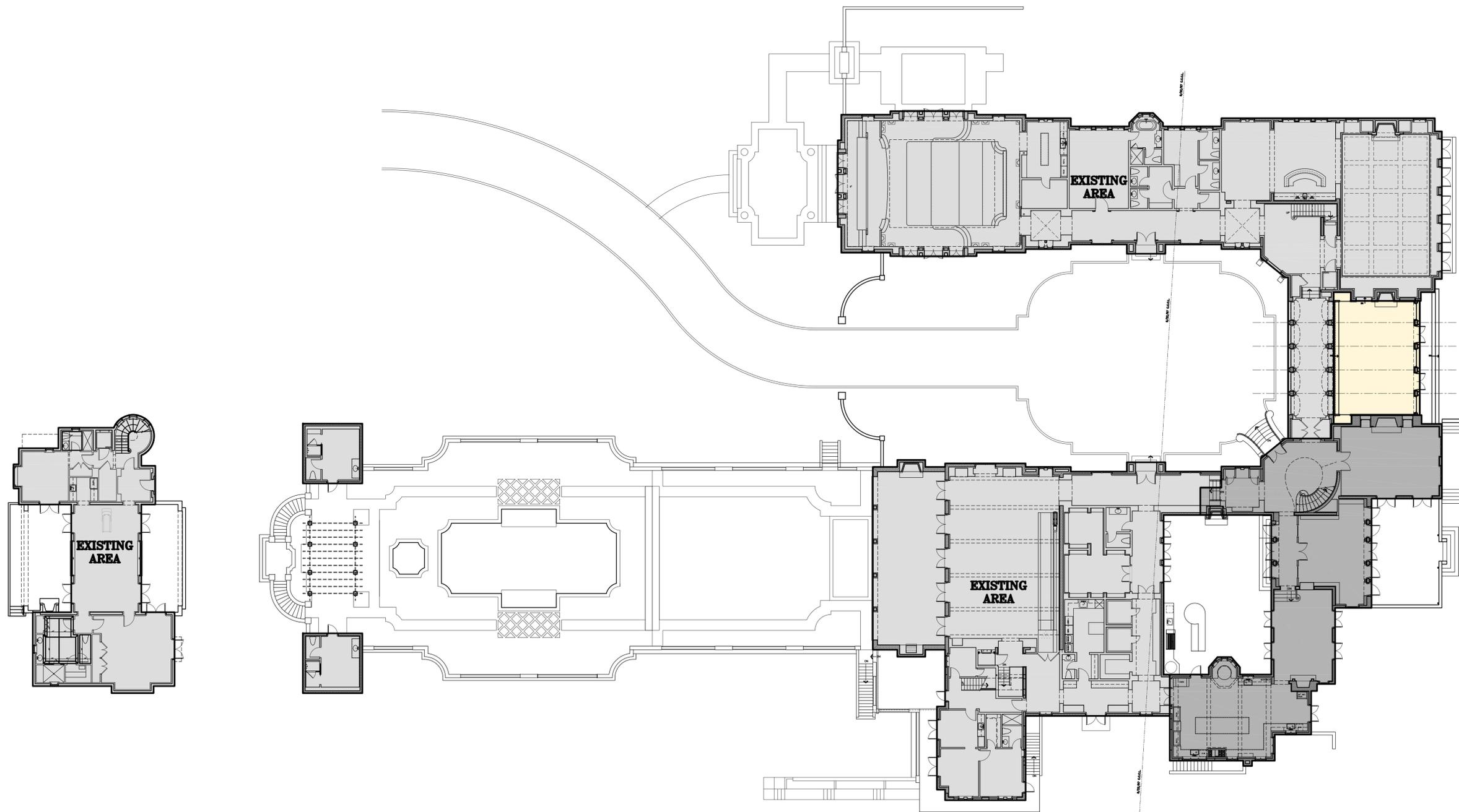
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REVISIONS

1"=15'
 SCALE

8/29/23 DATE HCT3
 M.M. CHK. DRW

A2.0.1
 DWG. NO.



-  EXISTING AREA (ORIGINAL ADDISON MIZNER)
-  EXISTING FLOOR AREA (2011 ADDITIONS)
-  NEW FLOOR AREA

FIRST FLOOR OVERALL PLAN

COA-23-045



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**SECOND FLOOR
 OVERALL PLAN**
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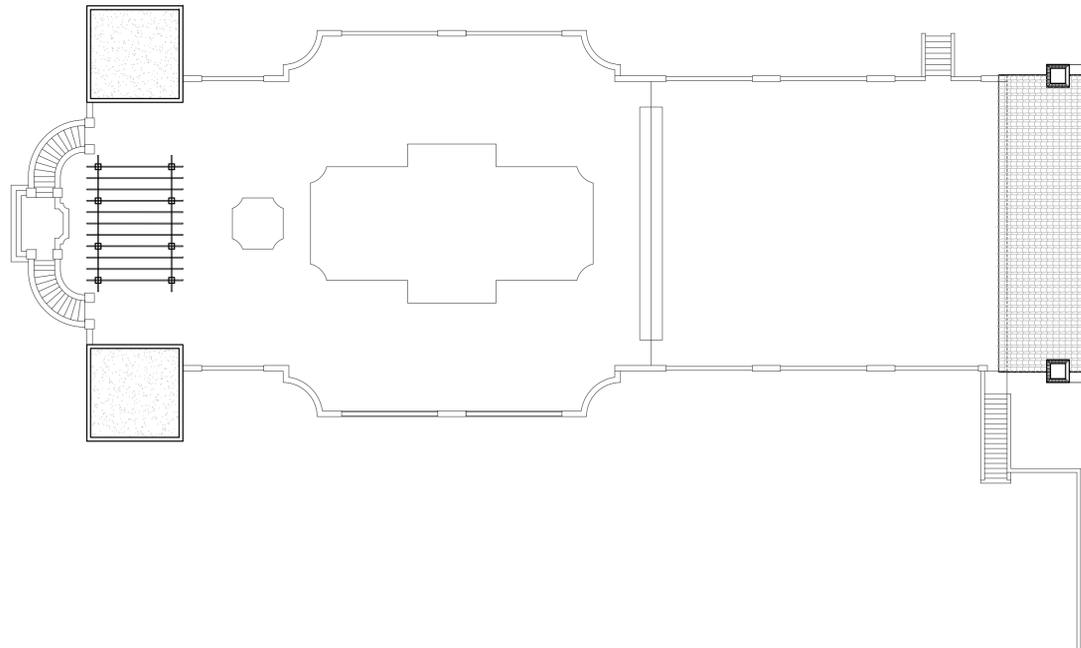
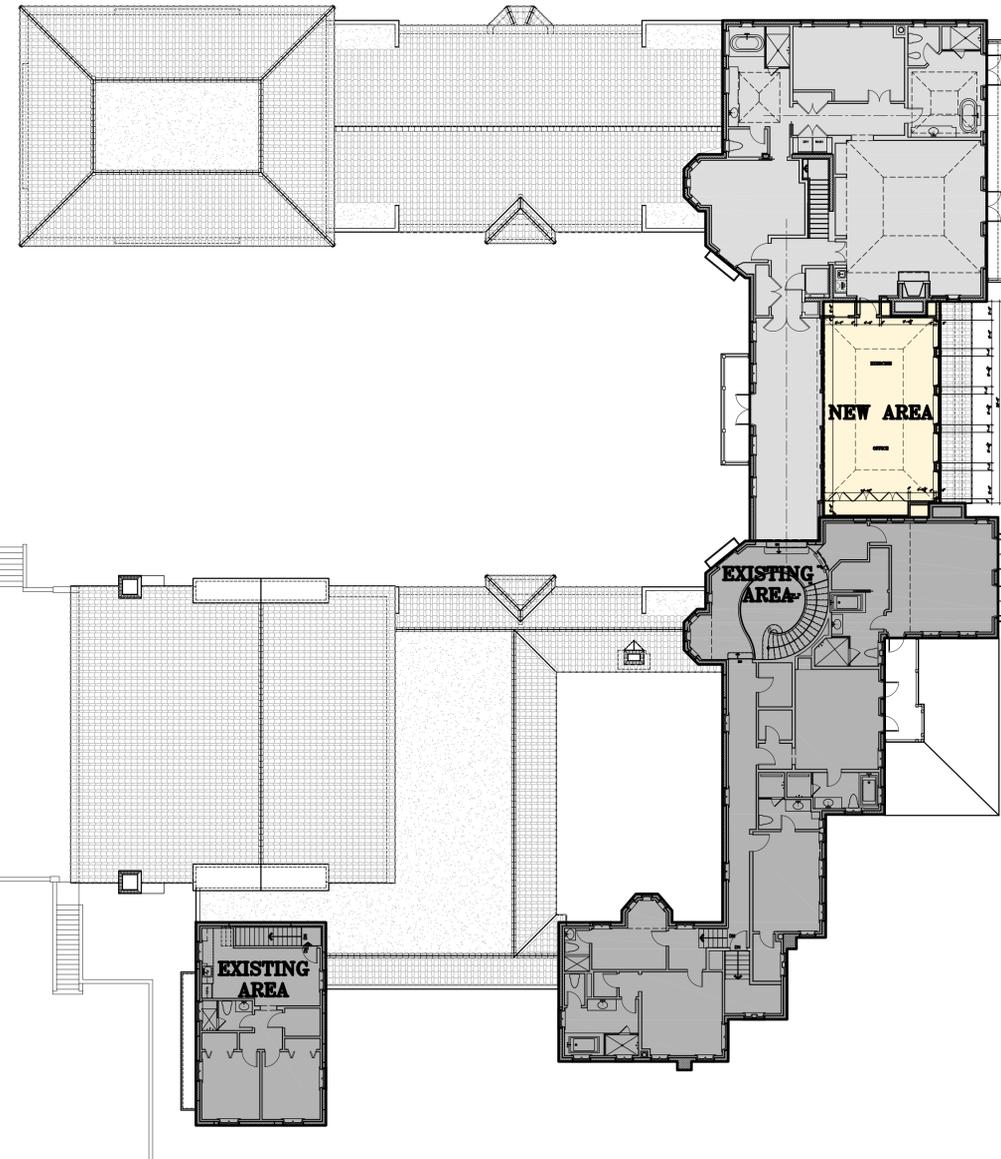
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REVISIONS

1"=15'
 SCALE

8/29/23	DATE	HCT3	CHK/DRWN
		M.M	

A2.0.2
 DWG. NO.

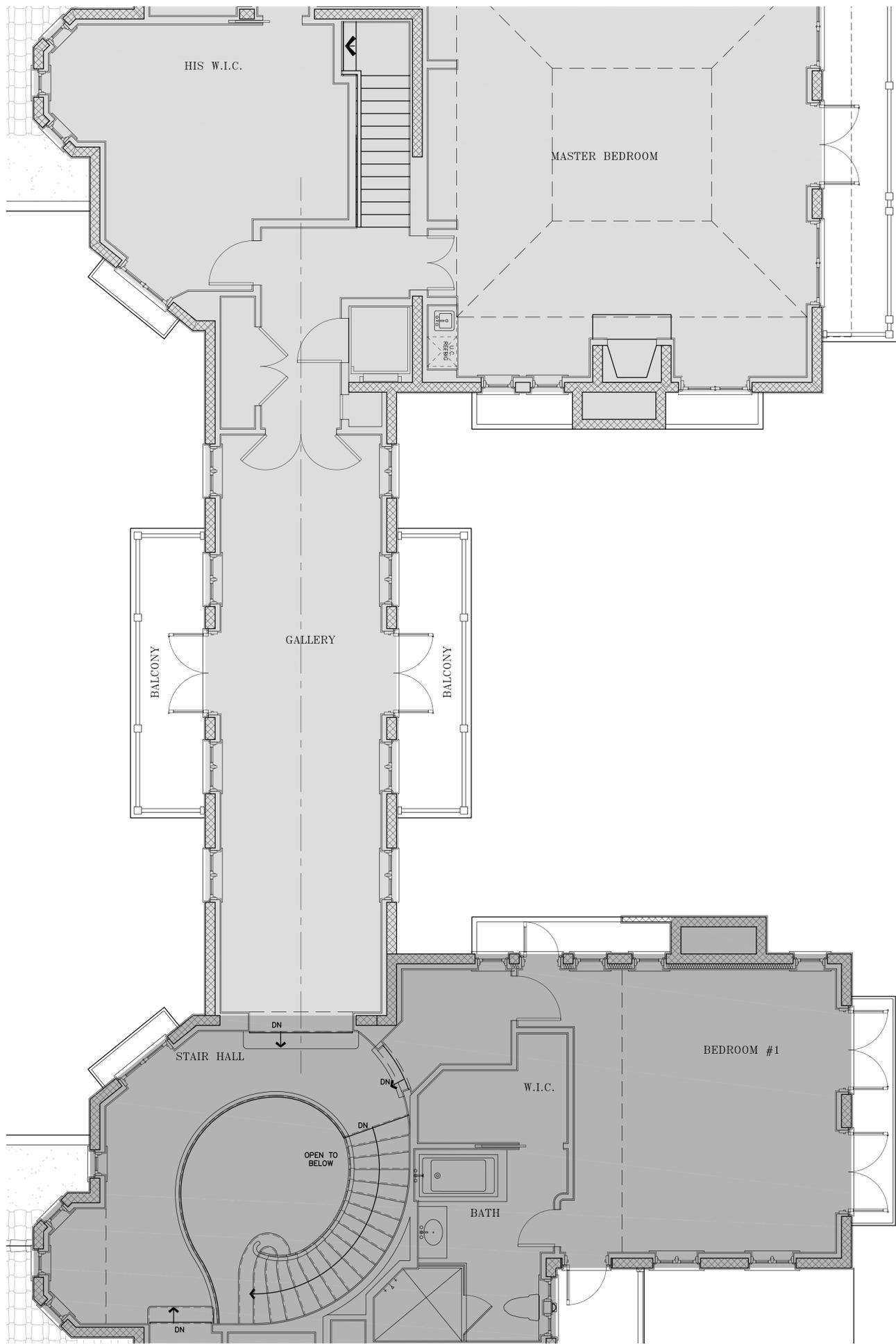


-  EXISTING AREA (ORIGINAL ADDISON MIZNER)
-  EXISTING FLOOR AREA (2011 ADDITIONS)
-  NEW FLOOR AREA

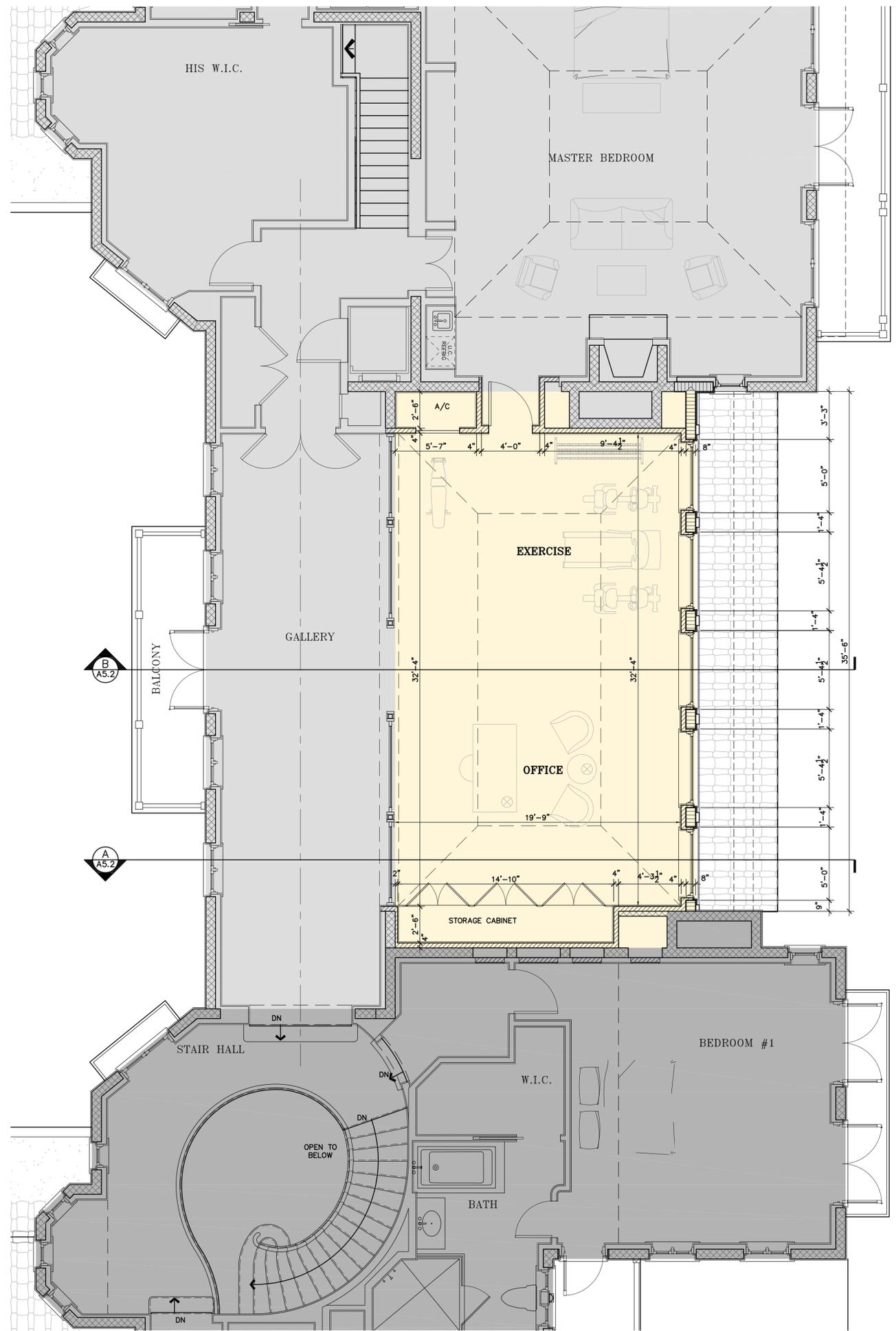
SECOND FLOOR OVERALL PLAN



COA-23-045



EXISTING SECOND FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



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**ARCHITECTURAL
 FLOOR PLANS**
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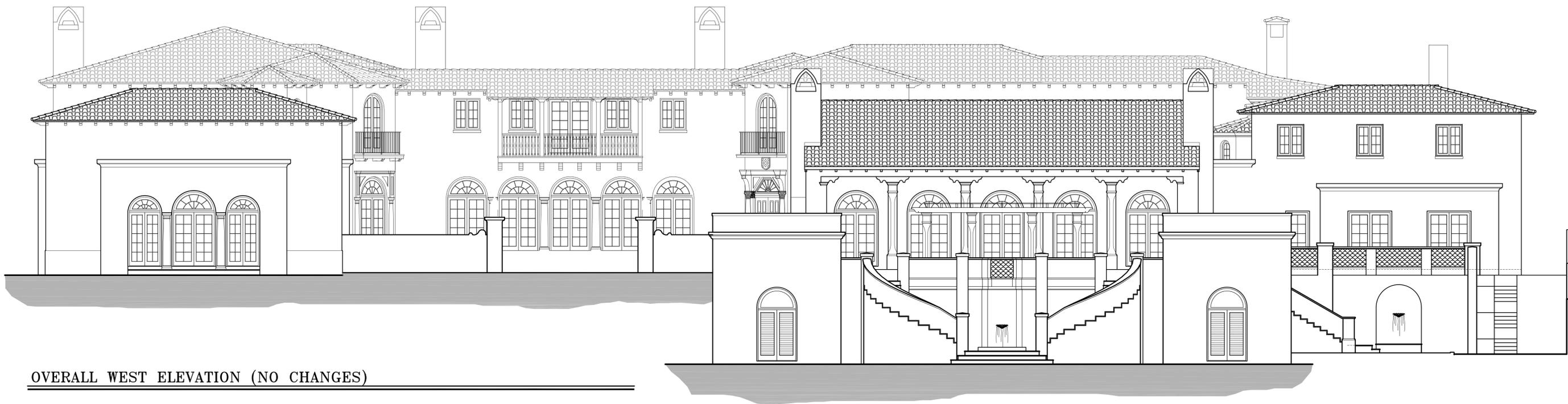
REVISIONS

1/4"=1'-0"
 SCALE

8/29/23 DATE HCT3
 M.M. CHK. DRW

A2.1.2
 DWG. NO.

COA-23-045



OVERALL WEST ELEVATION (NO CHANGES)



EXISTING OVERALL EAST ELEVATION



PROPOSED OVERALL EAST ELEVATION

EXTENT OF PROPOSED ADDITION



BRIDGES MARSH & ASSOCIATES, INC.
CHARTERED ARCHITECTS
 Eighteen Via Mizner
 Palm Beach, Florida 33480
 Phone: (561) 832 1533
 Fax: (561) 832 1520

CONSULTANT

MICHAEL MARK MARSH
 AR9030

 SEAL

ADDITIONS/RENOVATION TO
LA BELLUCIA
 JOB
**1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA**

OVERALL ELEVATIONS
 DRAWING

22014
 JOB NO.

NOTE:
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 CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND THOROUGHLY CHECK ELEVATIONS AND DIMENSIONS BEFORE COMMENCING WORK. REPORT TO THE ARCHITECT ENGINEER ANY DISCREPANCIES, ERRORS OR CONDITIONS THAT WILL ALTER CONSTRUCTION AS INTENDED BY THESE DRAWINGS. ARCHITECT IS NOT RESPONSIBLE FOR ANY WORK AND/OR MATERIALS FURNISHED ON THE JOB.

1	6
2	7
3	8
4	9
5	10

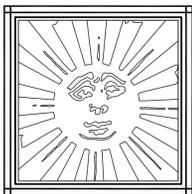
REVISIONS

1/4"=1'-0" SCALE

8/29/23 DATE HCT3
 M.M. CHK. ERW

A4.1 DWG. NO.

COA-23-045



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ADDITIONS/RENOVATION TO
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 JOB
**1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA**

EAST ELEVATION
 DRAWING

22014
 JOB NO.

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1	6
2	7
3	8
4	9
5	10

REVISIONS

1/4" = 1'-0"
 SCALE

8/29/23	DATE	HCT3	CHK. DRWN
		M.M.	

A4.2
 DWG. NO.

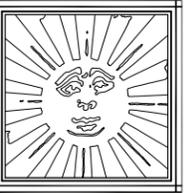


EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

COA-23-045



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 JOB
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 PALM BEACH, FLORIDA

EAST ELEVATION
 DRAWING

22014
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1	6
2	7
3	8
4	9
5	10

REVISIONS

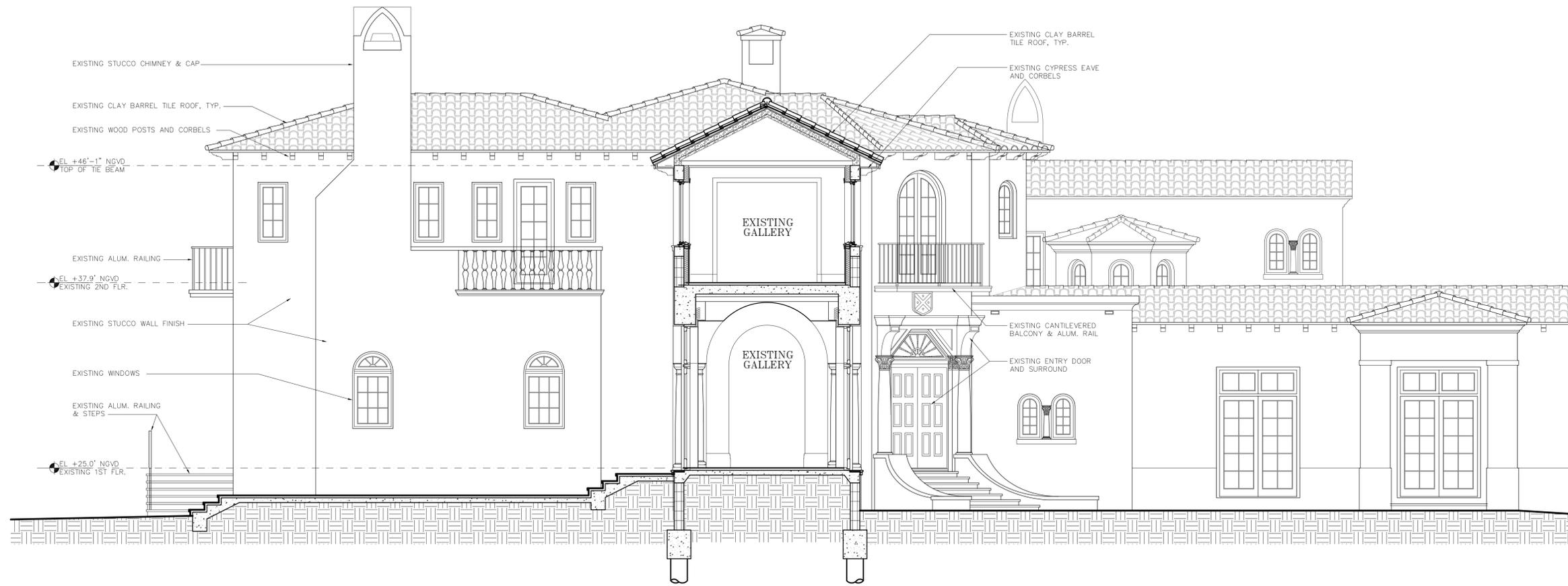
1/4" = 1'-0"
 SCALE

8/29/23	DATE	HCT3
		M.M
		CHK/DRWN

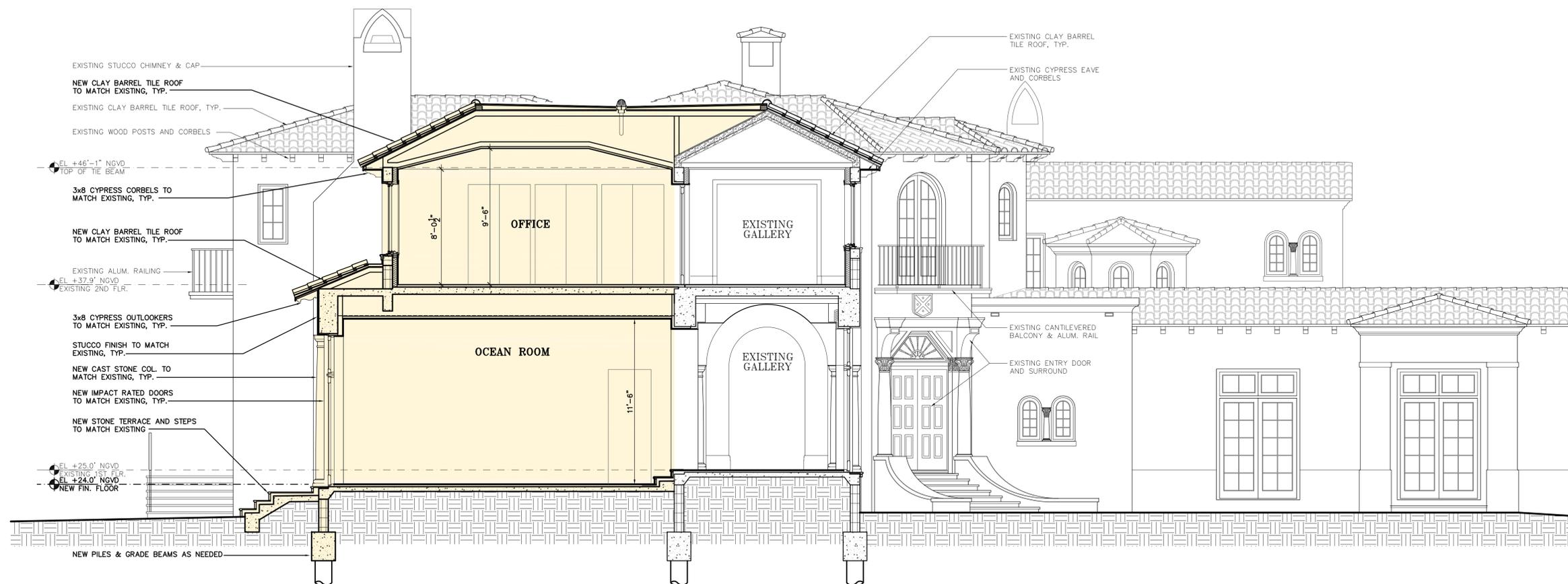
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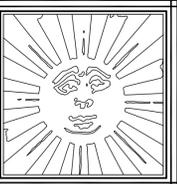
EAST ELEVATION COLORED



EXISTING BUILDING SECTION A



PROPOSED BUILDING SECTION A



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ADDITIONS/RENOVATION TO
LA BELLUCIA
 JOB
 1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA

BUILDING SECTION
 DRAWING

22014
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1	6
2	7
3	8
4	9
5	10

REVISIONS

1/4"=1'-0"
 SCALE

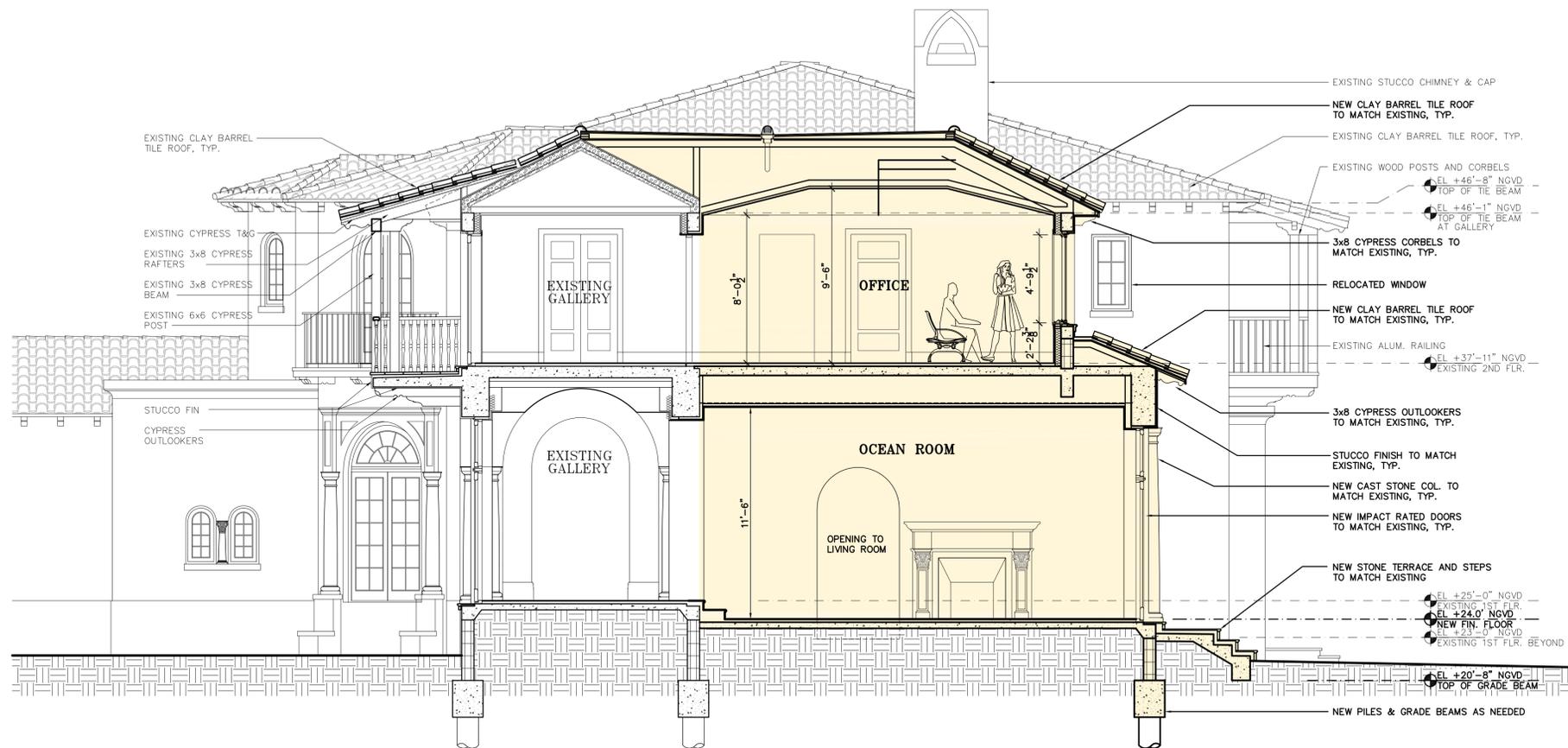
8/29/23	DATE	HCT3	CHK
		M.M	DRWN

A5.1
 DWG. NO.

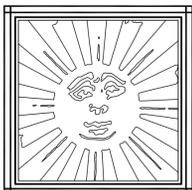
COA-23-045



EXISTING BUILDING SECTION



PROPOSED BUILDING SECTION



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ADDITIONS/RENOVATION TO
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 JOB
**1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA**

BUILDING SECTION
 DRAWING

22014
 JOB NO.

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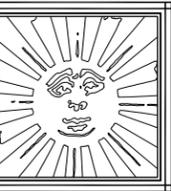
1	6
2	7
3	8
4	9
5	10

1/4"=1'-0"
 SCALE

8/29/23 DATE HCT3
 M.M. CHK. DRWN

A5.2
 DWG. NO.

COA-23-045



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 Palm Beach, Florida 33480
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 Fax: (561) 832 1520

CONSULTANT

MICHAEL MARK MARSH
 AR9030
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ADDITIONS/RENOVATION TO
LA BELLUCIA
 JOB
**1200 SOUTH OCEAN BLVD
 PALM BEACH, FLORIDA**

CONCEPTUAL
 RENDERING
 DRAWING

22014
 JOB NO.

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 CHECK ELEVATIONS AND DIMENSIONS
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 ANY DISCREPANCIES, ERRORS OR
 OMISSIONS.
 CONSTRUCTION AS INTENDED BY
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 AND/OR MATERIALS FURNISHED
 ON THE JOB.

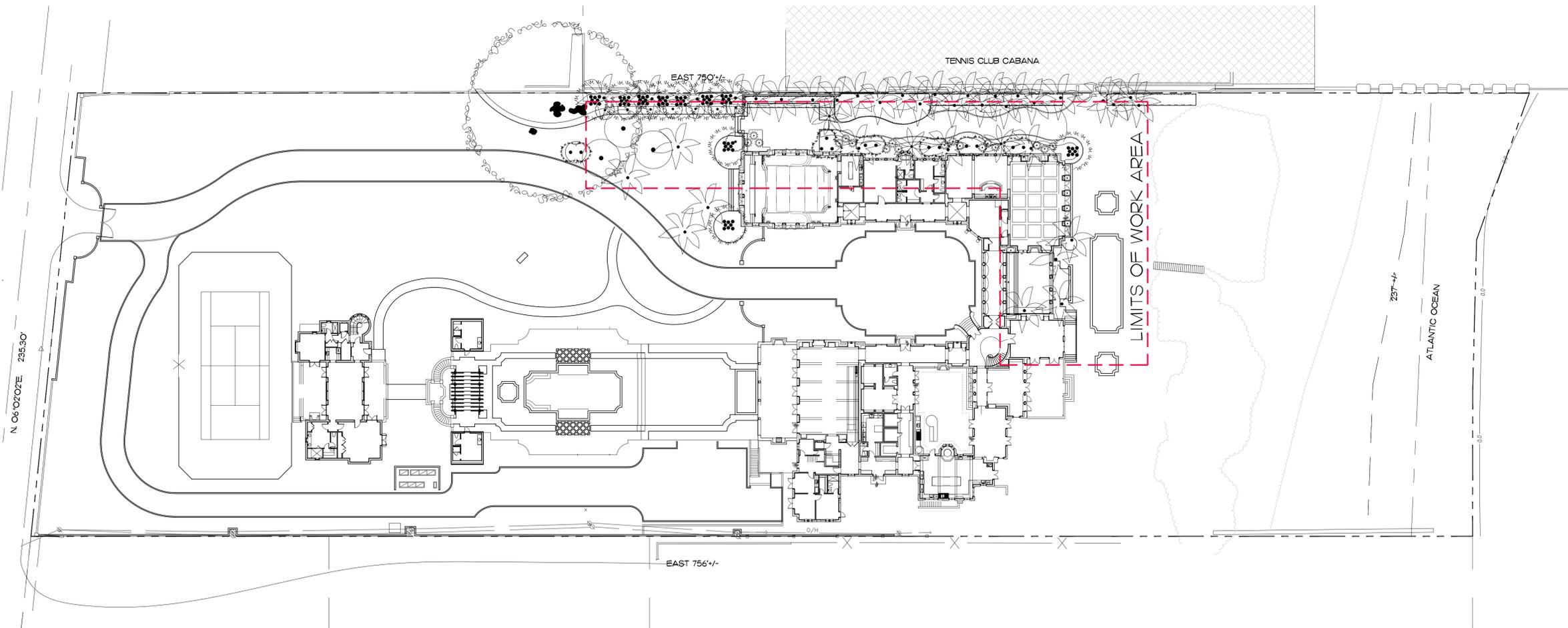
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2	7
3	8
4	9
5	10

REVISIONS

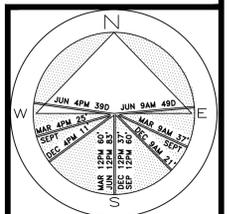
N.T.S. SCALE

9/11/23 DATE
 M.M. CHK. DRWN

R1 DWG. NO.



LA BELLUCIA
1200 S. Ocean Blvd.
Town of Palm Beach
 F L O R I D A



JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 DATE: 08.09.2023

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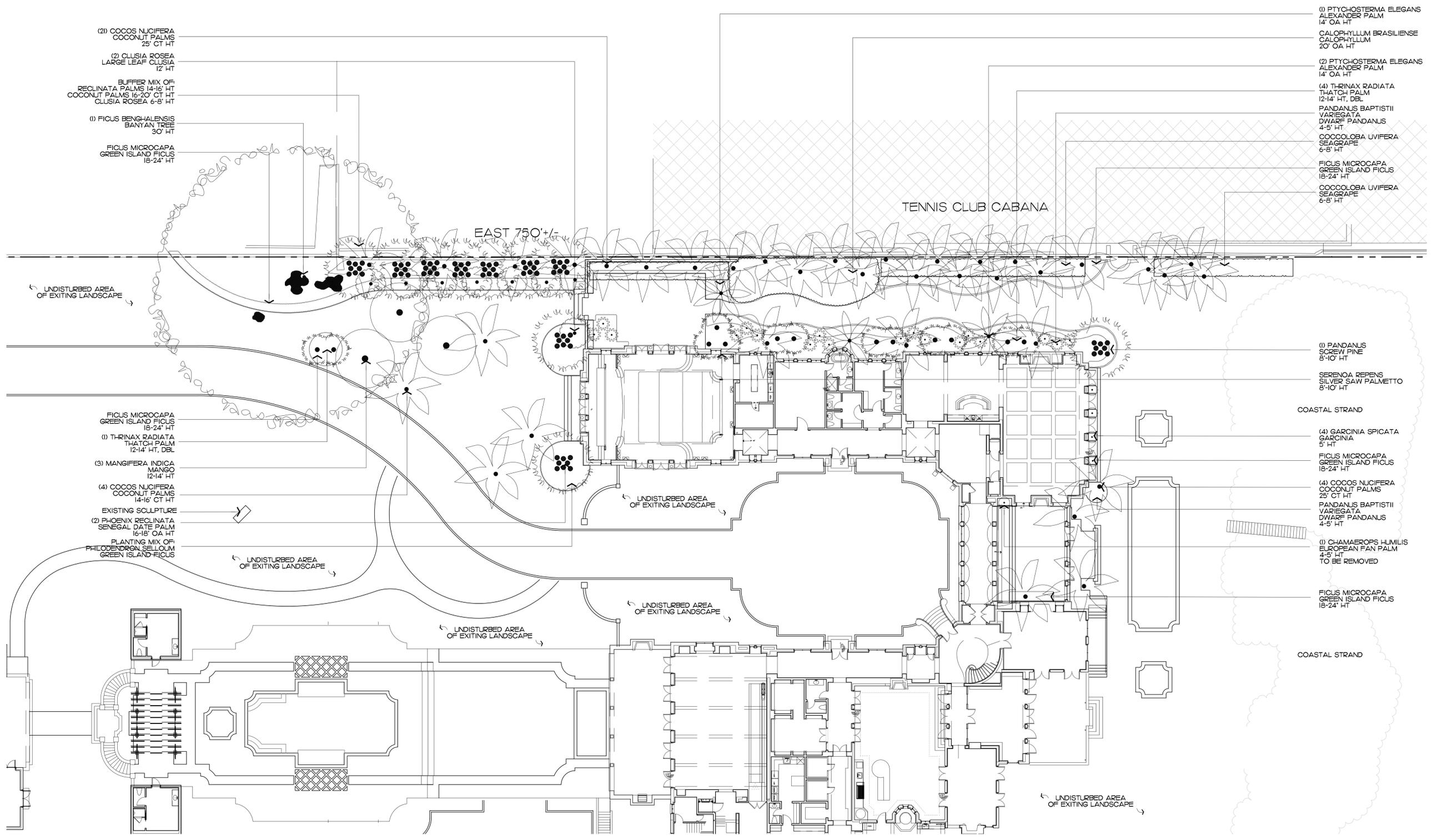
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48 HOURS BEFORE DIGGING
 CALL TOLL FREE
1-800-432-4770
 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.

Existing Vegetation Inventory & Action Plan

COA #23-045
 SCALE IN FEET 0' 30' 60' 90'
 AREA IN SQ.FT. 900sf.

SHEET L1



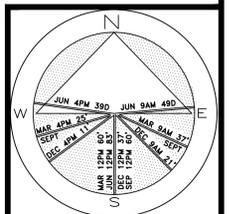
- (2) COCOS NUCIFERA
COCONUT PALMS
25' CT HT
- (2) CLUSIA ROSEA
LARGE LEAF CLUSIA
12' HT
- BUFFER MIX OF:
REOLINATA PALMS 14-16' HT
COCONUT PALMS 16-20' CT HT
CLUSIA ROSEA 6-8' HT
- (1) FICUS BENGHALENSIS
BANYAN TREE
30' HT
- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT

- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT
- (1) THINAX RADIATA
THATCH PALM
12-14' HT, DBL
- (3) MANGIFERA INDICA
MANGO
12-14' HT
- (4) COCOS NUCIFERA
COCONUT PALMS
14-16' CT HT
- EXISTING SCULPTURE
- (2) PHOENIX REOLINATA
SENEGAL DATE PALM
16-18' OA HT
- PLANTING MIX OF:
PHILODENDRON SELLOUM
GREEN ISLAND FICUS

- (1) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
- (2) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
- (4) THINAX RADIATA
THATCH PALM
12-14' HT, DBL
- PANDANUS BAPTISTII
VARIEGATA
DWARF PANDANUS
4-5' HT
- COCCOLOBA UVIFERA
SEAGRAPE
6-8' HT
- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT
- COCCOLOBA UVIFERA
SEAGRAPE
6-8' HT

- (1) PANDANUS
SILVER SAW PALMETTO
8-10' HT
- SERENOA REPENS
SILVER SAW PALMETTO
8-10' HT
- COASTAL STRAND
- (4) GARCINIA SPICATA
GARCINIA
5' HT
- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT
- (4) COCOS NUCIFERA
COCONUT PALMS
25' CT HT
- PANDANUS BAPTISTII
VARIEGATA
DWARF PANDANUS
4-5' HT
- (1) CHAMAEROPS HUMILIS
EUROPEAN FAN PALM
4-5' HT
TO BE REMOVED
- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT
- COASTAL STRAND

LA BELLUCIA
1200 S. Ocean Blvd.
Town of Palm Beach



JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 DATE: 08.29.2023

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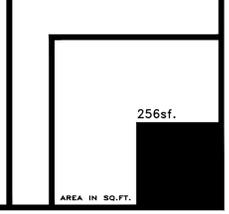
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 SUNSHINE STATE ONE CALL
 OF FLORIDA, INC.

Existing Vegetation Inventory & Action Plan

COA #23-045

SCALE IN FEET 0' 16' 32' 48'

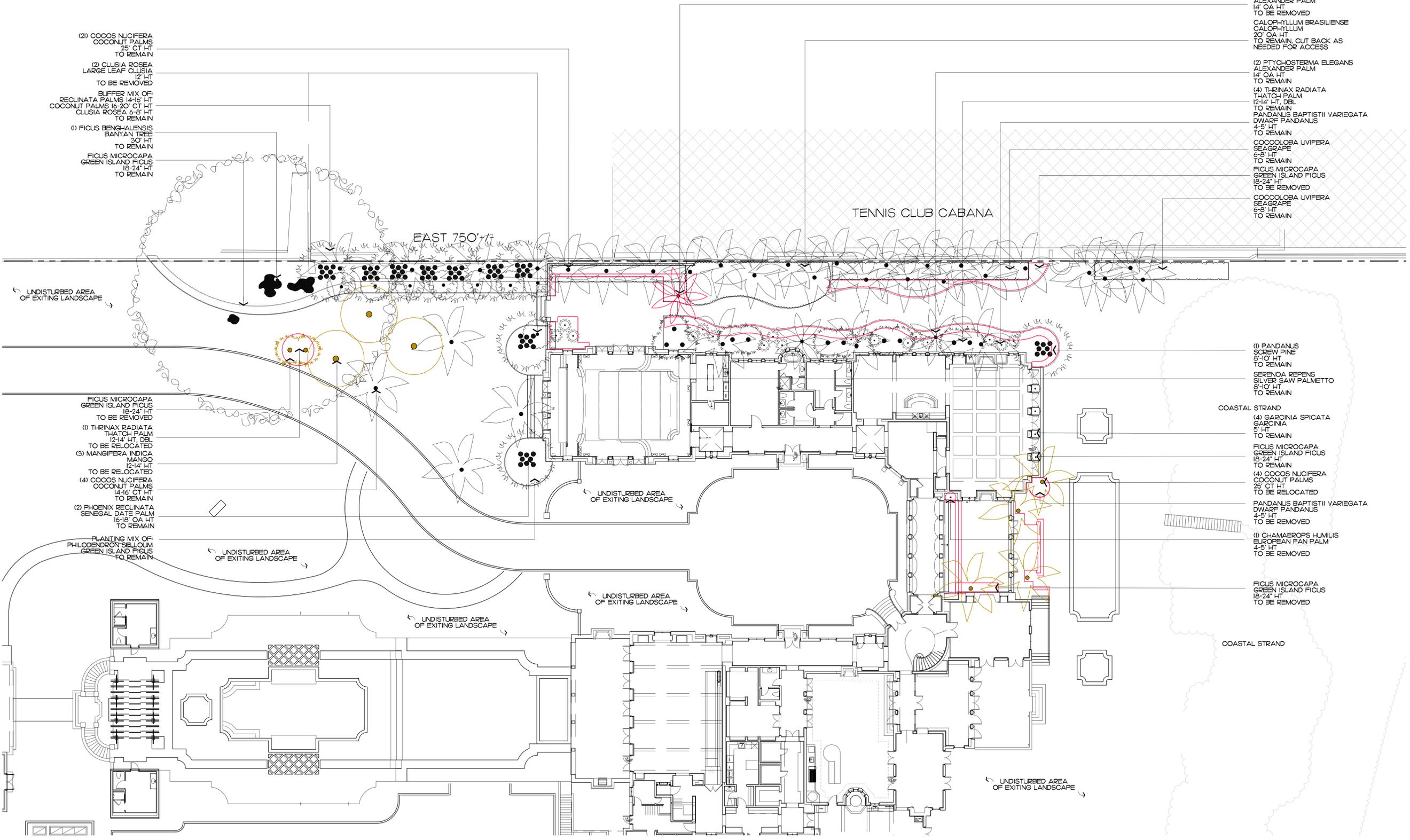
SHEET L1.a



256sf.

LA BELLUCIA
1200 S. Ocean Blvd.
Town of Palm Beach

A
D
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F



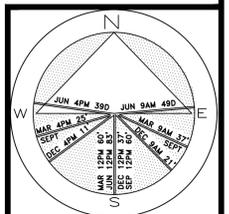
- (2) COCOS NUCIFERA
COCONUT PALMS
25' CT HT
TO REMAIN
- (2) CLUSIA ROSEA
LARGE LEAF CLUSIA
12' HT
TO BE REMOVED
- BUFFER MIX OF:
RECLINATA PALMS 14-16' HT
COCONUT PALMS 16-20' CT HT
CLUSIA ROSEA 6-8' HT
TO REMAIN
- (1) FICUS BENGHALENSIS
BANYAN TREE
30' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FIGUS
18-24' HT
TO REMAIN

- (1) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
TO BE REMOVED
- CALOPHYLLUM BRASILIENSE
CALOPHYLLUM
20' OA HT
TO REMAIN, CUT BACK AS
NEEDED FOR ACCESS
- (2) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
TO REMAIN
- (4) THINAX RADIATA
THATCH PALM
12-14' HT, DBL
TO REMAIN
- PANDANUS BAPTISTII VARIEGATA
DWARF PANDANUS
4-5' HT
TO REMAIN
- COCOLOBA UVIFERA
SEAGRAPE
6-8' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FIGUS
18-24' HT
TO BE REMOVED
- COCOLOBA UVIFERA
SEAGRAPE
6-8' HT
TO REMAIN

- FICUS MICROCAPA
GREEN ISLAND FIGUS
18-24' HT
TO BE REMOVED
- (1) THINAX RADIATA
THATCH PALM
12-14' HT, DBL
TO BE RELOCATED
- (3) MANGIFERA INDICA
MANGO
12-14' HT
TO BE RELOCATED
- (4) COCOS NUCIFERA
COCONUT PALMS
14-16' CT HT
TO REMAIN
- (2) PHOENIX RECLINATA
SENEGAL DATE PALM
16-18' OA HT
TO REMAIN

- (1) PANDANUS
SCREW PINE
8-10' HT
TO REMAIN
- SERENOA REPENS
SILVER SAW PALMETTO
8-10' HT
TO REMAIN
- COASTAL STRAND
- (4) GARCINIA SPICATA
GARCINIA
5' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FIGUS
18-24' HT
TO REMAIN
- (4) COCOS NUCIFERA
COCONUT PALMS
25' CT HT
TO BE RELOCATED
- PANDANUS BAPTISTII VARIEGATA
DWARF PANDANUS
4-5' HT
TO BE REMOVED
- (1) CHAMAEROPS HUMILIS
EUROPEAN FAN PALM
4-5' HT
TO BE REMOVED

- FICUS MICROCAPA
GREEN ISLAND FIGUS
18-24' HT
TO BE REMOVED



JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 DATE: 08.29.2023

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COA #23-045

Materials Removal Plan
 SCALE IN FEET 0' 16' 32' 48'

SHEET L2



256sf.

- (2) COCOS NUCIFERA
COCONUT PALMS
25' CT HT
TO REMAIN
- (2) CLUSIA ROSEA
LARGE LEAF CLUSIA
12' HT
TO BE REMOVED
- BUFFER MIX OF:
RECLINATA PALMS 14-16' HT
COCONUT PALMS 16-20' CT HT
CLUSIA ROSEA 6-8' HT
TO REMAIN
- (1) FICUS BENGHALENSIS
BANYAN TREE
30' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT
TO REMAIN

- (1) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
TO BE REMOVED
- CALOPHYLLUM BRASILIENSE
CALOPHYLLUM
20' OA HT
TO REMAIN, CUT BACK AS
NEEDED FOR ACCESS
- (2) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
TO REMAIN
- (4) TRINAX RADIATA
THATCH PALM
12-14' HT DBL.
TO REMAIN
- PANDANUS BAPTISTII VARIEGATA
DWARF PANDANUS
4-5' HT
TO REMAIN
- COCCOLOBA UVIFERA
SEAGRAPE
6-8' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FICUS
18-24' HT
TO BE REMOVED
- COCCOLOBA UVIFERA
SEAGRAPE
6-8' HT
TO REMAIN

TEMPORARY STABILIZED
ACCESS PATH TO
REAR GARDEN SPACE

 HARDSCAPE TO BE
AMENDED TO
ALLOW FOR ACCESS
WILL BE REMOVED AFTER
CONSTRUCTION
COMPLETION

TENNIS CLUB CABANA

EAST 750'+/-

LANDSCAPE STAGING AREA
RELOCATED COCONUT
PALMS

CONSTRUCTION LIMITS AND
FENCE - SILT FENCING TO
BE INSTALLED AS NEEDED
SEE DETAIL ON SHEET L4

EXISTING SITE WALL
6'-8' HT

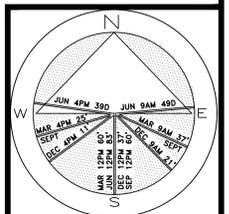
EXISTING SITE
WALL/FOUNTAIN
14' HT +/-

COASTAL STRAND

COASTAL STRAND

NOTE:
ADDITIONAL SCREENING SHALL BE
PROVIDED IF WORK IS VISIBLE FROM THE
RIGHTS-OF-WAY OR ADJACENT
NEIGHBOR'S PROPERTY, THEIR WINDOWS
(2ND FLOOR), OR BALCONIES

LA BELLUCIA
1200 S. Ocean Blvd.
Town of Palm Beach



JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 Sean Twomey
 DATE: 09.07.2023

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 OF FLORIDA, INC.

COA #23-045

Construction Screening Plan
 SCALE IN FEET 0' 16' 32' 48'

SHEET L3

256sf.
 AREA IN SQ.FT.



North Buffer



West Buffer

LA BELLUCIA
 1200 S. Ocean Blvd.
 Town of Palm Beach
 F L O R I D A

JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 DATE: 08.29.2023

2023
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2023
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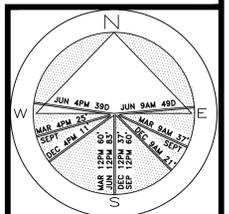
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COA #23-045

Landscape Buffer Images Plan

SHEET L3.a

LA BELLUCIA
1200 S. Ocean Blvd.
Town of Palm Beach

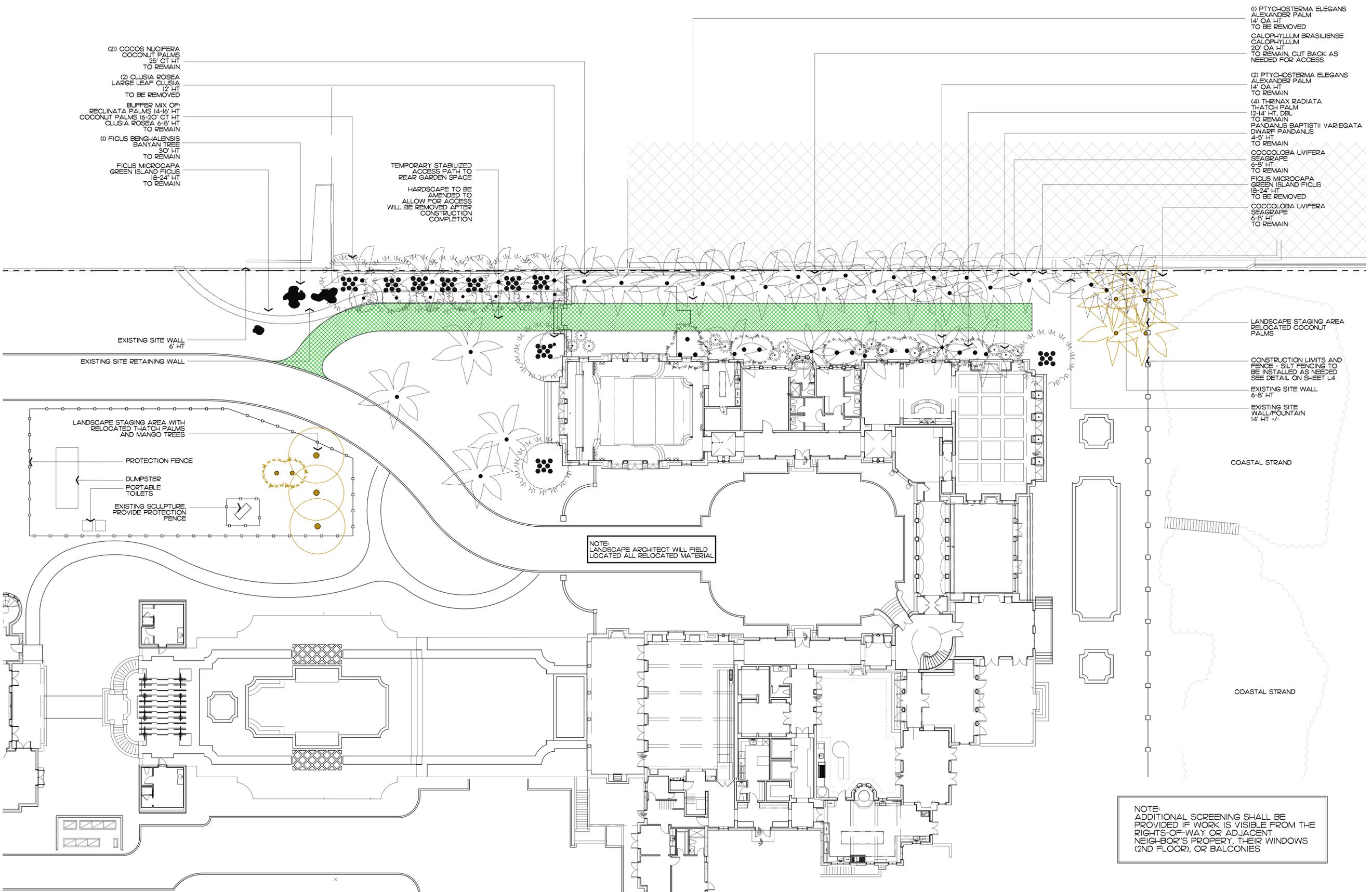


JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 Jean Tuomey
 DATE: 09.07.2023

SHEET L3b

256sf.

AREA IN SQ. FT.



- (2) COCOS NUCIFERA
COCONUT PALMS
25' CT HT
TO REMAIN
- (2) CLUSIA ROSEA
LARGE LEAF CLUSIA
14' HT
TO BE REMOVED
- BUFFER MIX OF:
RECLINATA PALMS 14-16' HT
COCONUT PALMS 16-20' CT HT
CLUSIA ROSEA 6-8' HT
TO REMAIN
- (1) FICUS BENGHALENSIS
BANYAN TREE
30' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FICUS
16-24' HT
TO REMAIN

TEMPORARY STABILIZED
ACCESS PATH TO
REAR GARDEN SPACE

HARDSCAPE TO BE
AMENDED TO
ALLOW FOR ACCESS
WILL BE REMOVED AFTER
CONSTRUCTION
COMPLETION

- (1) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
TO BE REMOVED
- CALOPHYLLUM BRASILIENSE
CALOPHYLLUM
20' OA HT
TO REMAIN, CUT BACK AS
NEEDED FOR ACCESS
- (2) PTYCHOSTERMA ELEGANS
ALEXANDER PALM
14' OA HT
TO REMAIN
- (4) TRINAX RADIATA
THATCH PALM
12-14' HT, DEL
TO REMAIN
- PANDANUS BAPTISTII VARIEGATA
DWARF PANDANUS
4-5' HT
TO REMAIN
- COCOLOBA UVIFERA
SEAGRAPE
6-8' HT
TO REMAIN
- FICUS MICROCAPA
GREEN ISLAND FICUS
16-24' HT
TO BE REMOVED
- COCOLOBA UVIFERA
SEAGRAPE
6-8' HT
TO REMAIN

- LANDSCAPE STAGING AREA
RELOCATED COCONUT
PALMS
- CONSTRUCTION LIMITS AND
FENCE - SILT FENCING TO
BE INSTALLED AS NEEDED
SEE DETAIL ON SHEET L4
- EXISTING SITE WALL
6-8' HT
- EXISTING SITE
WALL FOUNTAIN
14' HT +/-

NOTE:
LANDSCAPE ARCHITECT WILL FIELD
LOCATED ALL RELOCATED MATERIAL

NOTE:
ADDITIONAL SCREENING SHALL BE
PROVIDED IF WORK IS VISIBLE FROM THE
RIGHTS-OF-WAY OR ADJACENT
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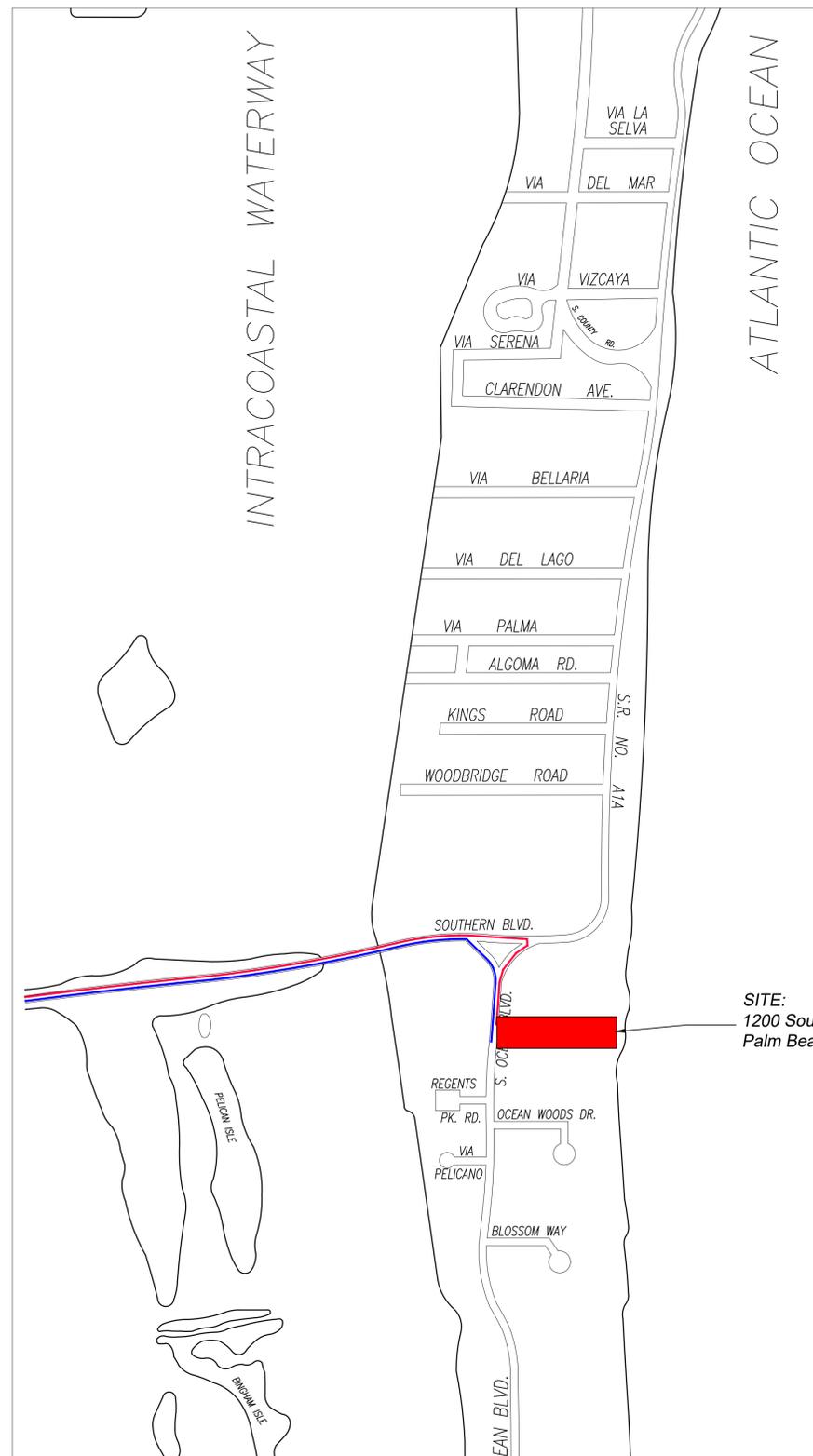
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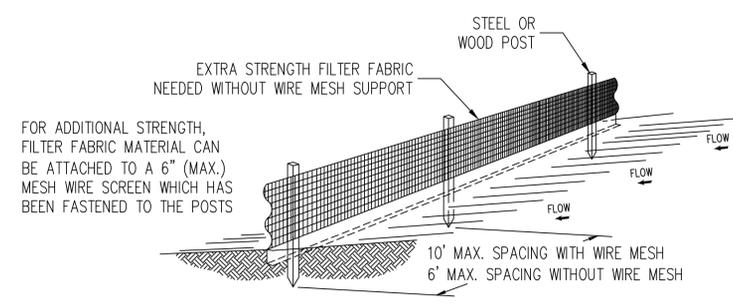
COA #23-045

Construction Staging Plan

SCALE IN FEET 0' 16' 32' 48'



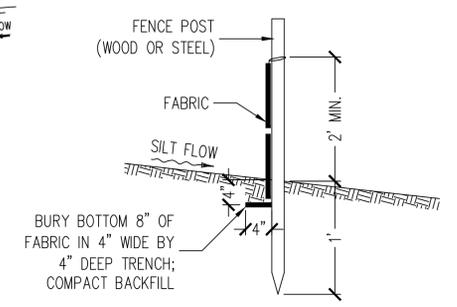
1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP



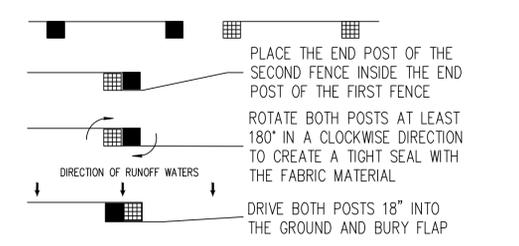
- Notes:**
- 1) The height of a silt fence shall not exceed 36".
 - 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
 - 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
 - 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
 - 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
 - 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
 - 7) The trench shall be backfilled and the soil compacted over the filter fabric.

SILT FENCE DETAIL
N.T.S.

NOTE: BEST MANAGEMENT PRACTICES FOR THE SITE NEED TO BE OBSERVED. ALL EROSION AND RUNOFF SHALL BE PREVENTED USING SILT FENCING.



SILT FENCE SECTION
N.T.S.

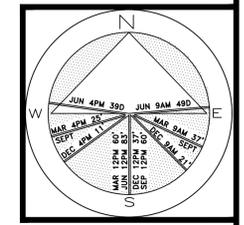


ATTACHING TWO SILT FENCES
N.T.S.

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

LA BELLUCIA
 1200 S. Ocean Blvd.
 Town of Palm Beach
 F L O R I D A



JOB NUMBER: # 2020112.00 LA
 DRAWN BY: Matt Jackman
 DATE: 08.29.2023

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Site Data

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE R-AA		R-AA	R-AA
LOT AREA	60,000 S.F. MINIMUM	175,500 SF	175,500 SF
LANDSCAPE OPEN SPACE	MINIMUM 55% 9,6525 S.F.	109,581 SF 62%	175,500 SF 62.0%
FRONT YARD LANDSCAPE OPEN SPACE	MINIMUM 45% 3,705 S.F.	7,347 SF 89%	7,347 SF 89%

Trees & Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CALOPHYLLUM BRASILIENSE CALOPHYLLUM TREE	AS NEEDED	20' OA. HT., FILL IN EXISTING	NO
	COCOS NUCIFERA COCONUT PALM	2	25' HT. SLIGHT CURVE	NO
	THRINAX RADIATA FLORIDA THATCH PALM	3	12'-14' HT.	YES
	TOTAL	5		
	NATIVE	3 (60%)		

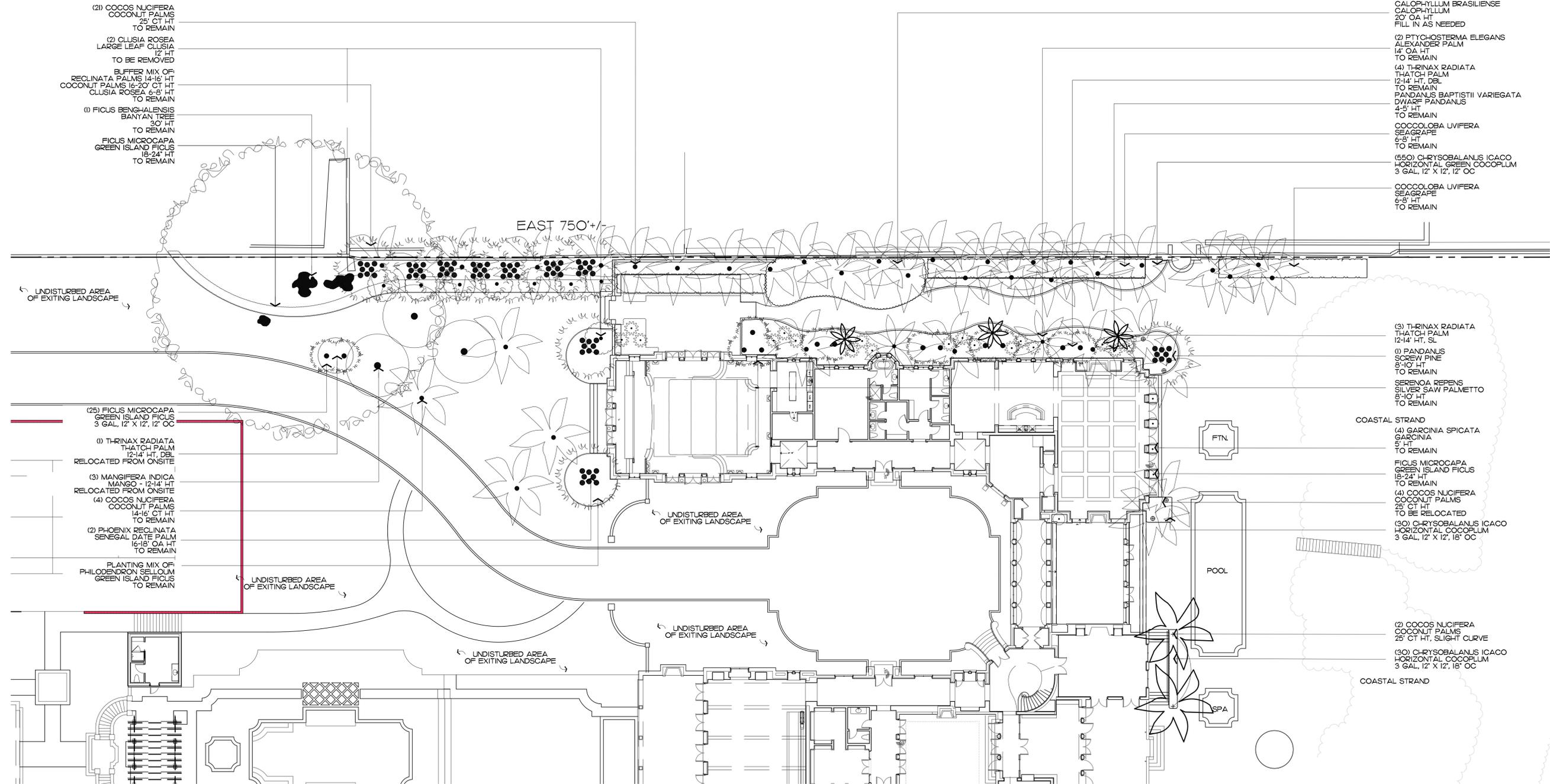
Shrubs

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CHRYSOBALANUS ICACO HORIZONTAL GREEN COCOPLUM	610	3 GAL., 12" X 12", 12" OC.	YES
	FICUS MICROCARPA GREEN ISLAND FICUS	25	3 GAL., 12" X 12", 12" OC.	NO
	TOTAL	635		
	NATIVE	610 (96%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
	SH-REDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

ENVIRONMENTAL DESIGN GROUP
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 Phone: 561.832.4600 Mobile: 561.313.4424
 Landscape Architecture
 Land Planning
 Landscape Management
 Dustin M. Mizell, M.L.A. P.L.A. #6666784
 Dustin@environmentaldesigngroup.com



LA BELLUCIA
 1200 S. Ocean Blvd.
 Town of Palm Beach

F L O R I D A

JOB NUMBER: # 2020112.00 LA
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COA #23-045

Planting Plan

SCALE IN FEET 0' 16' 32' 48'

SHEET L5

256 sf.
 AREA IN SQ. FT.

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3' DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR BED MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE NATURE PLANT GROWTH TOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMOUDA OR BUNT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER. EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10' - 12' OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II", LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING SHOULD BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

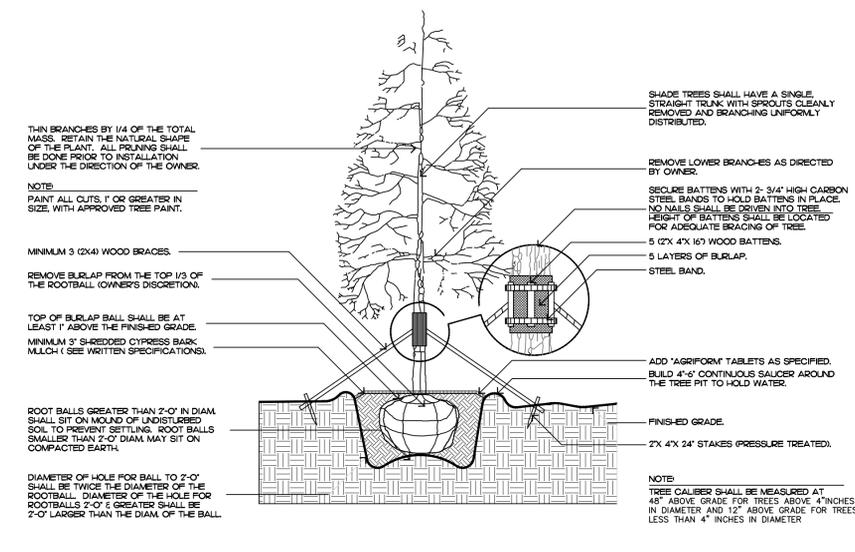
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

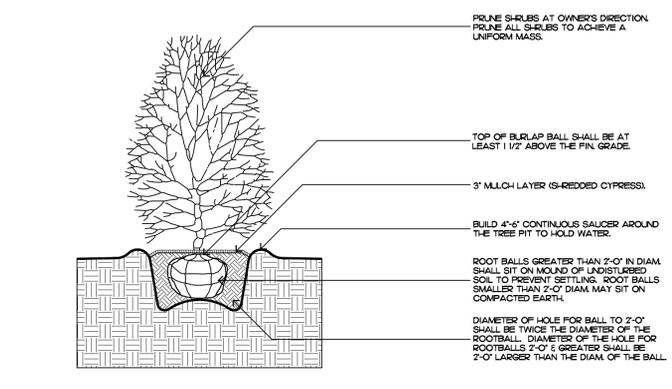
MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.



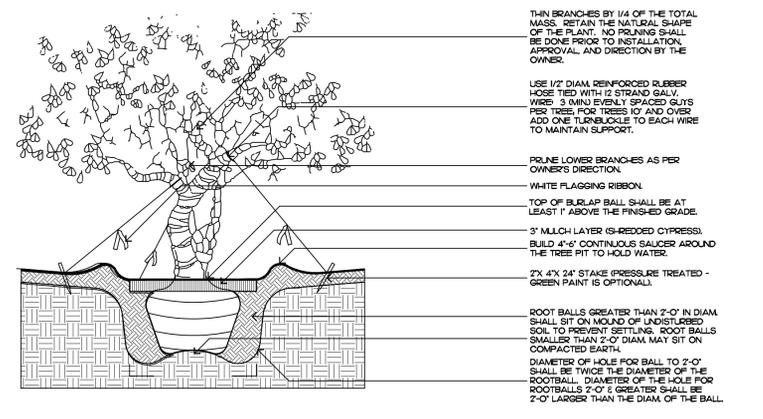
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

Tree Planting



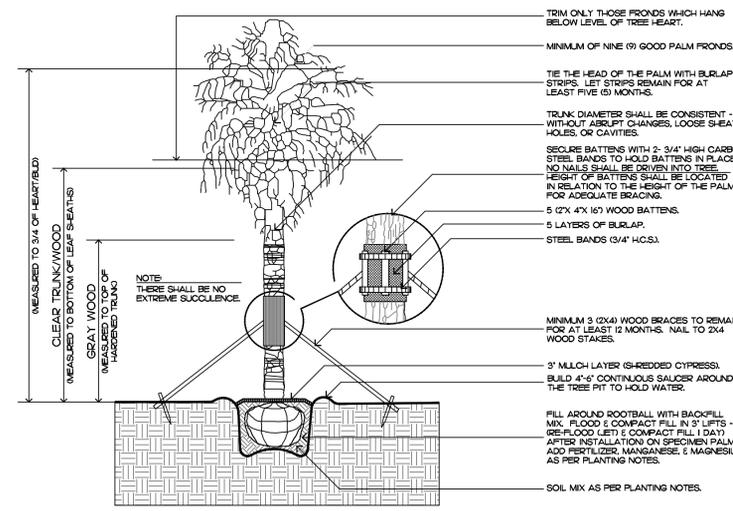
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

Shrub Planting



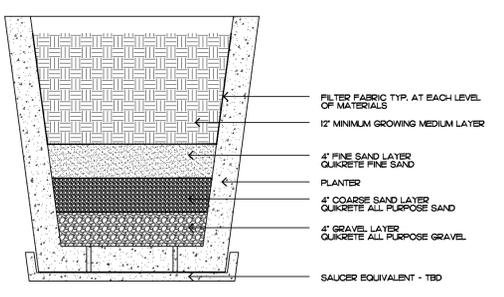
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

Irregular and Multi-stem Tree

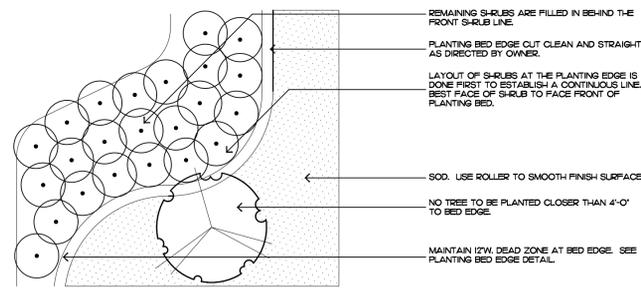


FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

Palm Tree Planting



Typical Planter Sediment Filtration Detail



Shrub & Groundcover Layout

Planting Details & Specifications

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