

TOWN OF PALM BEACH

To: Landmarks Preservation Commission

CC: Kirk Blouin, James Murphy, Sarah Pardue & Jordan Hodges

From: Wayne Bergman, Director of Planning, Zoning & Building
& Building Official



Re: Three LPC Projects

Date: August 7, 2023

FOR YOUR INFORMATION

In addition to being the director of the department, I also serve as the building official for the town. The issuance of every permit, the safety of each job site, the and the issuance of every certificate of occupancy, has my name and my State-license associated with it. I hope everyone understands that this is a huge liability and that I take this responsibility very seriously. It is my duty to balance the worthy goal of historic preservation with the safety and code compliance of renovations and construction.

At the July 19, 2023, Landmarks Preservation Commission meeting, several Commission members raised concern regarding the extent of demolition underway for three previously approved projects:

- COA-22-003 (ZON-22-018) 340 Royal Poinciana Way – The Playhouse
- COA-22-032 300 N County Road – Fire Rescue Station #2
- COA-22-028 (ZON-22-079) 284 Monterey Road

In each case, the concern was that more demolition work was performed than what was reviewed and approved by the Landmarks Preservation Commission (LPC). Following the brief discussion, it was decided that staff would contact the design teams for the abovementioned properties to have them return before the LPC at the August 16, 2023, meeting.

In the time since that meeting, staff has reviewed the relevant plans that indicated the level of demolition, including the previously approved Certificates of Appropriateness, building permits, and construction documents. In addition, staff has directed the design professionals responsible for each project to come prepared with presentations highlighting any structural or safety issues that their projects have encountered, how those issues were mitigated, and any future revisions or new items the team anticipates moving forward. Basically, to have the owners and/or their design and build team explain in detail why the large level of demolition and reconstruction is needed.

Staff visited all three locations to better understand where each project is regarding their construction progress:

340 Royal Poinciana Way – The Playhouse

The Royal Poinciana Playhouse received a COA at the February 16, 2022, meeting and submitted building permit plans. Shortly thereafter, the applicant approached staff with newfound forensic knowledge that many of the existing walls and portions of the building's foundation were structurally compromised. The proposed fix was to replace these walls and foundations with new construction in the exact same location, height, and ornamentation as the existing elements, but built on stable, solid foundations that structurally meet the loading requirements of the current Florida Building Code. The applicant returned to the LPC to explain the issues in a project update presentation that took place at the November 16, 2022, meeting.

300 N County Rd – Fire Rescue Station #2

The North Fire Station roof demolition was not anticipated when the project received a COA for exterior renovations, repairs, and fenestration replacement at the July 20, 2022, LPC meeting. Architect Mark Marsh approached staff at the start of the renovation and claimed that portions of the roof were unsafe, and that the contractor could not safely work on parts of the building as the roof and structural components were severely compromised. My actual recollection of that discussion was that the contractor, Hedrick Brothers, would not allow their workers in areas of the Firehouse, due to unsafe conditions. From a safety standpoint, I allowed portions of the roof to be removed, understanding they would be replaced in the same location, height, and plane as they were at the start of the project.

284 Monterey Rd

The residence at 284 Monterey Road was granted a COA for significant alterations, including two additions, roof replacement, fenestration replacement, and site improvements at the July 20, 2022, LPC meeting. The project also required a Special

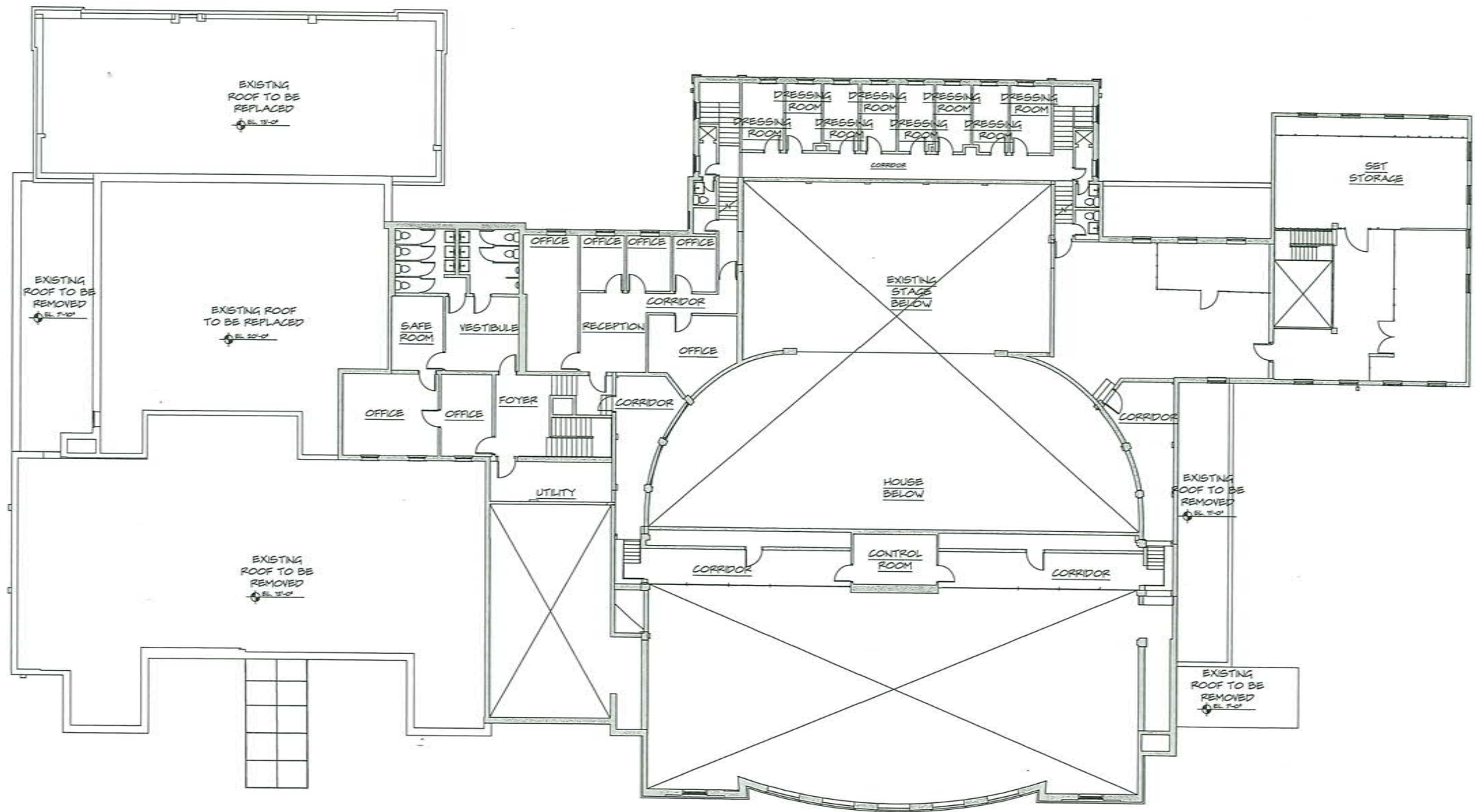
Exception with Site Plan Review and variances due to the extent of façade demolition proposed because of the additions. The LPC reviewed plans contained “Existing” and “Proposed” roof plans that were similar, aside from the new ridges and planes that accommodated the expanded footprint of the additions. A roof reframing plan to accommodate the overall change to the roof configuration as a result of the approved footprint was submitted as part of a staff application, which was reviewed and approved by staff, our consultants, and others in November, 2022. The plans show that the roof will be completely rebuilt to the LPC reviewed and approved configuration.

In summary, plans and Town approvals recognized much, if not all, of the existing demolition and reconstruction currently underway at each site. What may be missing from our collective reviews of these projects is having a good, complete understanding of the extent of “reconstruction”. Town staff currently requires demolition plan drawings – which at times, can be challenging to read and/or conceptualize for a three-dimensional building. We can begin requesting enhanced demolition elevation drawings that present demolition plans in a more visually graphic and easily understandable manner. This will assist us all in understanding the level of deconstruction proposed. We could also set a policy (via an ordinance change to Chapter 54 – Historical Preservation) to mandate that any change to LPC approved plans that require additional or expanded demolition automatically return to the LPC as a modification to the previously issued COA, with proper notice and backup, as is currently required for Tax Abatement projects.

I also need to state that it has not been a past policy of the Town, or of PZB, to require details on what is called “means and methods”. This has been left to the contractor to choose and to execute based on the discovered conditions and needs of any given project. Means and methods is a term that refers to how the contractor builds and/or renovates a building. We are used to reviewing pictures, renderings, and line drawings, but we currently do not ask what the building will look like during phases of deconstruction and construction. Maybe now is the time to begin requiring this level of additional detail to prevent unexpected surprises in the future.

We recognize that the Town’s beauty and character, specifically for historic structures, are important to the community and seeing active demolition and construction sites can be jarring. We want to ensure everyone that our goal is to provide safe, properly constructed buildings while maintaining the character of the Town.

The Royal Poinciana Playhouse – Original LPC COA Plans



205 BANYAN BLVD
West Palm Beach, Florida 33401
561.684.6864 • Fax 561.684.5894
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FL Lic # AAS2003799

SPINAOROURKE
+ PARTNERS

Architecture • Interior Design
Keith M. Spina #A013419

BUILDING RENOVATION FOR:
THE ROYAL POINCIANA PLAYHOUSE
BLDG. P - SUITE 70 & 70A
340 ROYAL POINCIANA WAY
PALM BEACH, FL 33480

THESE DRAWINGS ARE FOR THE
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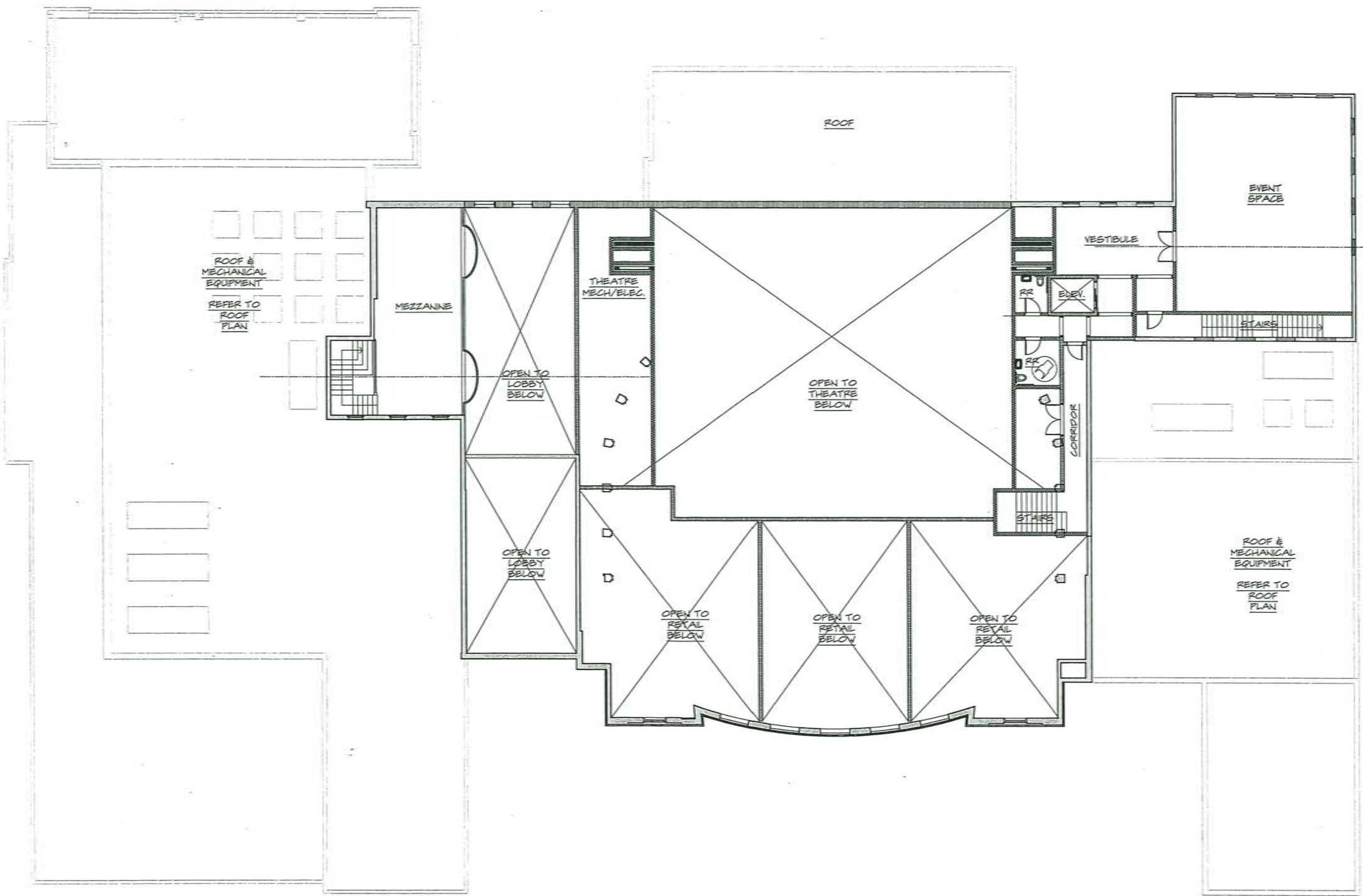
Revisions:

Project no: 20061
Date: 01.07.2022
Drawn by: BV
Project Architect: NF

A-2.2.0

DEVELOPMENT REVIEW

The Royal Poinciana Playhouse – Original LPC COA Plans



BUILDING RENOVATION FOR:
THE ROYAL POINCIANA PLAYHOUSE

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340 ROYAL POINCIANA WAY
PALM BEACH, FL 33480

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Revisions:

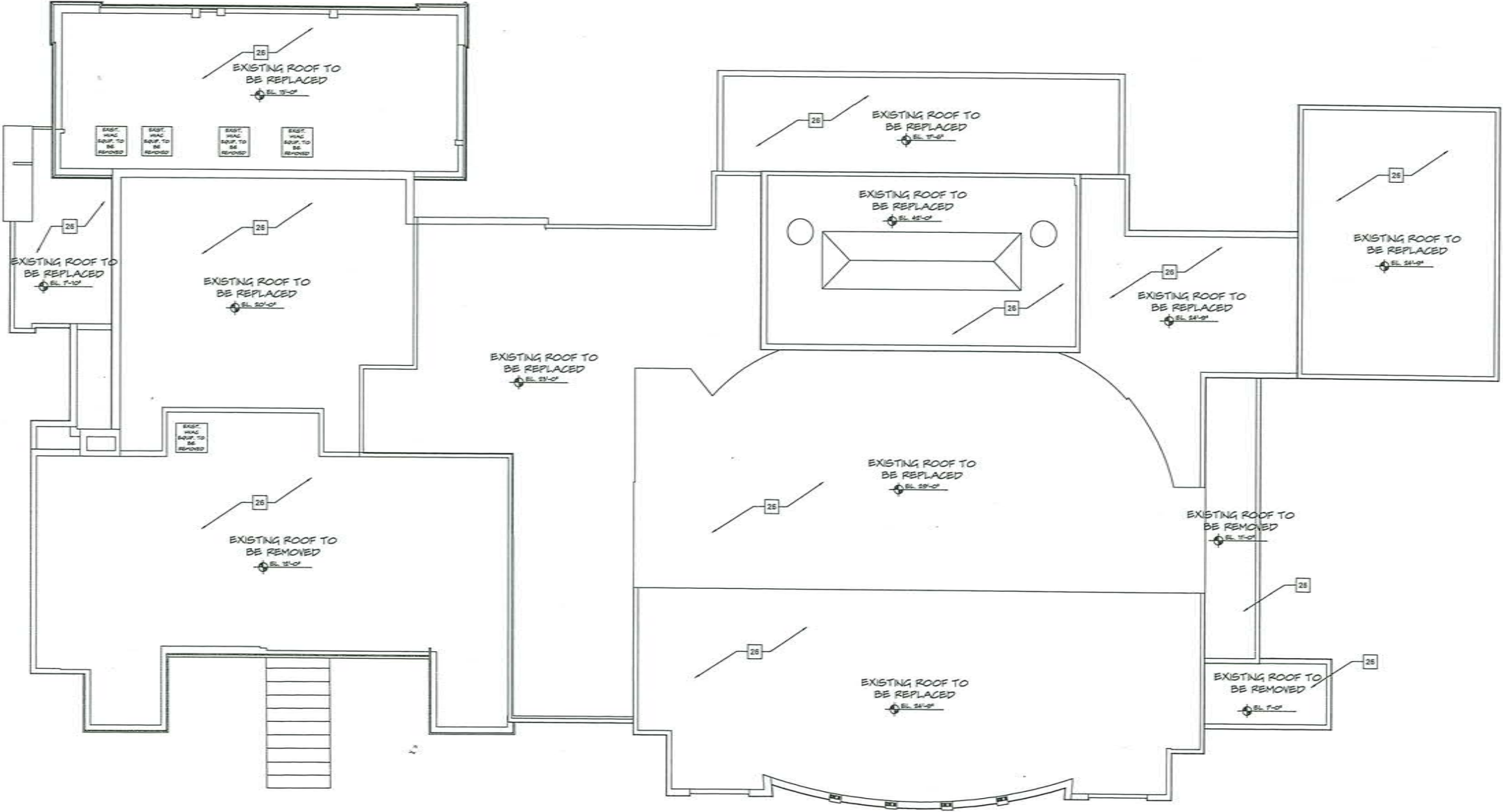
Project no: 20061
Date: 01.07.2022
Drawn by: BV
Project Architect: NF



A-2.2.2

DEVELOPMENT REVIEW

The Royal Poinciana Playhouse – Original LPC COA Plans



1 EXISTING ROOF PLAN
A-3.1.0 SCALE: 3/32"=1'-0"

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Keith M. Spina #AT03419

BUILDING RENOVATION FOR:
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PALM BEACH, FL 33480

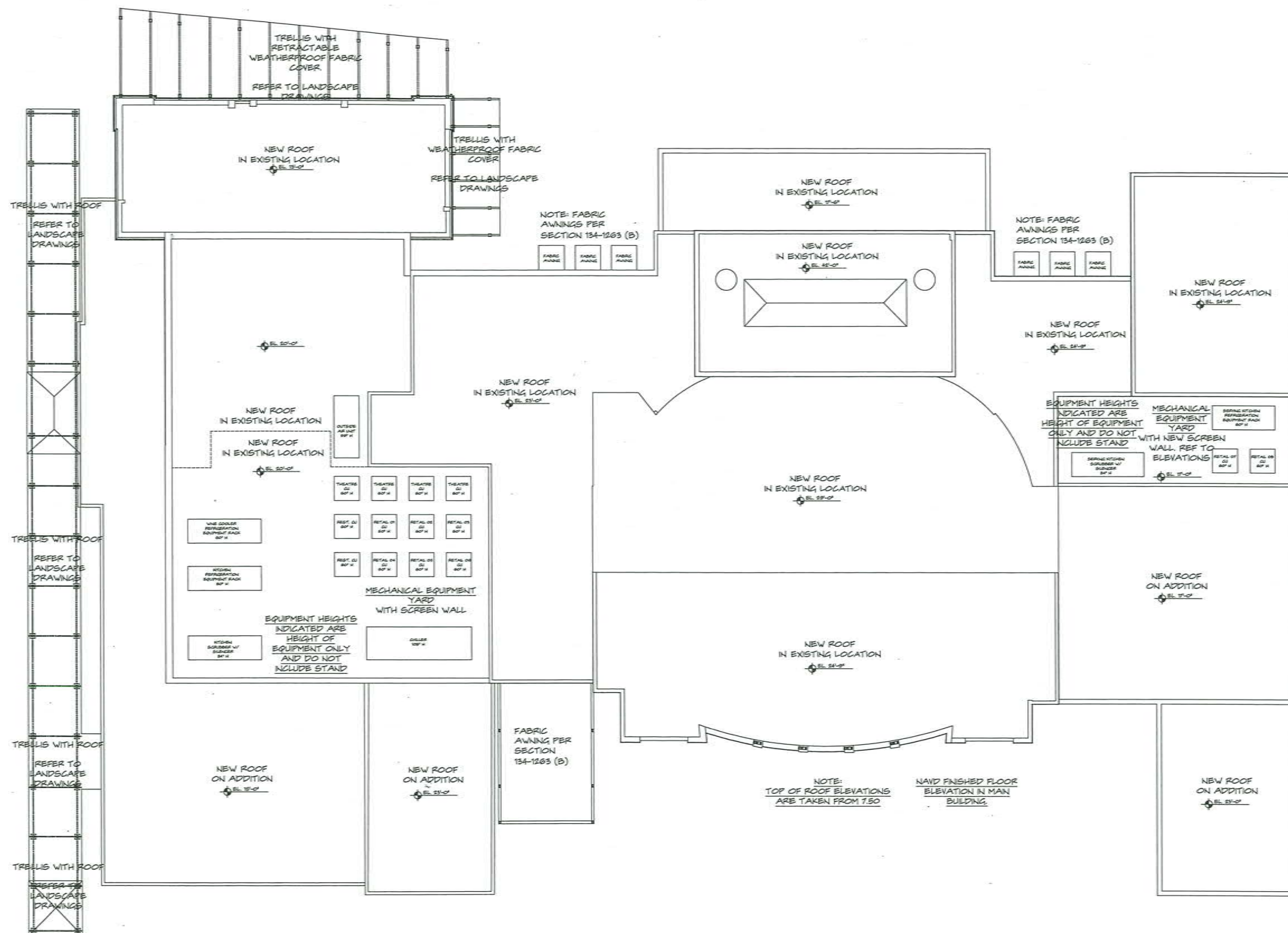
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Revisions:

Project no: 20061
Date: 12.27.2021
Drawn by: BV
Project Architect: NF



A-3.1.0
DEVELOPMENT REVIEW



A-2.1.1 DEMOLITION FLOOR PLAN - GROUND FLOOR.DWG

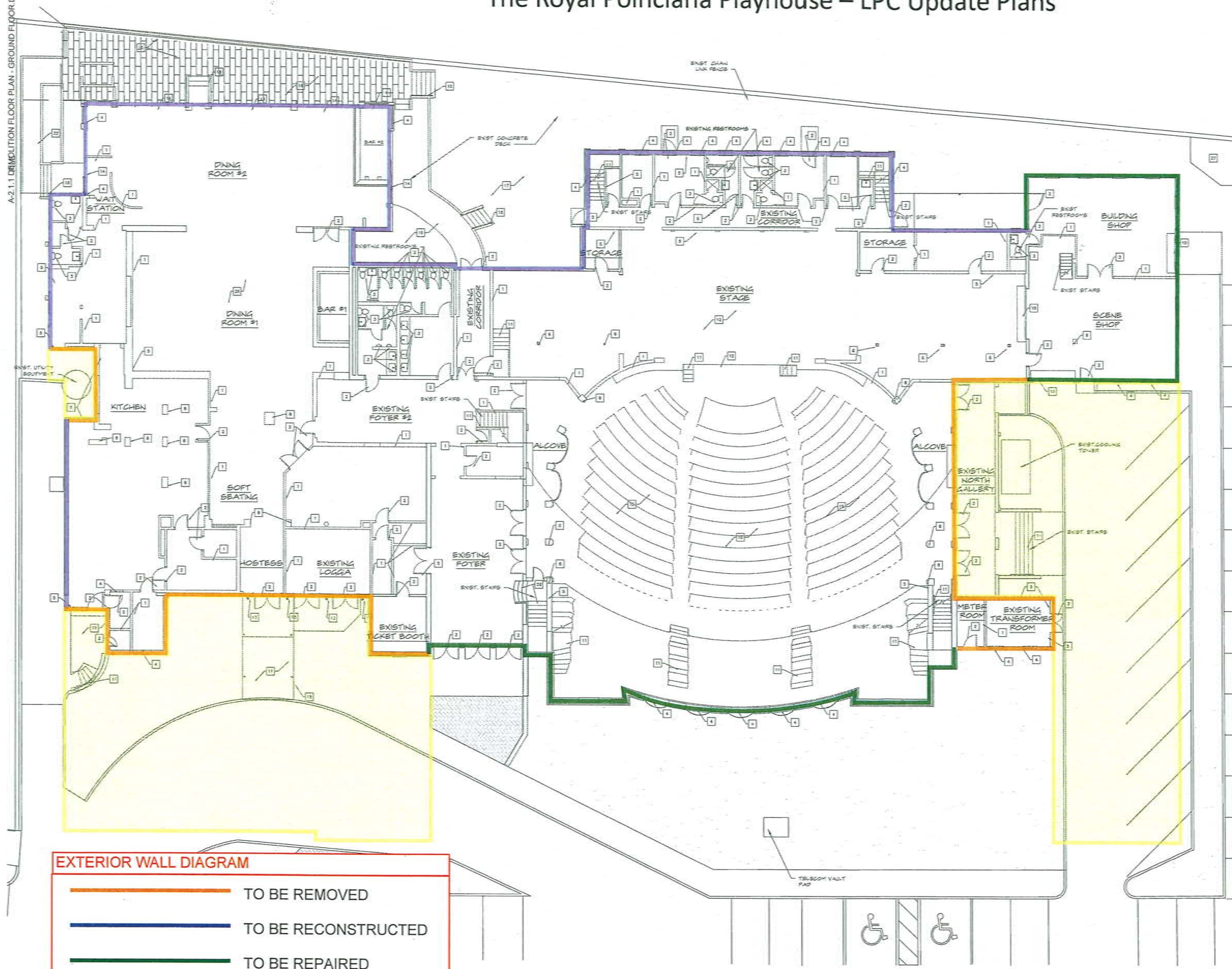


DEVELOPMENT REVIEW

Architecture • Interior Design
Kathryn Selzer • 848.73.1110

The Royal Poinciana Playhouse – LPC Update Plans

A-2.1.1 DEMOLITION FLOOR PLAN - GROUND FLOOR.DWG



EXTERIOR WALL DIAGRAM

TO BE REMOVED

TO BE RECONSTRUCTED

TO BE REPAIRED

GENERAL DEMOLITION NOTES

1. THESE CONSTRUCTION DOCUMENTS ARE DIAGNOSTIC ONLY. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EXISTING DETAIL OF DEMOLITION.
2. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
3. GENERAL CONTRACTOR MAY NEED TO OBTAIN ADDITIONAL FIELD VERIFICATIONS TO COMPLETE DEMOLITION ACCURATELY.
4. FIRE SPRINKLER SYSTEM SHALL REMAIN IN DEMOLITION PHASE. FIRE SPRINKLER IN/OUT AND HEAD LOCATIONS SHALL BE RELOCATED AS REQUIRED IN NEW CONSTRUCTION PHASE OF WORK. CARE SHALL BE TAKEN IN DEMOLITION PHASE TO PROTECT EXISTING HEADS AND PIPING TO KEEP SYSTEM IN OPERABLE CONDITION FOR FIRE PROTECTION.
5. EXISTING FIRE PROTECTION SYSTEM SHALL REMAIN IN OPERATION AT ALL TIMES.
6. BUILDING MANAGEMENT & FIRE DEPARTMENT SHALL BE NOTIFIED PRIOR TO SHUTTING DOWN ANY FIRE PROTECTION SYSTEM AND NOTIFIED AGAIN WHEN THE SYSTEM IS RETURNED TO NORMAL OPERATION.
7. EXISTING ENITS SHALL BE MAINTAINED AT ALL TIMES.
8. ALL WORK SHALL CONFORM TO THE LATEST REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
9. ALL WORK SHALL BE COORDINATED AND APPROVED BY OWNER PRIOR TO COMMENCEMENT.
10. CONTRACTOR IS RESPONSIBLE TO SECURE TENANT SPACE AT ALL TIMES.
11. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INCLUDING THOSE AREAS THAT ARE OUTSIDE THE LIMITS OF THE WORK.
12. CONTRACTOR IS TO COORDINATE AND OBTAIN ALL WORK IN A MANNER WITH LEAST NEARLY TO THE ADJACENT COMMON AREAS IN ORDER TO MINIMIZE INCONVENIENCE TO THE EXISTING TENANTS.
13. ALL STRUCTURAL MEMBERS TO REMAIN INTACT DURING DEMOLITION UNLESS NOTED OTHERWISE. CONTRACTOR IS RESPONSIBLE TO PROVIDE BRACING, SHORING OR ANY SUPPORT REQUIRED TO ENSURE STRUCTURAL INTEGRITY.
14. CONTRACTOR IS RESPONSIBLE TO PROVIDE DUMPSTER AND TO REMOVE ALL TRASH FROM SITE. SITE CONDITION SHALL BE CLEANED AT END OF WORK DAY. PRIOR TO FINAL COMPLETION OF DEMOLITION WORK, CONTRACTOR SHALL THOROUGHLY CLEAN ALL AREAS. CONTRACTOR TO COORDINATE LOCATION AND PROCESS WITH BUILDING MANAGEMENT FOR LOCATION OF DUMPSTER.
15. CONTRACTOR SHALL COORDINATE ALL WORK AND SCHEDULING WITH TENANT.
16. ALL MECHANICAL, ELECTRICAL AND PLUMBING SPRINGS ADJACENT TENANTS TO REMAIN. G.O. TO TAKE EXTRA CARE TO PROTECT THE EXISTING SYSTEM TO AVOID DAMAGE.

DEMOLITION NOTES

1. REMOVE EXISTING WALL OR PORTION OF AS SHOWN ON PLAN. REMOVAL SHALL INCLUDE ANY AND ALL STEEL, BOARD, BATT INSULATION BASE AND TRIM STUDS, TOP AND BOTTOM RUNNERS AND ANY EXISTING BRACING AND BLOODING THAT MAY BE PRESENT.
2. REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ALL RELATED ACCESSORIES.
3. REMOVE EXISTING FLOORING MATERIALS AND RELATED ACCESSORIES.
4. REMOVE EXISTING WINDOW.
5. REMOVE EXISTING WALL - SEE STRUCTURAL - PROVIDE TEMP. SHORING & RELATED ENGINEERING AS REQUIRED.
6. REMOVE EXISTING STEEL COLUMN - SEE STRUCTURAL - PROVIDE TEMP. SHORING & RELATED ENGINEERING AS REQUIRED.
7. REMOVE EXISTING CONCRETE COLUMN - SEE STRUCTURAL - PROVIDE TEMP. SHORING & RELATED ENGINEERING AS REQUIRED.
8. REMOVE EXISTING AC BOOTH/VENT. DUCTWORK AND ALL RELATED ACCESSORIES.
9. REMOVE EXISTING LOADING DOOR.
10. REMOVE EXISTING CONCRETE STAIRS.
11. REMOVE EXISTING CONCRETE STAGE FLOOR - SEE STRUCTURAL.
12. REMOVE EXISTING EXTERIOR LIGHT FIXTURES.
13. REMOVE EXISTING GLASS DOORS.
14. REMOVE EXISTING SEATS.
15. REMOVE EXISTING WOOD DECK.
16. REMOVE EXISTING CONCRETE DECK.
17. REMOVE EXISTING WOOD STAIRS.
18. REMOVE EXISTING CANOPY.
19. REMOVE EXISTING CHAIN LINK FENCE.
20. REMOVE EXISTING ASPHALT AREA.
21. REMOVE EXISTING WOOD RAMP.
22. EXTENT OF DEMOLITION - SEE PROPOSED PLAN FOR EXACT LOCATION.
23. REMOVE EXISTING TRASH ENCLOSURE.
24. EXISTING HISTORIC STAIR TO REMAIN.
25. EXISTING HISTORIC CEILING MURAL TO REMAIN.

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Architectural Interior Design
Paul H. Spina, AIA/ASID

BUILDING RENOVATION FOR:
THE ROYAL POINCIANA PLAYHOUSE
BLDG. P - SUITE 70 & 70A
340 ROYAL POINCIANA WAY
PALM BEACH, FL 33480

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Revisions:

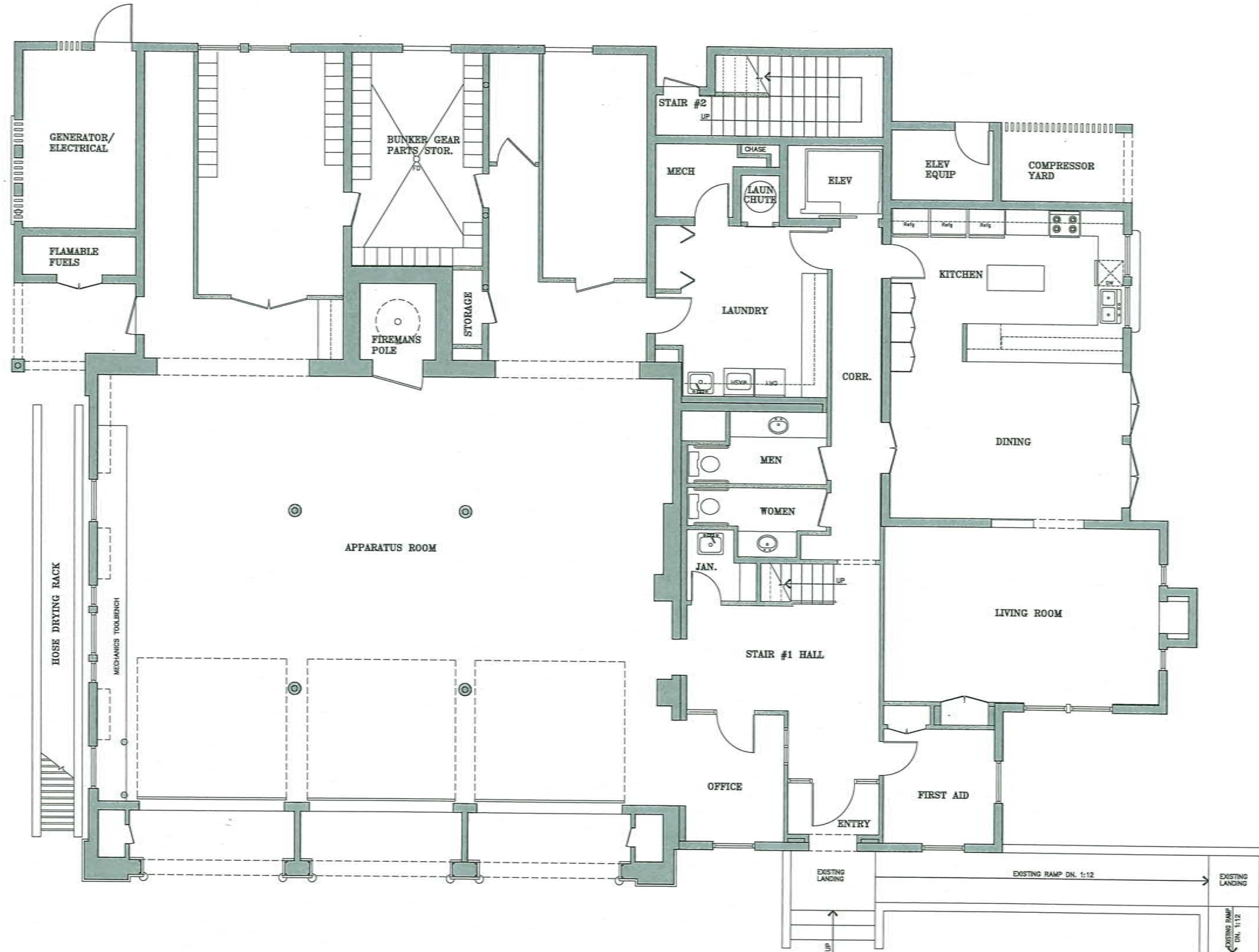
Project no: 20061
Date: 01.07.2022
Drawn by: BV
Project Architect: NF

DEMOLITION - GROUND FLOOR

A-2.1.1

DEVELOPMENT REVIEW

North Fire Station #2 – Original COA Plans



EXISTING GROUND FLOOR PLAN



BRIDGES MARSH & ASSOCIATES, INC.
CHARTERED ARCHITECTS
 Eighteen Via Mizner
 Palm Beach, Florida 33480
 Phone: (561) 832 1533
 Fax: (561) 832 1520

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
FIRE RESCUE STATION #2
 300 N. COUNTY RD.
 PALM BEACH, FLORIDA

EXISTING
 GROUND FLOOR
 PLAN

22127

NOTE:
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 TO BE USED IN CONJUNCTION WITH
 THE EXISTING STRUCTURE. NO
 STRUCTURAL, MECHANICAL, ELECTRICAL,
 OR PLUMBING WORK SHALL BE
 CONSIDERED UNLESS IT IS
 SPECIFICALLY NOTED ON THE
 DRAWINGS. THE ARCHITECT
 ASSUMES NO RESPONSIBILITY
 FOR THE ACCURACY OF THE
 INFORMATION PROVIDED BY
 OTHERS. THE ARCHITECT
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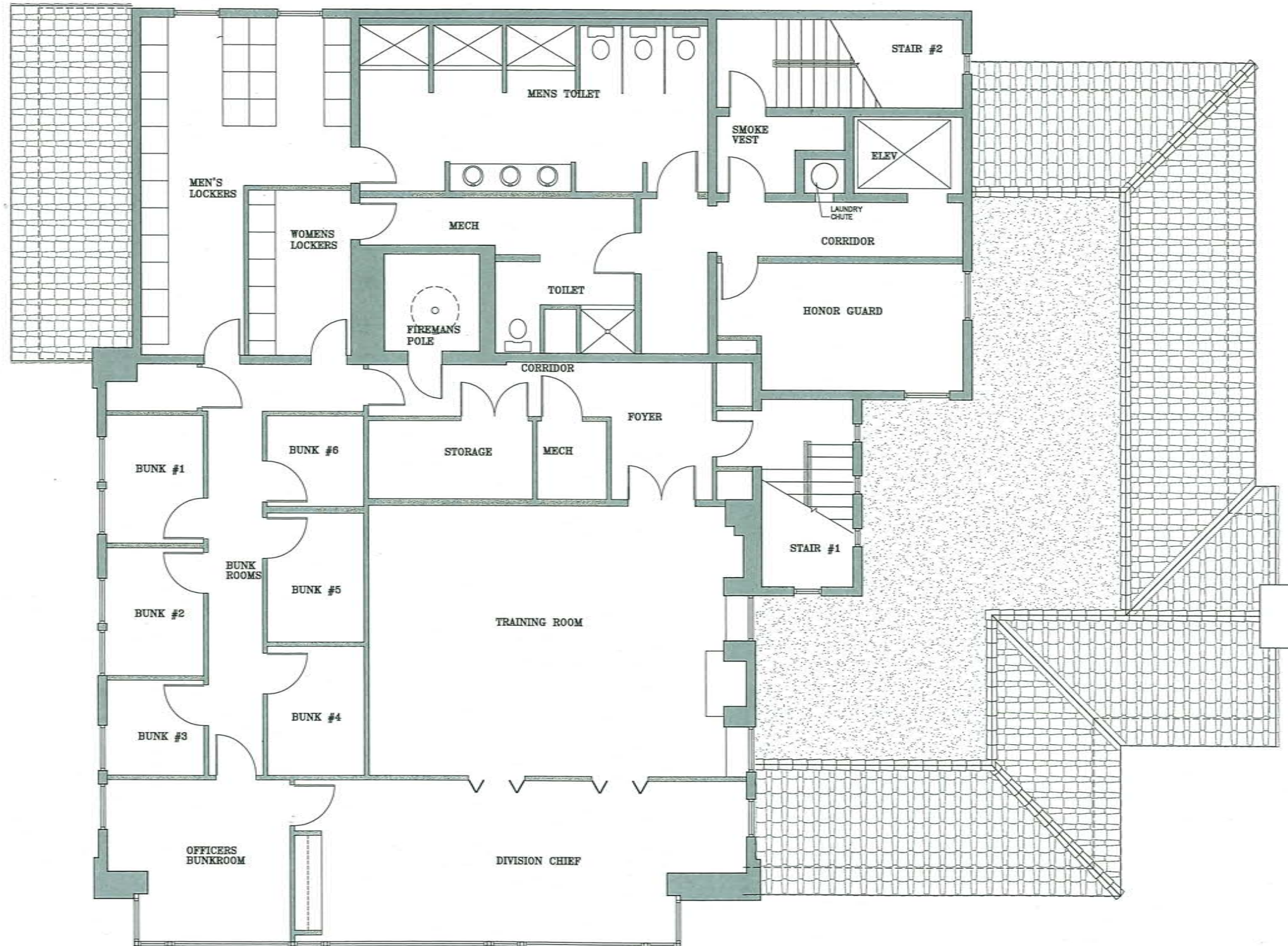
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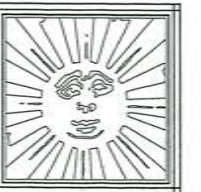
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 DWG. NO.

COA-22-032

North Fire Station #2 – Original COA Plans



EXISTING SECOND FLOOR PLAN



**BRIDGES MARSH
& ASSOCIATES, INC.**
CHARTERED ARCHITECTS
Eighteen Via Mizner
Palm Beach, Florida 33480
Phone: (561) 832 1533
Fax: (561) 832 1520

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
**FIRE RESCUE
STATION #2**
JOB NO.
300 N. COUNTY RD.
PALM BEACH, FLORIDA

EXISTING
SECOND FLOOR
PLAN
DRAWING

22127
JOB NO.

NOTE:
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MECHANICAL, ELECTRICAL, CIVIL,
STRUCTURAL, SPECIALTY,
MECHANICAL, ELECTRICAL, SPECIALTY
DRAWINGS, AND WRITER SPECIFICATIONS.
CONTRACTOR TO VERIFY ALL EXISTING
SITE CONDITIONS AND DIMENSIONS
BEFORE COMMENCING WORK.
REPORT TO THE ARCHITECT IMMEDIATELY
ANY DISCREPANCIES, OMISSIONS OR
CONFLICTS THAT MAY ARISE.
CONTRACTOR TO BE ADVISED BY
THESE NOTES AND NOT BE
RESPONSIBLE FOR ANY WORK
AND/OR MATERIALS FURNISHED
ON THE JOB.

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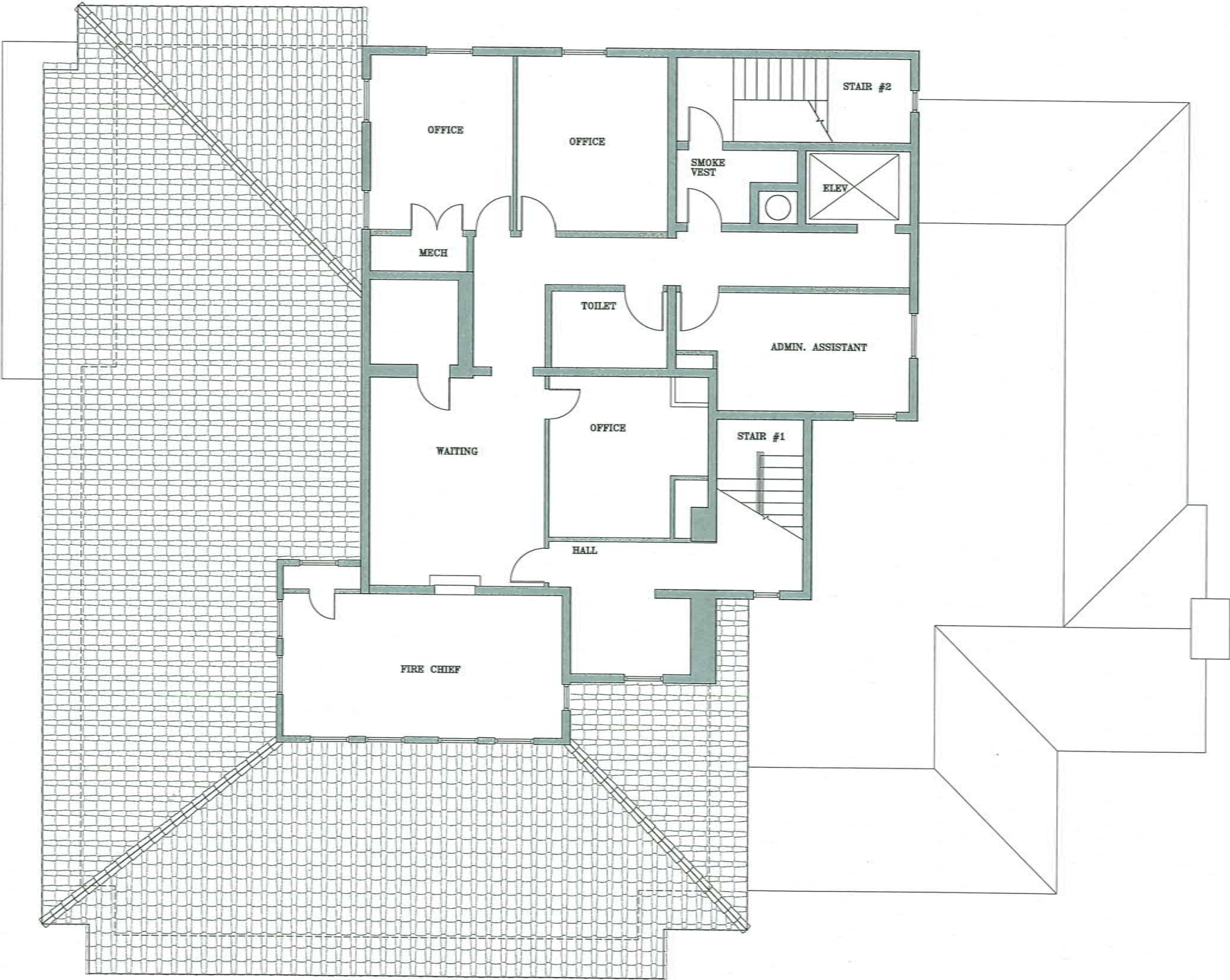
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DATE
T.M. PHILLIPSON
M.M.M.
CHK/DRAWN

A2.2
DWG. NO.

COA-22-032

North Fire Station #2 – Original COA Plans



EXISTING THIRD FLOOR PLAN



BRIDGES MARSH & ASSOCIATES, INC.
CHARTERED ARCHITECTS
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Palm Beach, Florida 33480
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Fax: (561) 832 1520

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
FIRE RESCUE STATION #2
300 N. COUNTY RD.
PALM BEACH, FLORIDA

EXISTING
THIRD FLOOR
PLAN
DRAWING

22127
JOB NO.

NOTE:
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CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY WORK AND/OR MATERIALS FURNISHED ON THE JOB.

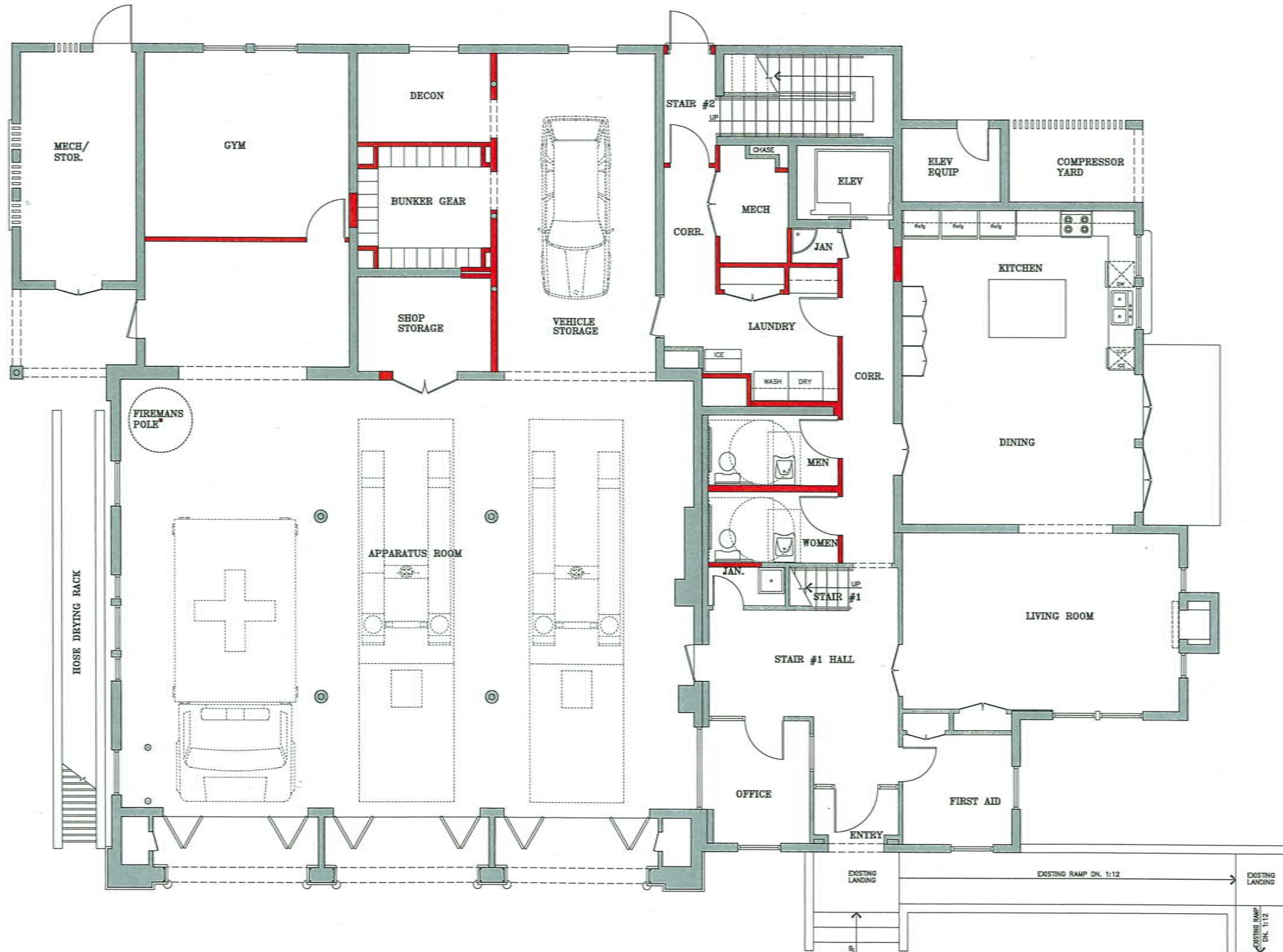
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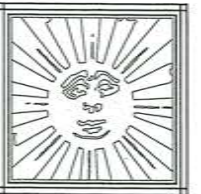
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DATE
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CHK. DRAWN

A2.3
DWG. NO.

North Fire Station #2 – Original COA Plans



PROPOSED GROUND FLOOR PLAN



**BRIDGES MARSH
& ASSOCIATES, INC.**
CHARTERED ARCHITECTS
Eighteen Via Mizner
Palm Beach, Florida 33480
Phone: (561) 832 1533
Fax: (561) 832 1529

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
**FIRE RESCUE
STATION #2**
JOB NO.
300 N. COUNTY RD.
PALM BEACH, FLORIDA

PROPOSED
GROUND FLOOR
PLAN
DRAWING

22127
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DISCREPANCIES SHOULD BE
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NO CONSTRUCTION SHALL BE
PERMITTED UNTIL ALL DISCREPANCIES
HAVE BEEN RESOLVED. ARCHITECT IS
NOT RESPONSIBLE FOR ANY WORK
OR MATERIALS FURNISHED
BY THE JOB.

REVISIONS	1	2	3	4	5	6	7	8	9	10

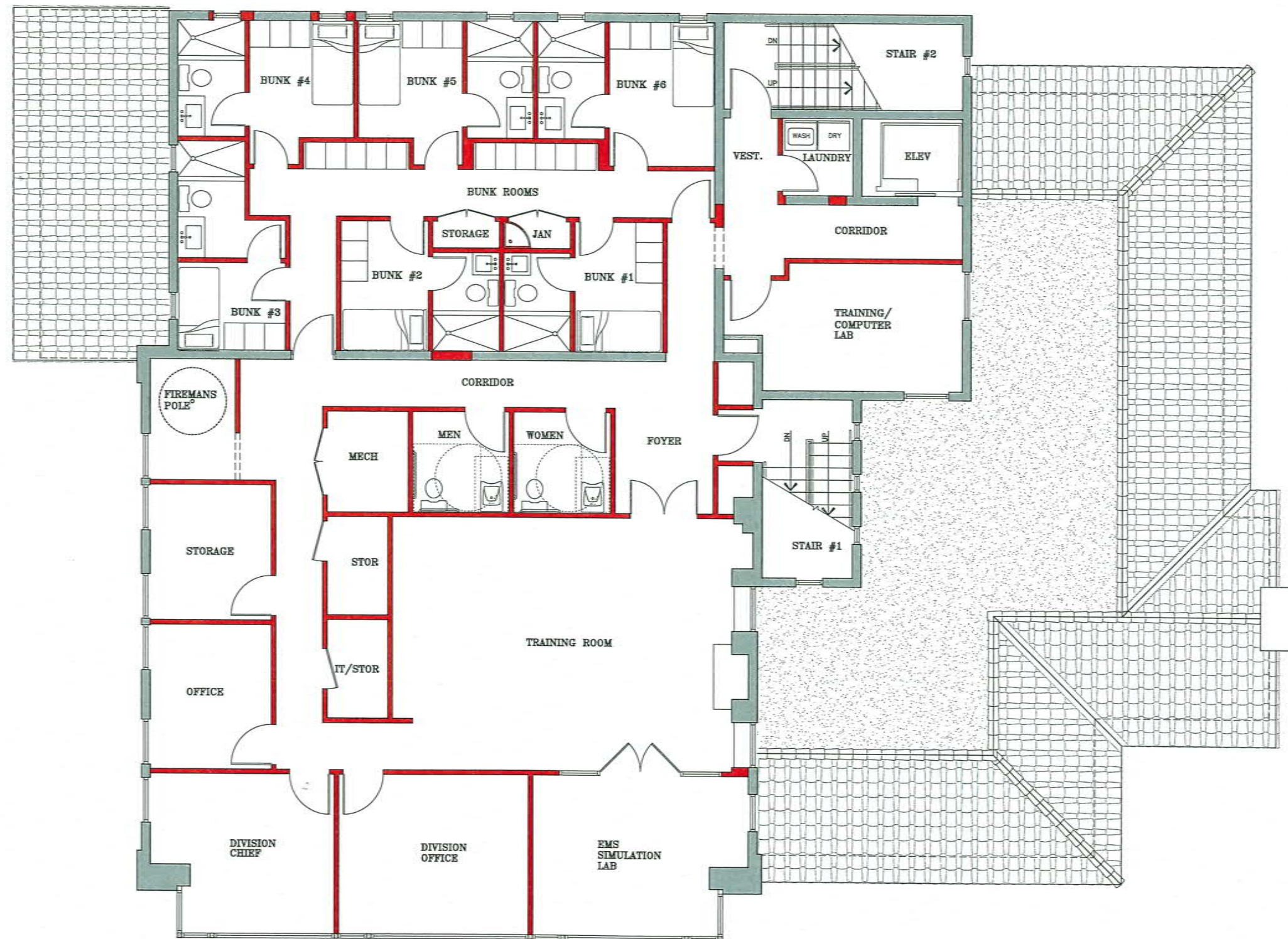
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5/30/22
DATE
M.M.M.
C.H.E. (DRWN)

A2.4
DWG. NO.

COA-22-032

North Fire Station #2 – Original COA Plans



PROPOSED SECOND FLOOR PLAN



BRIDGES MARSH & ASSOCIATES, INC.
CHARTERED ARCHITECTS
 Eighteen Via Minner
 Palm Beach, Florida 33460
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 Fax: (561) 832 1520

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
FIRE RESCUE STATION #2
 300 N. COUNTY RD.
 PALM BEACH, FLORIDA

PROPOSED
 SECOND FLOOR
 PLAN

22127

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REVISIONS	

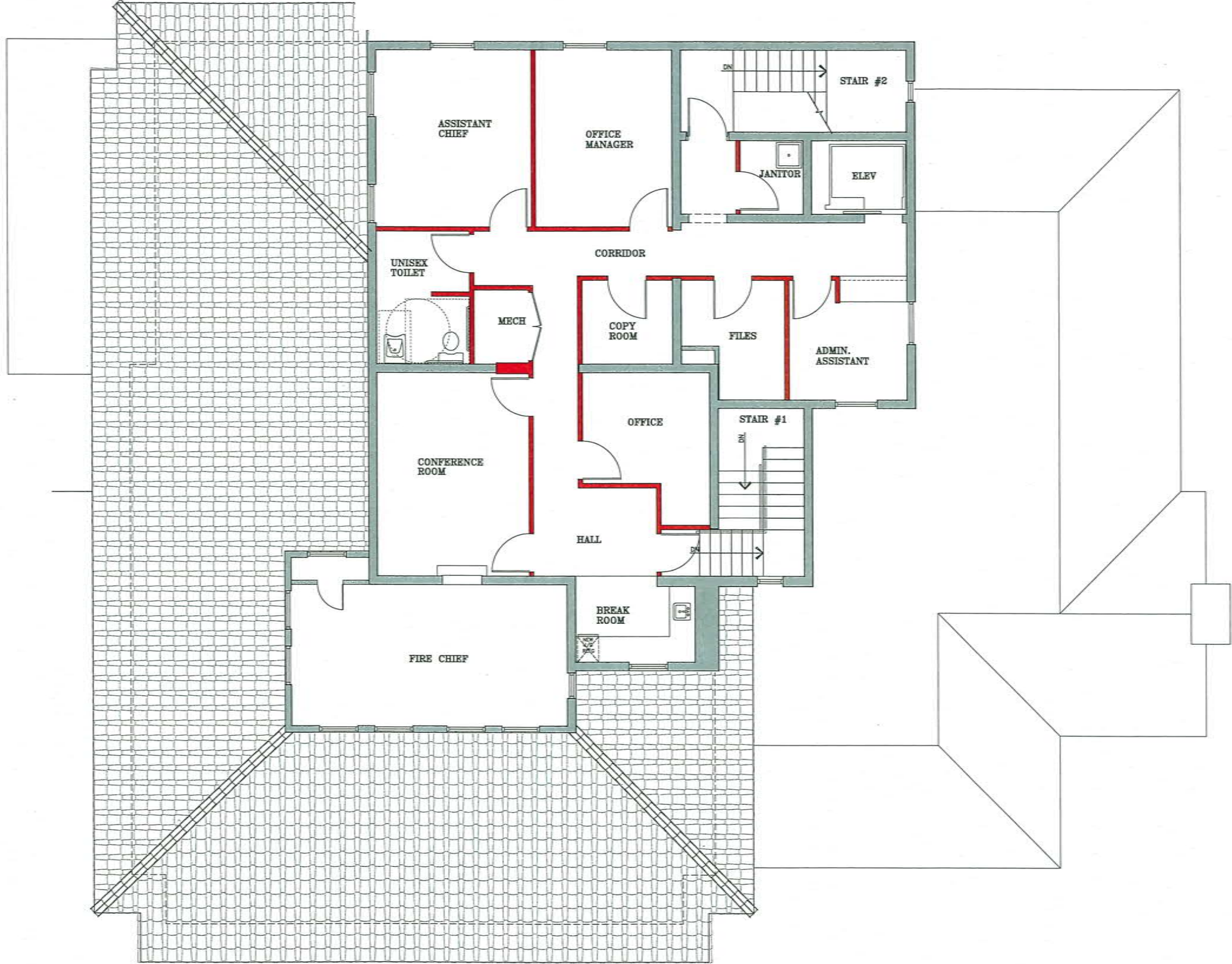
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5/30/22
 DATE
 M.M.M.
 CHK. JRM

A2.5
 DWG. NO.

COA-22-032

North Fire Station #2 – Original COA Plans



PROPOSED THIRD FLOOR PLAN



**BRIDGES MARSH
& ASSOCIATES, INC.**
CHARTERED ARCHITECTS
Eighteen Via Mirner
Palm Beach, Florida 33480
Phone: (561) 832 1533
Fax: (561) 832 1580

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
**FIRE RESCUE
STATION #2**
JOB NO.
300 N. COUNTY RD.
PALM BEACH, FLORIDA

PROPOSED
THIRD FLOOR
PLAN
DRAWING

22127
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NOTE:
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REVISIONS	1	2
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1/4" = 1'-0"
SCALE

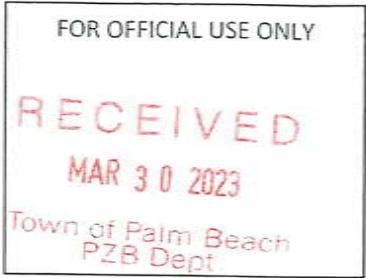
5/30/22
DATE
M.M.M.
CHK. BY

A2.6
DWG. NO.



Town job

TOWN OF PALM BEACH
Planning, Zoning & Building Department
360 S. County Rd
Palm Beach, FL 33480
permits@townofpalmbeach.com



APPLICATION FOR STAFF APPROVAL

The Architectural Review Commission (ARCOM) and Landmark Preservation Commission (LPC) have granted staff the ability to administratively approve certain projects per the [Project Designation Manual Matrix](#). For more information on must be submitted with this application, see the Staff Approval Application Guide.

Payment of the Staff Approval fee is due upon application submittal. Payment may be made by check payable to the Town of Palm Beach or by cash or credit card in Town Hall during normal business hours of 8:30am and 4:00pm Monday through Friday. If the subject property is Landmark the fee is \$150.00, all others are \$350.00.

APPLICATION TYPE: ☒ LPC Staff Approval \$150.00 ☐ ARCOM Staff Approval \$350.00
**If LPC, is this a tax abatement project? YES or NO

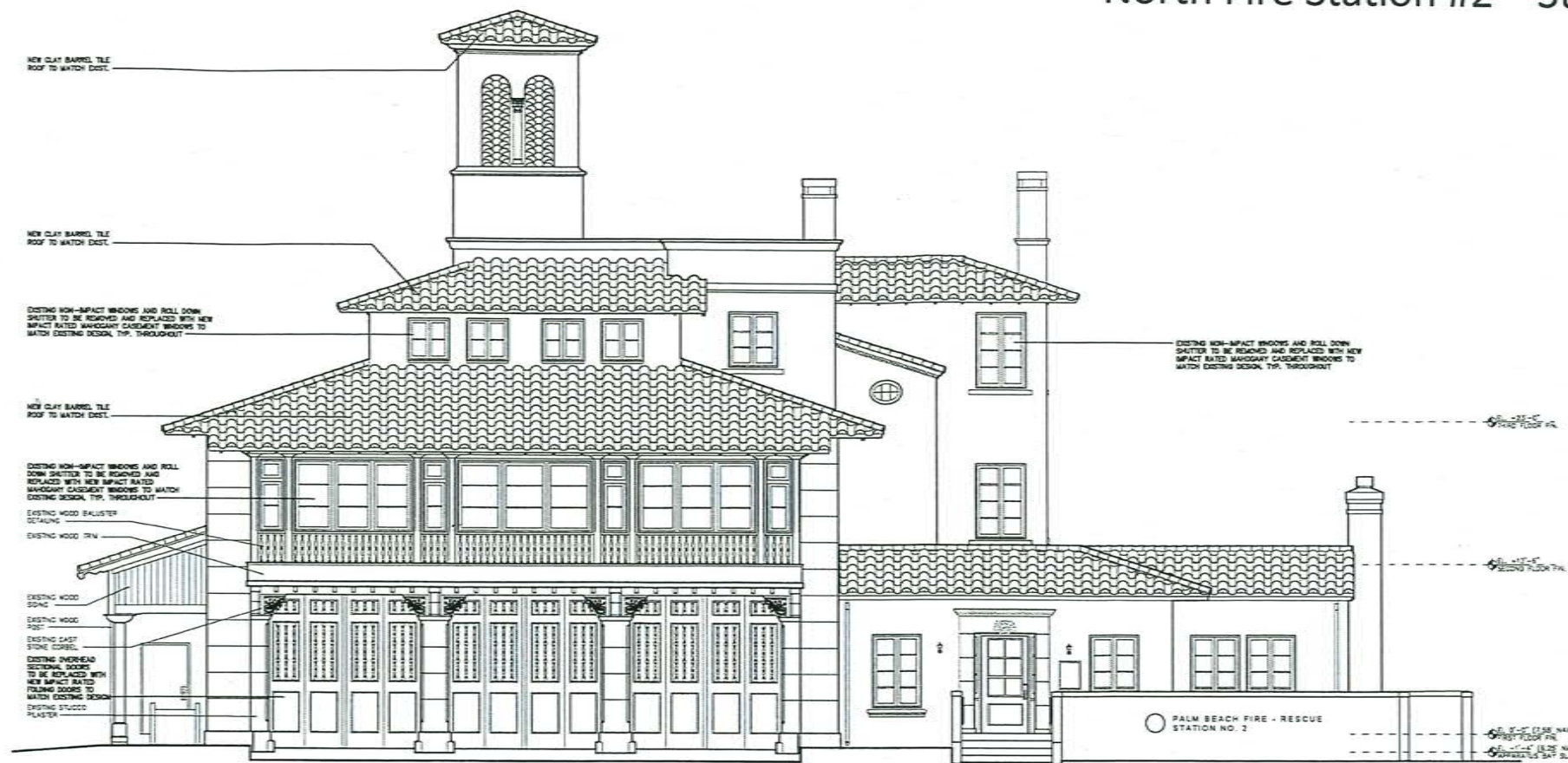
DATE: 3/28/2023 MASTER PERMIT # _____ STAFF APPROVAL PERMIT # L 2300736

- I. PROJECT ADDRESS: 300 North County Road, Palm Beach, FL. 33480
- II. DESCRIPTION OF REQUEST (Please provide a brief, comprehensive and summarized description of the proposed project below. (If needed, please include further details on a continuation sheet).
Minor modification to exterior elevations resulting from code & Life safety requirements.
- III. BUSINESS NAME/TENANT INFO (For commercial properties ONLY) Town of Palm Beach, Fire Department
Phone number: _____ Email: _____
- IV. DESIGN PROFESSIONAL NAME AND CONTACT INFO:
V. Name of Professional: M. Mark Marsh License #: AR0009030
Phone Number: 561-832-1533 Email: mmm@bridgesmarsharchitects.com
- VI. CONTRACTOR NAME AND CONTACT INFO:
Construction Company: Hedrick Brothers
Phone Number: 561-689-8880 Email: _____
- VII. PROPERTY OWNER / AGENT NAME AND CONTACT INFORMATION:
Property Owner's Name: Town of Palm Beach
Owners address (if different from subject address): _____
Phone Number: _____ Email: _____
- VIII. Applicant Signature: [Signature] Date: 033023
(Printed Name) Kirk Blouin Title: Town Manager

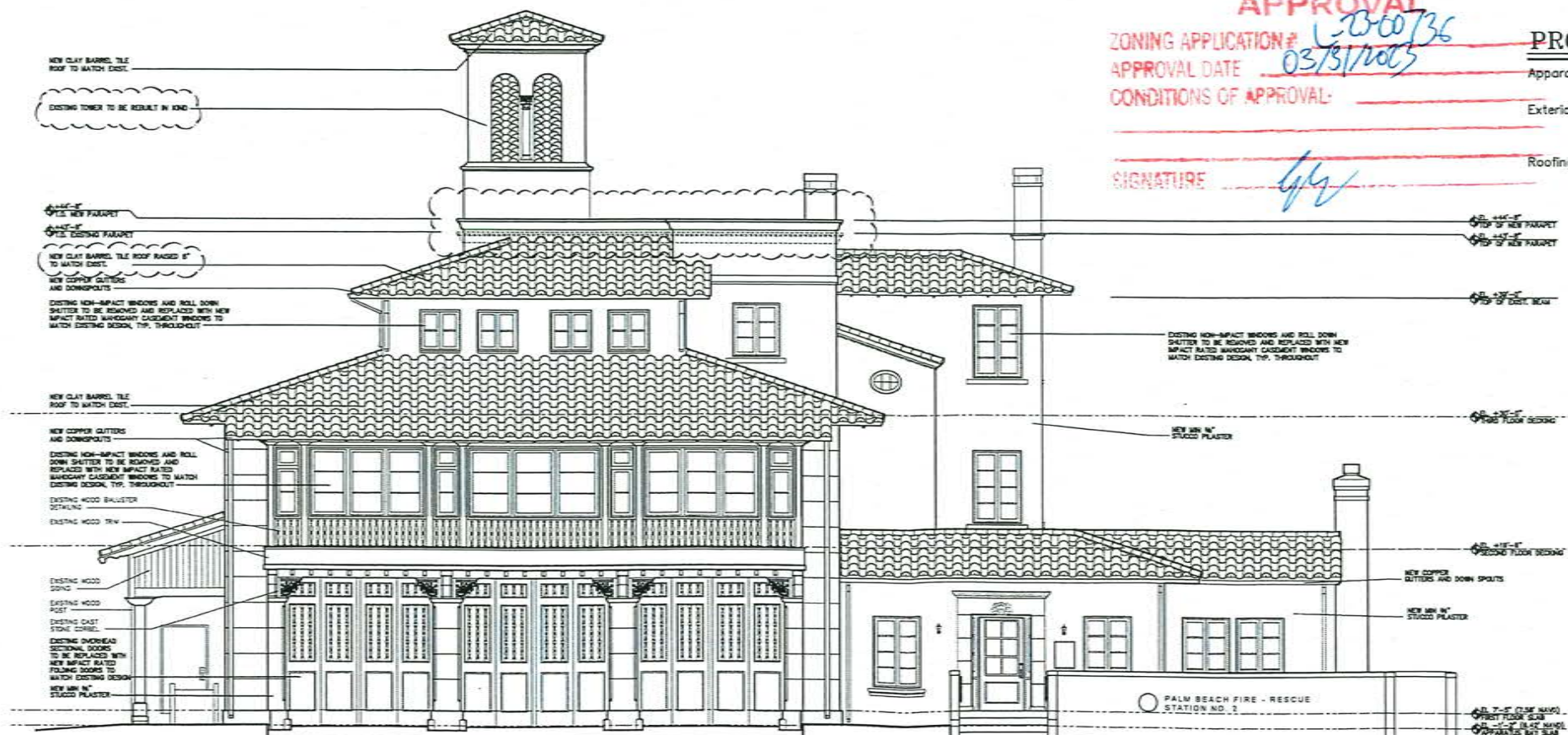
FOR STAFF USE ONLY:

Approve E2 03/31/23

North Fire Station #2 – Staff Approval



PREVIOUSLY APPROVED FRONT (EAST) ELEVATION



CURRENTLY PROPOSED FRONT (EAST) ELEVATION

STAFF APPROVAL
 ZONING APPLICATION # L-200736
 APPROVAL DATE 03/31/2023
 CONDITIONS OF APPROVAL:
 SIGNATURE [Signature]

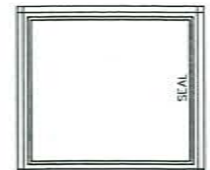
PRODUCT INFORMATION

Apparatus Bay doors: Custom Bi-Fold doors by Door Engineering & Manufacturers, color to match existing
 Exterior Doors & Windows: Impact Rated Mahogany units by Tischler und Sohn or similar. Frame color to match existing.
 Roofing: "Palm Beach Tapered Mission" Clay Barrel tile by Ludowici with a 3 color blend and weathered texture.

RECEIVED
 MAR 30 2023
 Town of Palm Beach
 PZB Dept



BRIDGES MARSH & ASSOCIATES, INC.
 CHARTERED ARCHITECTS
 Eighteen Via Mizner
 Palm Beach, Florida 33480
 Phone: (561) 832 1533
 Fax: (561) 832 1520

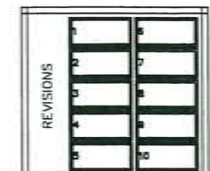


ADDITIONS/RENOVATION TO
FIRE RESCUE STATION #2
 300 N. COUNTY RD.
 PALM BEACH, FLORIDA

EXTERIOR ELEVATIONS
 DRAWING

22127 JOB NO.

NOTE:
 ALL DRAWINGS FOR THIS PROJECT ARE TO BE READ IN CONJUNCTION WITH THE TOWN OF PALM BEACH ZONING ORDINANCE AND THE TOWN OF PALM BEACH SUBMITTAL SPECIFICATIONS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE RESULTS OF ANY FIELD SURVEY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE RESULTS OF ANY FIELD SURVEY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE RESULTS OF ANY FIELD SURVEY.



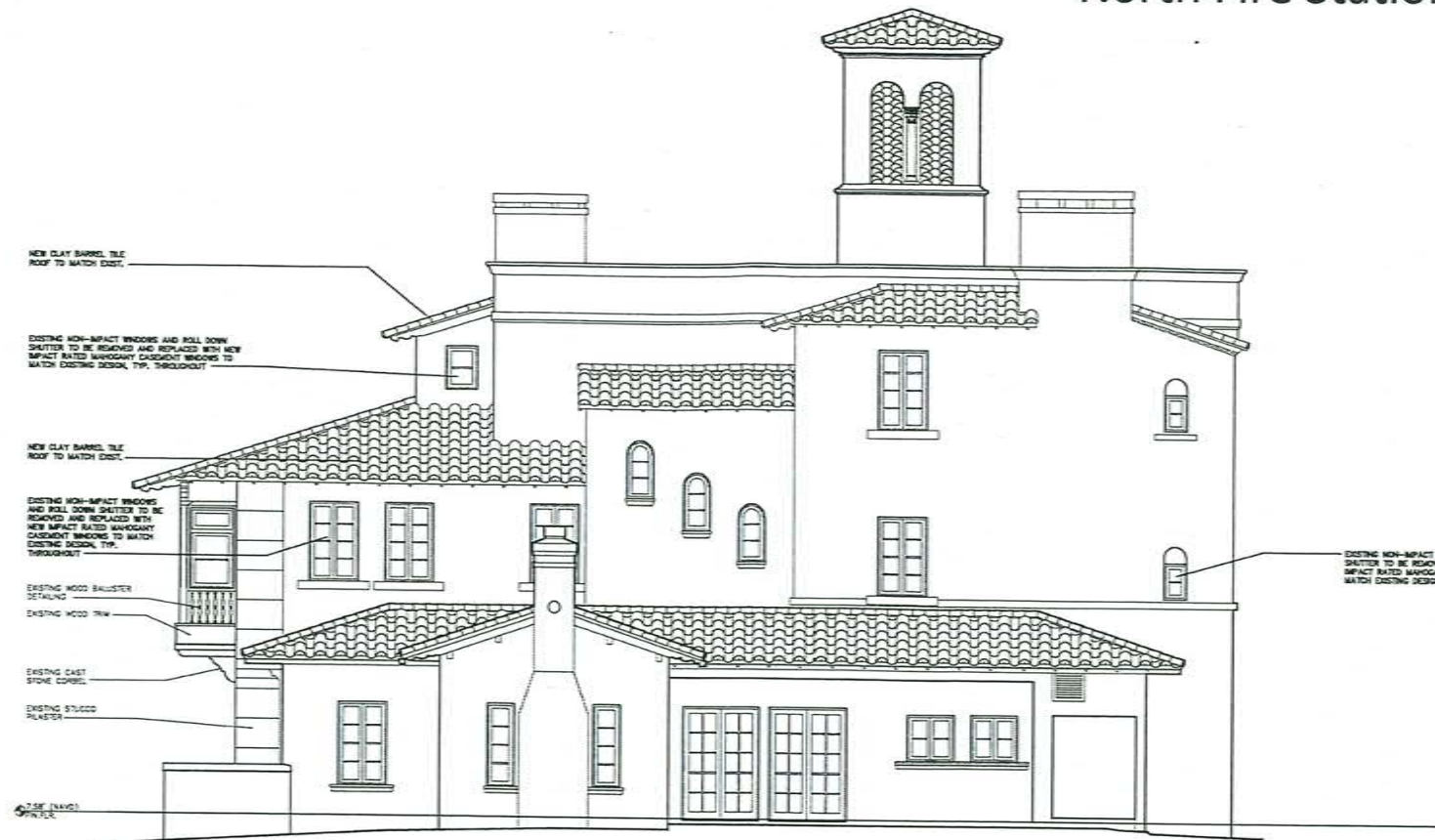
3/16" = 1'-0" SCALE

3/29/23 DATE
 M.M.M. CHK. DATE

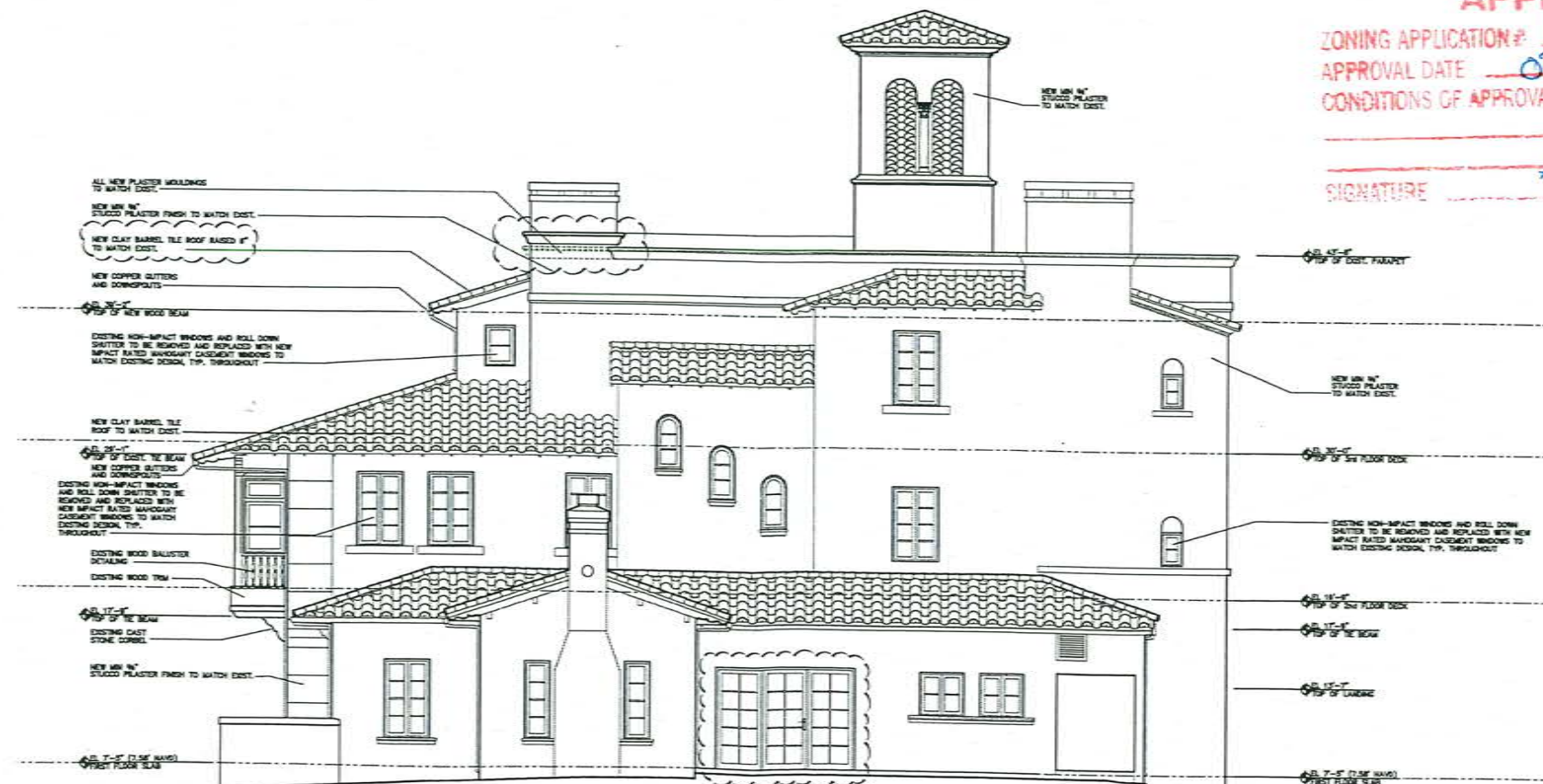
A4.1 DWG. NO.

COA-22-032

North Fire Station #2 – Staff Approval

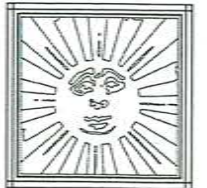


PREVIOUSLY APPROVED RIGHT (NORTH) ELEVATION



CURRENTLY PROPOSED RIGHT (NORTH) ELEVATION

STAFF APPROVAL
 ZONING APPLICATION # L-23-00736
 APPROVAL DATE 03/31/2023
 CONDITIONS OF APPROVAL: _____
 SIGNATURE [Signature]



BRIDGES MARSEI & ASSOCIATES, INC.
 CHARTERED ARCHITECTS
 Eighteen Via Minner
 Palm Beach, Florida 33480
 Phone: (561) 832 1533
 Fax: (561) 832 1520

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
FIRE RESCUE STATION #2
 300 N. COUNTY RD.
 PALM BEACH, FLORIDA

EXTERIOR ELEVATIONS

22127

NOTE:
 ALL DRAWINGS FOR THIS PROJECT ARE TO BE READ IN CONJUNCTION WITH EACH OTHER. WHILE NEGLIGIBLE, BUT ARE NOT GUARANTEED. ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SPECIALTIES ARE THE RESPONSIBILITY OF THE CONSULTANT FOR THE JOB.

REVISIONS	
1	
2	
3	
4	
5	

3/16" = 1'-0" SCALE

3/29/23 DATE FOR PRELIMINARY M.M.M. CHK. DRAWN

A4.2 DWG. NO.

COA-22-032

North Fire Station #2 – Staff Approval



BRIDGES MARSH & ASSOCIATES, INC.
CHARTERED ARCHITECTS
 Eighteen Via Mizner
 Palm Beach, Florida 33480
 Phone: (561) 832 1535
 Fax: (561) 832 1520

CONSULTANT

SEAL

ADDITIONS/RENOVATION TO
FIRE RESCUE STATION #2
 300 N. COUNTY RD.
 PALM BEACH, FLORIDA

EXTERIOR ELEVATIONS

22127

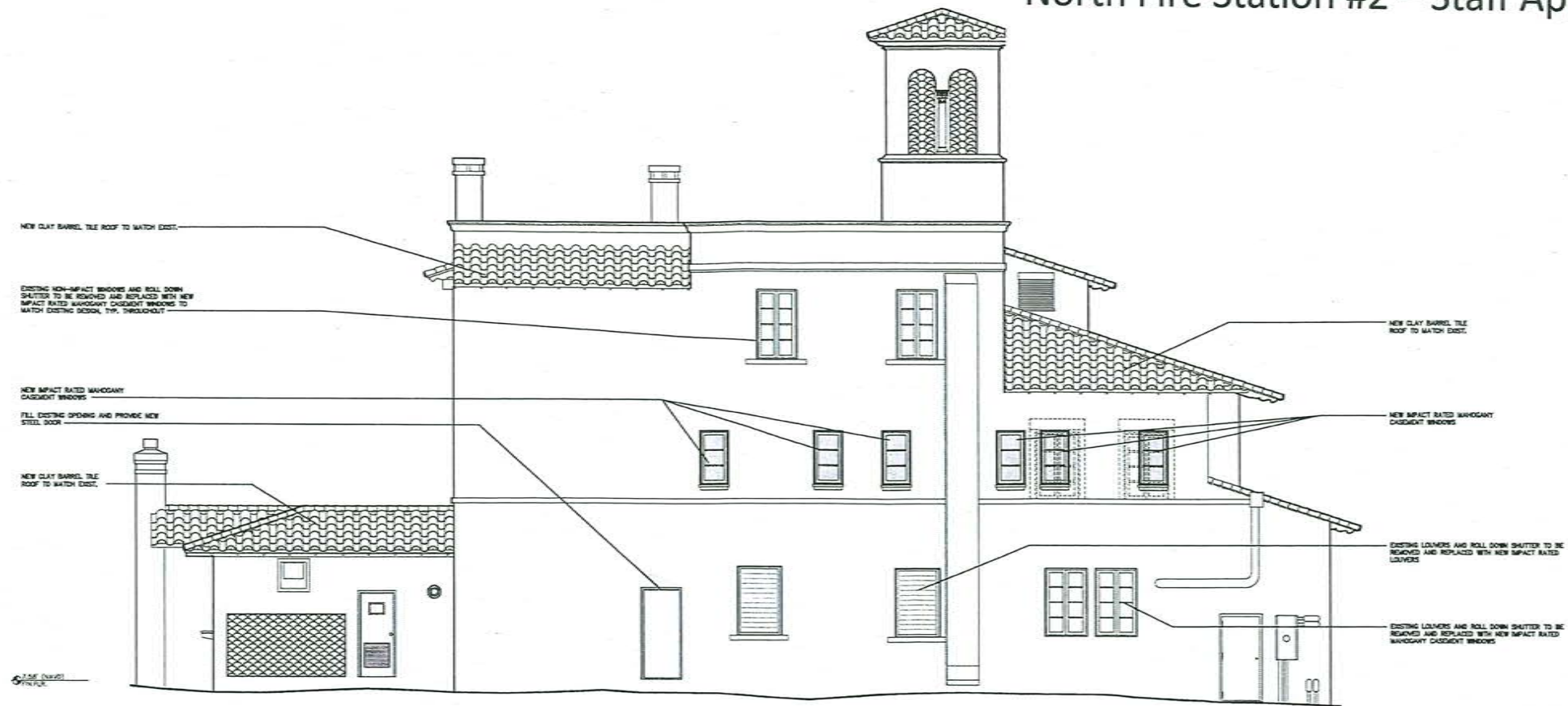
NOTE:
 ALL DRAWINGS FOR THIS PROJECT ARE TO BE USED IN CONNECTION WITH THE PROJECT AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRIDGES MARSH & ASSOCIATES, INC.

REVISIONS	DATE	BY	CHK	APP
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3/16" = 1'-0" SCALE

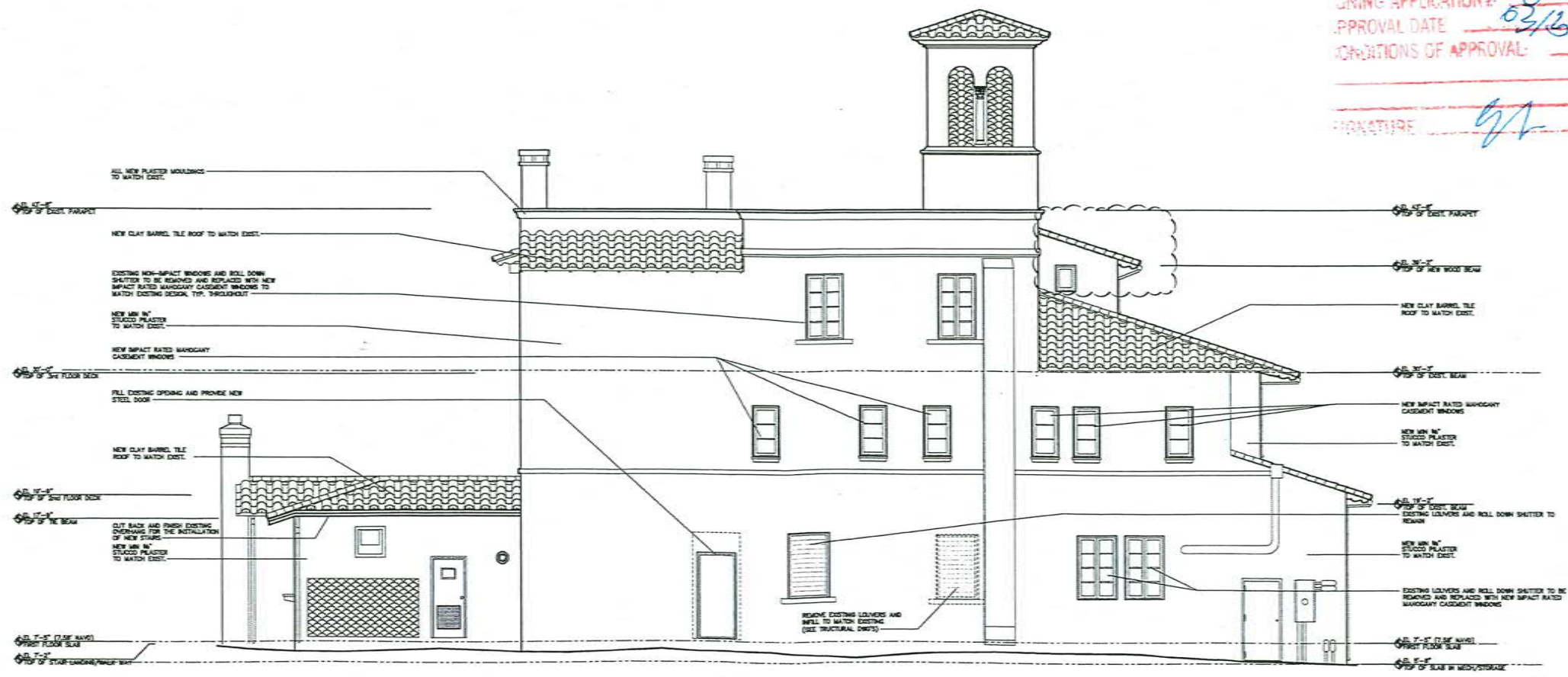
3/29/23 DATE
 T.M. PROCTOR
 M.M.M. CHK/DRN

A4.3 DWG. NO.



PREVIOUSLY APPROVED REAR (WEST) ELEVATION

STAFF APPROVAL
 LINING APPLICATION# 1-23-00736
 APPROVAL DATE 03/13/2023
 CONDITIONS OF APPROVAL:
 SIGNATURE [Signature]



CURRENTLY PROPOSED REAR (WEST) ELEVATION

COA-22-032

SHEET INDEX

1	COVER
2	SURVEY
3	ZONING LEGEND
4	ZONING DIAGRAMS
5	VICINITY LOCATION MAP
6	CONTEXTUAL SITE PLAN
7	STREETSCAPE
8	EXISTING PHOTOGRAPHS
9	EXISTING PHOTOGRAPHS
10	EXISTING PHOTOGRAPHS
11	EXISTING PHOTOGRAPHS
12	EXISTING PHOTOGRAPHS
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14	EXISTING PHOTOGRAPHS
15	EXISTING PHOTOGRAPHS
16	EXISTING PHOTOGRAPHS
17	EXISTING PHOTOGRAPHS
18	EXISTING SITE PLAN
19	PROPOSED SITE PLAN - ROOF
20	PROPOSED SITE PLAN - 1ST FLOOR
21	EXISTING FLOOR AND DEMO PLANS
22	EXISTING AND PROPOSED 1ST FLOOR PLAN
23	EXISTING FIRST FLOOR PLAN
24	DEMO PLAN
25	PROPOSED FIRST FLOOR PLAN
26	EXISTING AND PROPOSED ROOF PLAN
27	PROPOSED ROOF PLAN
28	SETBACK VARIANCE DIAGRAM
29	EXISTING AND PROPOSED NORTH ELEVATION
30	EXISTING AND PROPOSED WEST ELEVATION
31	EXISTING AND PROPOSED SOUTH ELEVATION
32	EXISTING AND PROPOSED EAST ELEVATION
33	PROPOSED SECTION
34	DETAILS
35	TRUCK ROUTE
36	L1.0 - EXISTING CONDITIONS
37	L2.0 DEMOLITION
38	L3.0 CONSTRUCTION SCREENING
39	L4 BUFFER IMAGES
40	L5.0 CONSTRUCTION STAGING PLAN
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42	L7.0 SITE PLAN
43	L7.1 SITE CALCULATIONS
44	L8.0 LANDSCAPE PLAN
45	L8.1 RENDERED LANDSCAPE PLAN
46	L8.2 PLANT SCHEDULE
47	L8.3 PLANT SCHEDULE
48	L9.0 PLANTING DETAILS
49	C1 DRAINAGE PLAN

SKA Architect + Planner
 249 Peruvian Avenue, Suite F-2
 Palm Beach, Florida 33480
 (561) 655-1116 office
 (561) 832-7828 facsimile
www.skaarchitect.com

Dustin M. Mizell, MLA-RLA#6666784

LEED® AP

www.EnvironmentDesignGroup.com

The Paramount Building

139 North County Road - Suite 20-B

Palm Beach, Florida 33480

ph: 561.832.4600

m: 561.313.4424

Chad M. Gruber, P.E.

Gruber Consulting Engineers, Inc.

2475 Mercer Ave., Suite 305

West Palm Beach, FL 33401

Ph: 561.312.2041

Fx: 561.537.7229

SAUNDERS RESIDENCE
 284 MONTEREY RD.
 PALM BEACH, FLORIDA 33480
 RENOVATION & ADDITION

LANDMARKS
 COA-22-028
 JULY 20, 2022

TOWN COUNCIL
 ZON-22-079
 AUGUST 10, 2022

SKA ARCHITECT + PLANNER
 PATRICK W. SEGRAVES, A.I.A.
 DANIEL A. CLAVIJO, ASSOCIATE A.I.A.

RECEIVED

By elyn at 2:43 pm, Jul 11, 2022

FINAL SUBMIT
 05-02-2022

284 Monterey Road - Original COA Plans

SKA
 SKA ARCHITECT + PLANNER
 OFFICE 561-655-1116 FAX 561-832-7828
 249 PERUVIAN AVE, SUITE F-2, PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:

SAUNDERS RESIDENCE
 284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
 A.R. #10,181

REVISIONS:

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SHEET NUMBER:

1

ISSUE
 DATE: 04-11-22
 JOB #: COA-22-028
 ZON-22-079

RENOVATION AND ~450SQFT ADDITION TO AN EXISTING LANDMARK HOME. REPLACEMENT OF SOME EXISTING WINDOWS AND DOORS, ALONG WITH REROOF. FINAL LANDSCAPE AND HARDSCAPE TO BE INCLUDED.

1) SECTION 134-893(C) AND 134-329: SPECIAL EXCEPTION WITH SITE PLAN REVIEW TO RENOVATE A ONE STORY LANDMARKED RESIDENCE AND ADD 456 SF OF ONE STORY ADDITIONS THAT WILL DEMOLISH MORE THEN 50% OF THE CUBIC FOOTAGE ON A NON-CONFORMING LOT IN THE R-B ZONING DISTRICT. PROJECT ALSO INCLUDES: REPLACE SOME WINDOWS/DOORS, RE-ROOF AND LANDSCAPE/HARDSCAPE MODIFICATIONS;

2) SECTION 134-893(6): A VARIANCE FOR AN ANGLE OF VISION TO BE 116 DEGREES IN LIEU OF THE 100 DEGREES MAXIMUM ALLOWED;

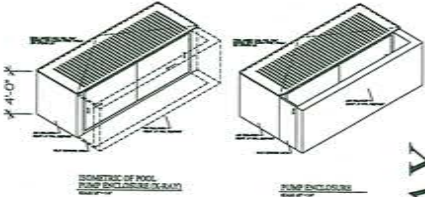
3) SECTION 134-893(5): A VARIANCE TO ALLOW A (WEST) STREET SIDE YARD SETBACK ON NORTH LAKE WAY FOR THE EXISTING HOUSE TO REMAIN AND ADDITION TO BE 20.1 FEET IN LIEU OF THE 25 FOOT MINIMUM REQUIRED.

4) SECTION 134-893(7): A VARIANCE TO ALLOW AN EAST SIDE YARD SETBACK FOR THE EXISTING HOUSE TO REMAIN THE THE ADDITION TO BE 4.8 FEET IN LIEU OF THE 12.5 FOOT MINIMUM REQUIRED.

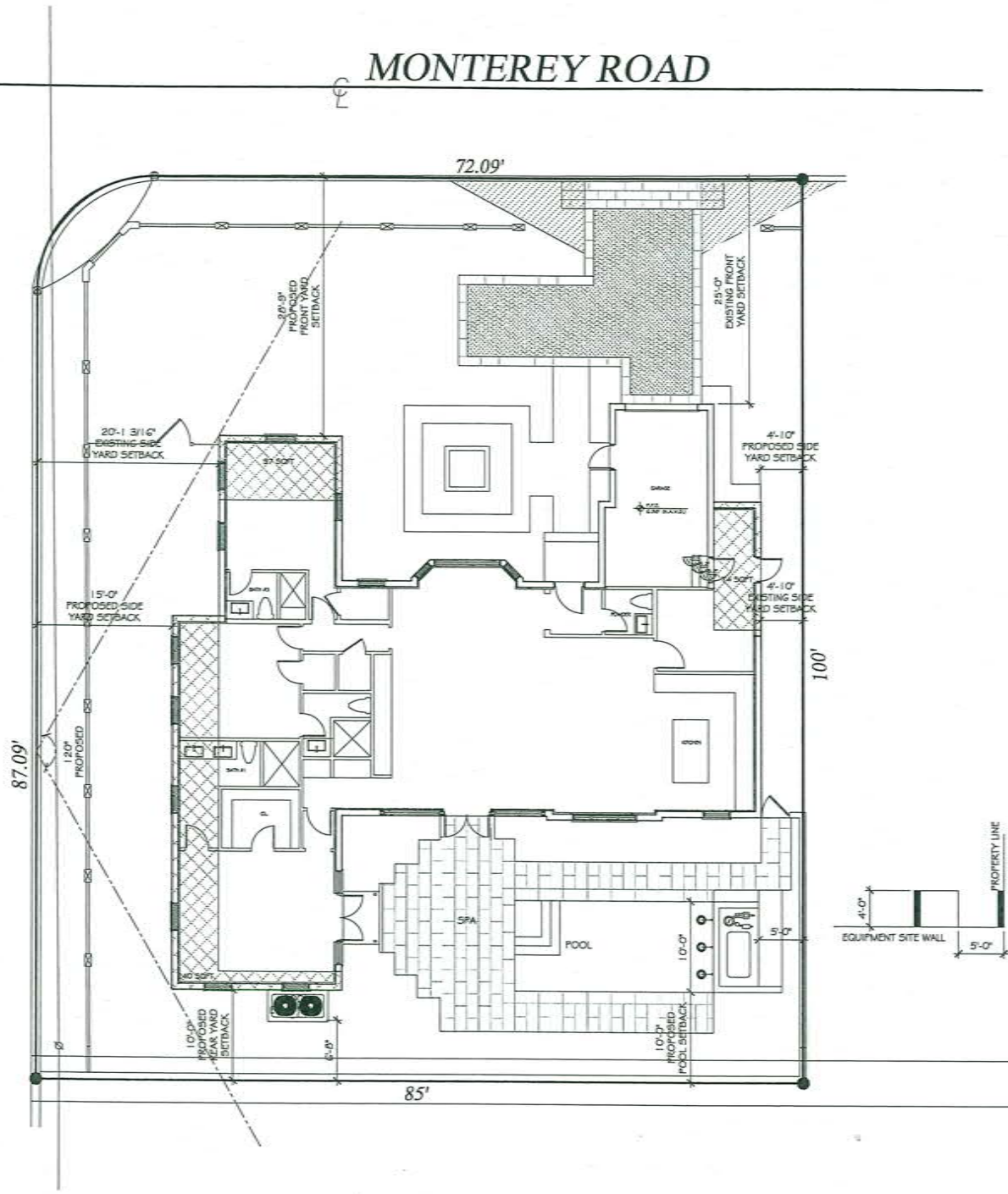
284 Monterey Road - Original COA Plans



LOCATION MAP
SCALE: N.T.S.



N. LAKE WAY



SKA
SKA ARCHITECT + PLANNER
OFFICE 561-656-1116 FAX 561-832-7828
249 PERMAN AVE. SUITE P-2, PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:
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SHEET NUMBER:
20
ISSUE DATE: 05-02-22
COA-22-028
JOB #: ZON-22-079

284 Monterey Road - Original COA Plans

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-666-1116 FAX 561-632-7828
240 PERMAN AVE, SUITE F-2, PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:

SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,161

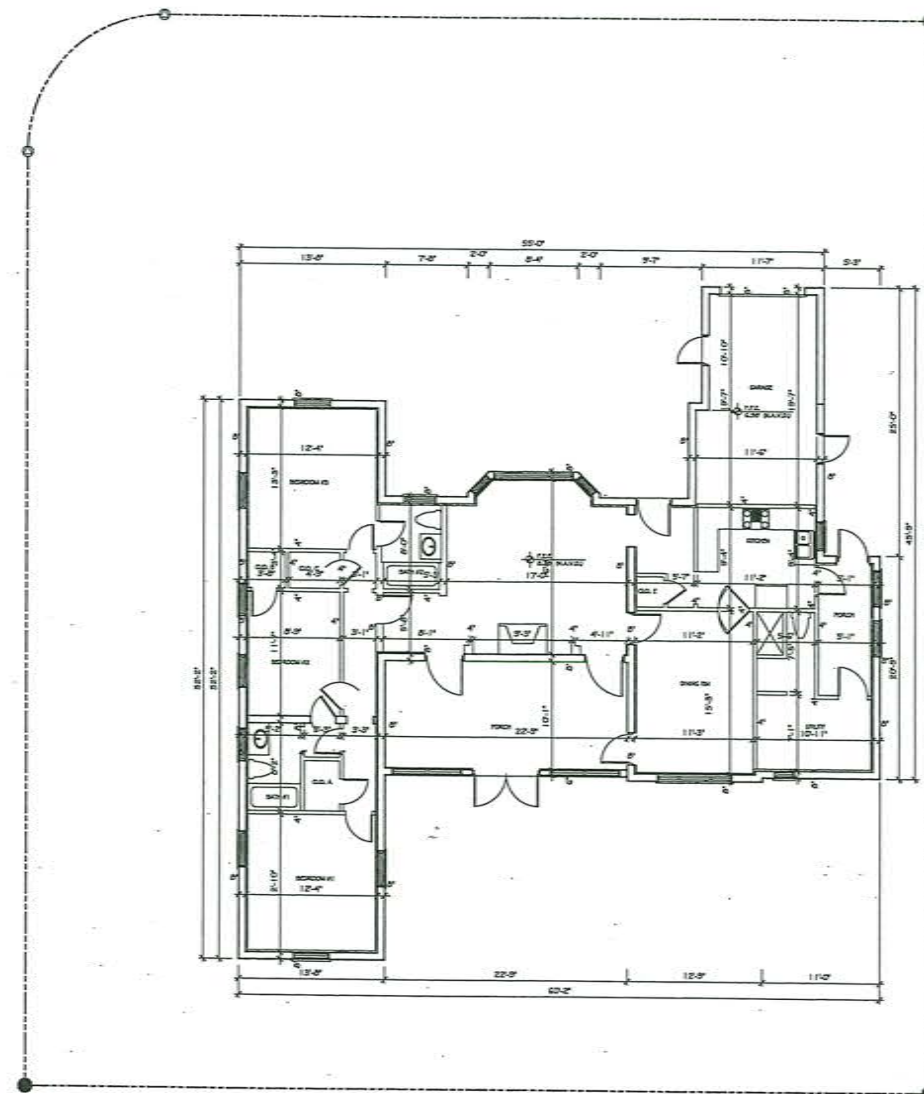
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21

ISSUE DATE: 05-02-22
JOB #: COA-22-026
ZON-22-079



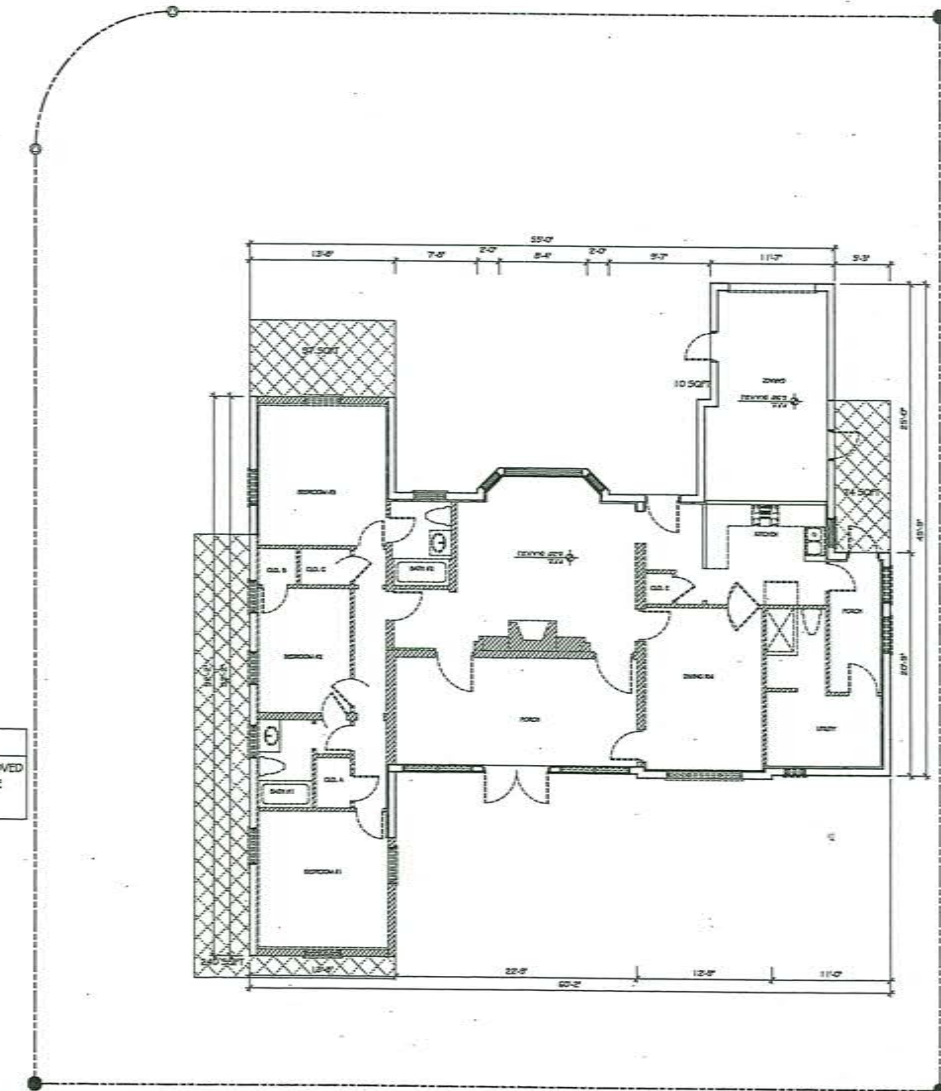
EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



DEMO LEGEND

--- EXISTING TO BE REMOVED
--- EXISTING DOOR TO BE REMOVED



DEMO PLAN

SCALE: 1/4" = 1'-0"



284 Monterey Road - Original COA Plans

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-666-1116 FAX 561-632-7828
240 PERDUE AVE, SUITE P-2, PALM BEACH, FL 33480

CONSULTANT:

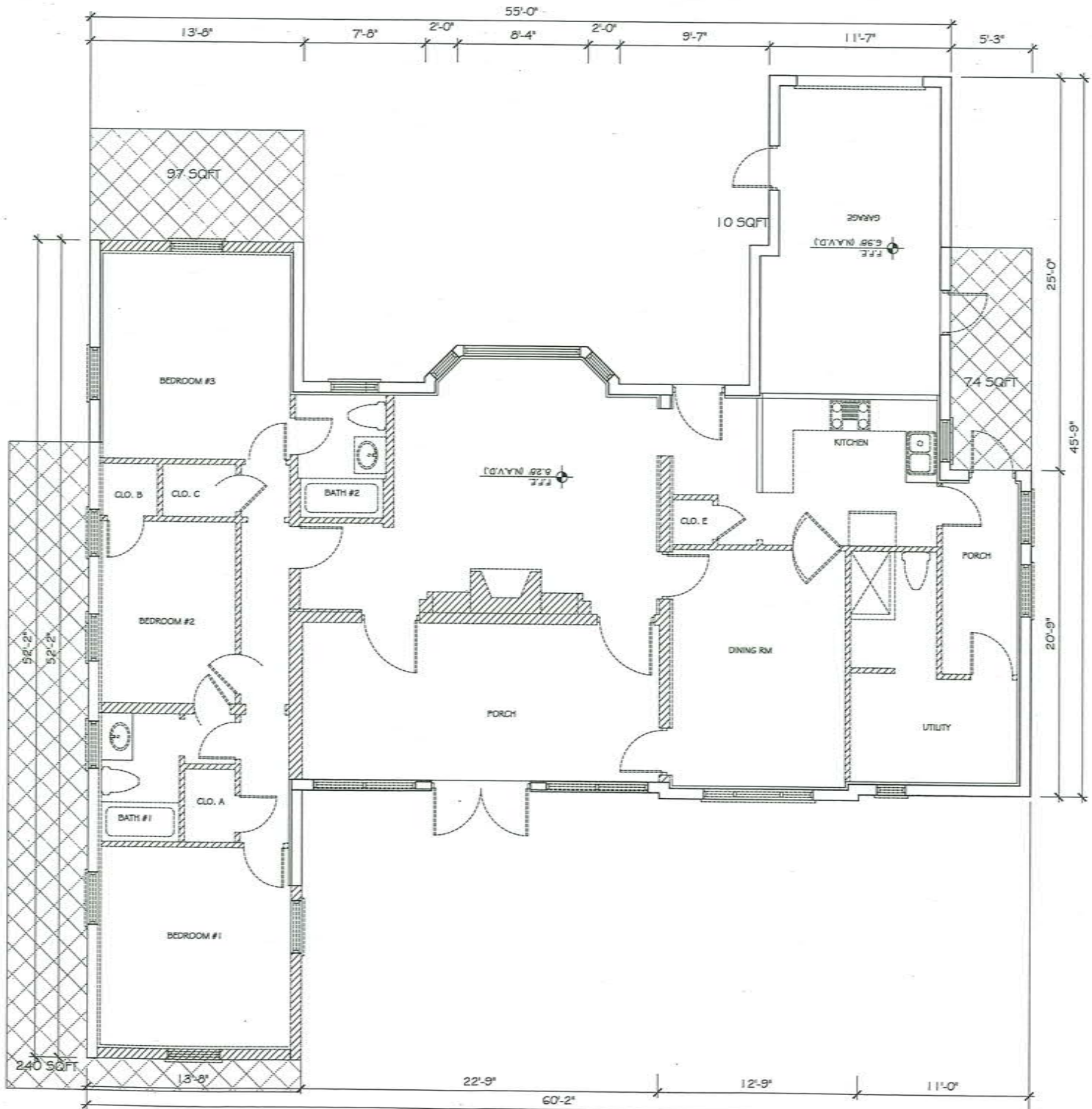
PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,161

REVISIONS:
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SHEET NUMBER:
24
ISSUE DATE: 05-02-22
JOB #: COA-22-026
ZON-22-079

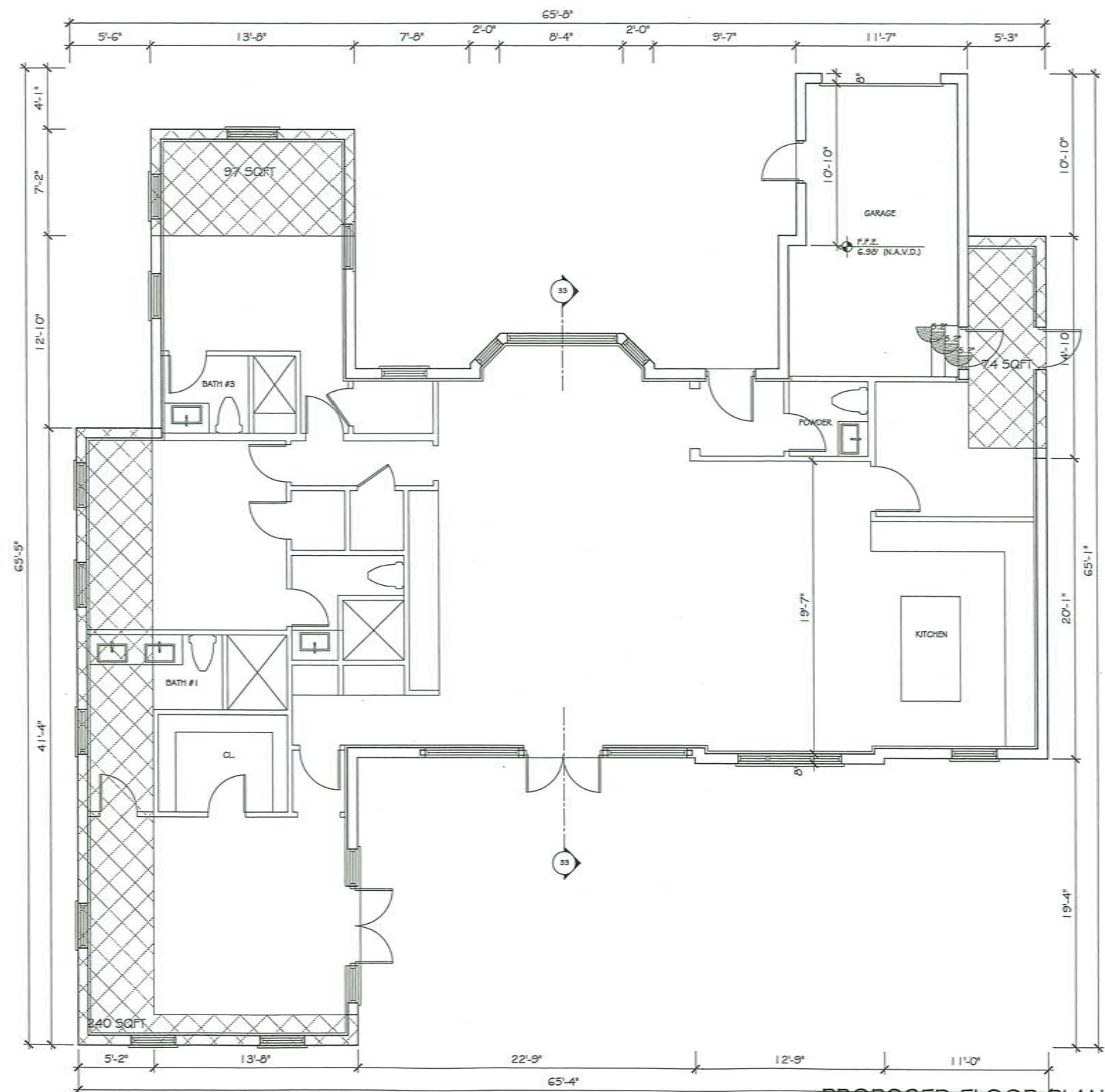
DEMO LEGEND
--- EXISTING TO BE REMOVED
--- EXISTING DOOR TO BE REMOVED



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

284 Monterey Road - Original COA Plans



SKA
SKA ARCHITECT + PLANNER
OFFICE 561-655-1116 FAX 561-632-7828
240 PERMAN AVE. SUITE F-2, PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:
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SHEET NUMBER:
25
ISSUE DATE: 05-02-22
JOB #: COA-22-028
ZON-22-079

PROPOSED FLOOR PLAN



284 Monterey Road - Original COA Plans

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SKA ARCHITECT + PLANNER
OFFICE 561-886-1116 FAX 561-882-7828
280 PERMAN AVE. SUITE F-2, PALM BEACH, FL 33480

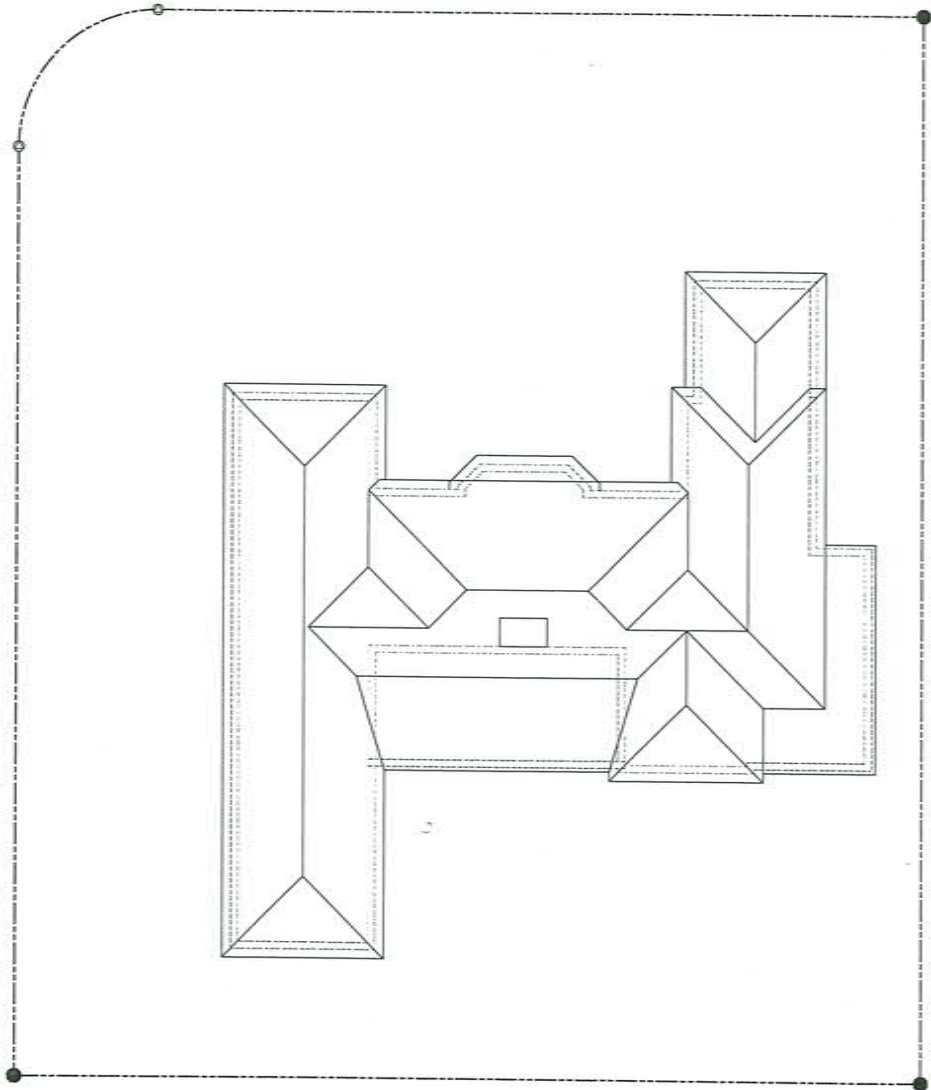
CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

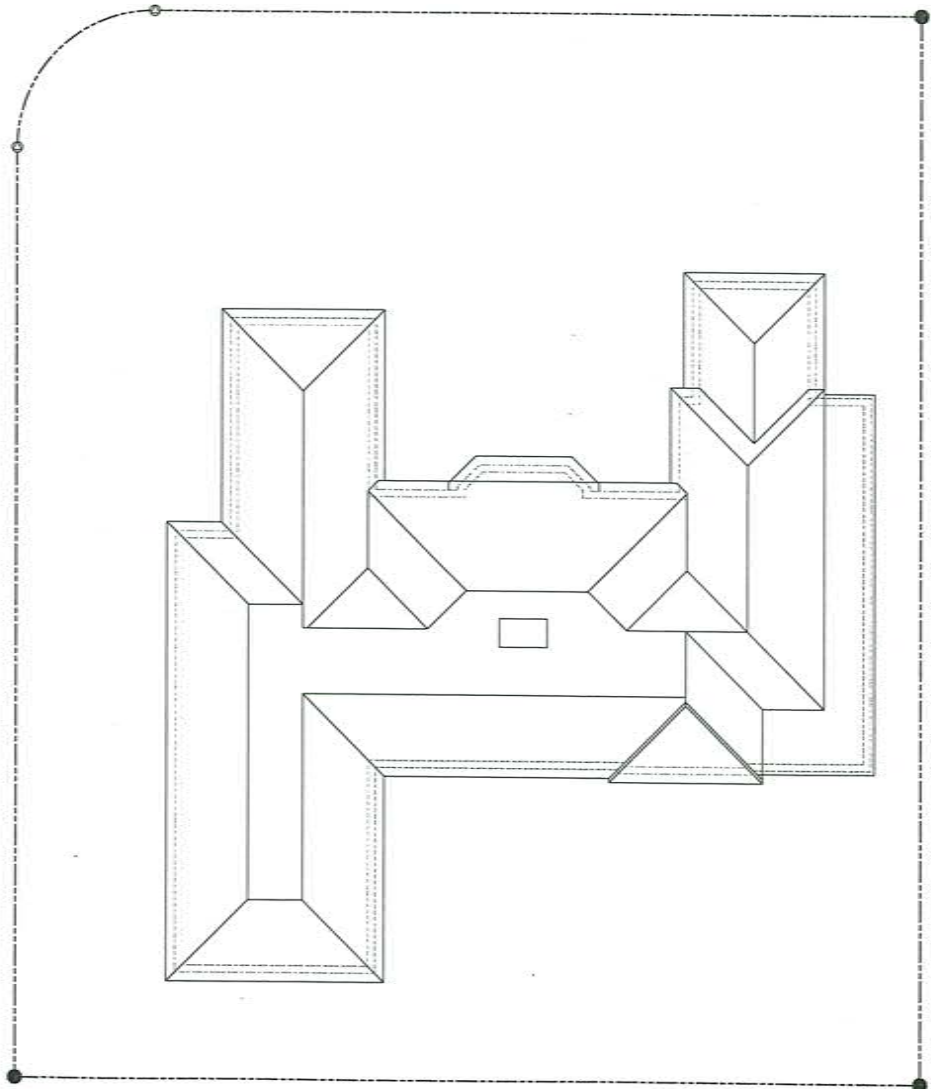
A.A. #001345
A.R. #10,161

REVISIONS:
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SHEET NUMBER:
26
ISSUE DATE: 05-02-22
JOB #: COA-22-028
ZON-22-079

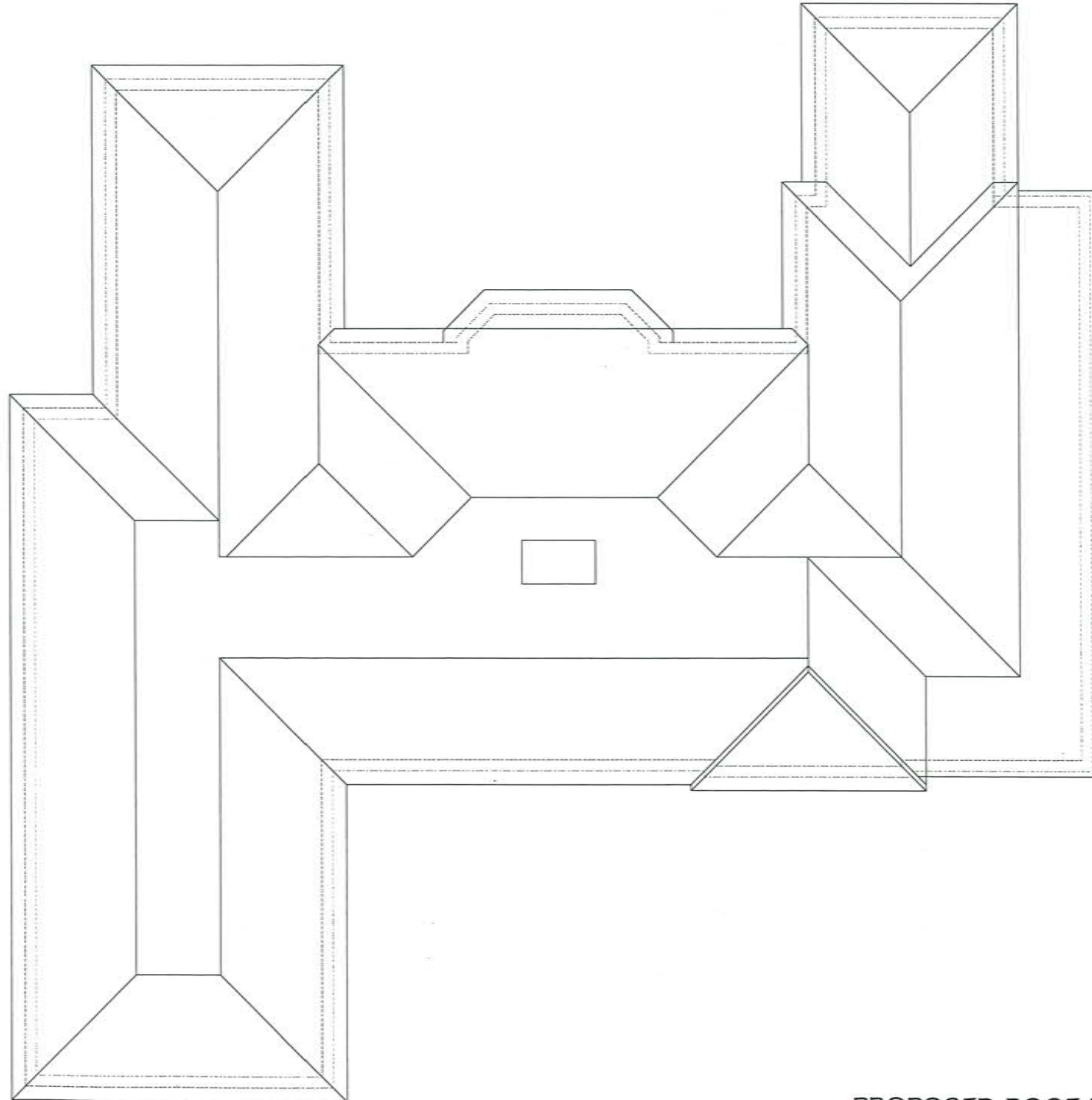


EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"



PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

284 Monterey Road - Original COA Plans



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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SKA ARCHITECT + PLANNER
OFFICE 561-655-1116 FAX 561-832-7828
240 PERMAN AVE, SUITE F-2, PALM BEACH, FL 33480

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:

SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:

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SHEET NUMBER:

27

ISSUE DATE: 05-02-22
JOB #: COA-22-028
ZON-22-079



TOWN OF PALM BEACH
Planning, Zoning & Building Department
360 S. County Rd
Palm Beach, FL 33480
permits@townofpalmbeach.com

FOR OFFICIAL USE ONLY

RECEIVED

OCT 26 2022

TOWN OF PALM BEACH
PZB DEPARTMENT

284 Monterey Road – Staff Approval

APPLICATION FOR STAFF APPROVAL

The Architectural Review Commission (ARCOM) and Landmark Preservation Commission (LPC) have granted staff the ability to administratively approve certain minor projects, eliminating the need of a more formal hearing process involving the commissions, thus saving time and money. For more information, please see application guide on page 2.

Payment of the Staff Approval fee is due upon application submittal. Payment may be made by check payable to the Town of Palm Beach or by cash or credit card in Town Hall during normal business hours of 8:30am and 4:00pm Monday through Friday. If the subject property is Landmark the fee is \$150.00, all others are \$350.00.

APPLICATION TYPE: ☒ LPC Staff Approval \$150.00 ☐ ARCOM Staff Approval \$350.00
**If LPC, is this a tax abatement project? YES or NO

DATE: _____ MASTER PERMIT # _____ STAFF APPROVAL PERMIT # L-22-00674

- I. PROJECT ADDRESS: 284 MONTEREY ROAD
- II. DESCRIPTION OF REQUEST (Please provide a brief, comprehensive and summarized description of the proposed project below. (If needed, please include further details on a continuation sheet).
REMOVE + REPLACE CENTER ROOF SECTION EXACTLY AS EXISTING AND PER OUR LPC APPROVED DRAWINGS. / WINDOW MODIFICATIONS & DOOR MODIFICATIONS ON SOUTH EAST ELEVATION NOT VISIBLE FROM STREET
- III. BUSINESS NAME/TENANT INFO (For commercial properties ONLY) N/A
Phone number: _____ Email: _____
- IV. DESIGN PROFESSIONAL NAME AND CONTACT INFO:
V. Name of Professional: SKA ARCHITECT + PLANNER (PATRICK W. SEGRAVES) License #: AR0010181
Phone Number: (561) 655-1116 Email: PAT@SKAARCHITECT.COM; DANIEL@SKAARCHITECT.COM
- VI. CONTRACTOR NAME AND CONTACT INFO:
Construction Company: STRAND CONSTRUCTION
Phone Number: (561) 317-7775 Email: KEN.STRANDCONSTRUCTION@GMAIL.COM
- VII. PROPERTY OWNER / AGENT NAME AND CONTACT INFORMATION:
Property Owner's Name: DHC MONTEREY LLC
Owners address (if different from subject address): _____
Phone Number: (203) 803-9000 Email: DCSAUNDERS27@ICLOUD.COM
- VIII. Applicant Signature: [Signature] Date: OCTOBER 5, 2022
(Printed Name) DANIEL CLAVIJO Title: ARCHITECT

FOR STAFF USE ONLY:

Approve EL 10/10/2022

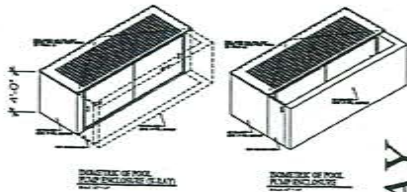
284 Monterey Road – Staff Approval



LOCATION MAP
SCALE: N.T.S.

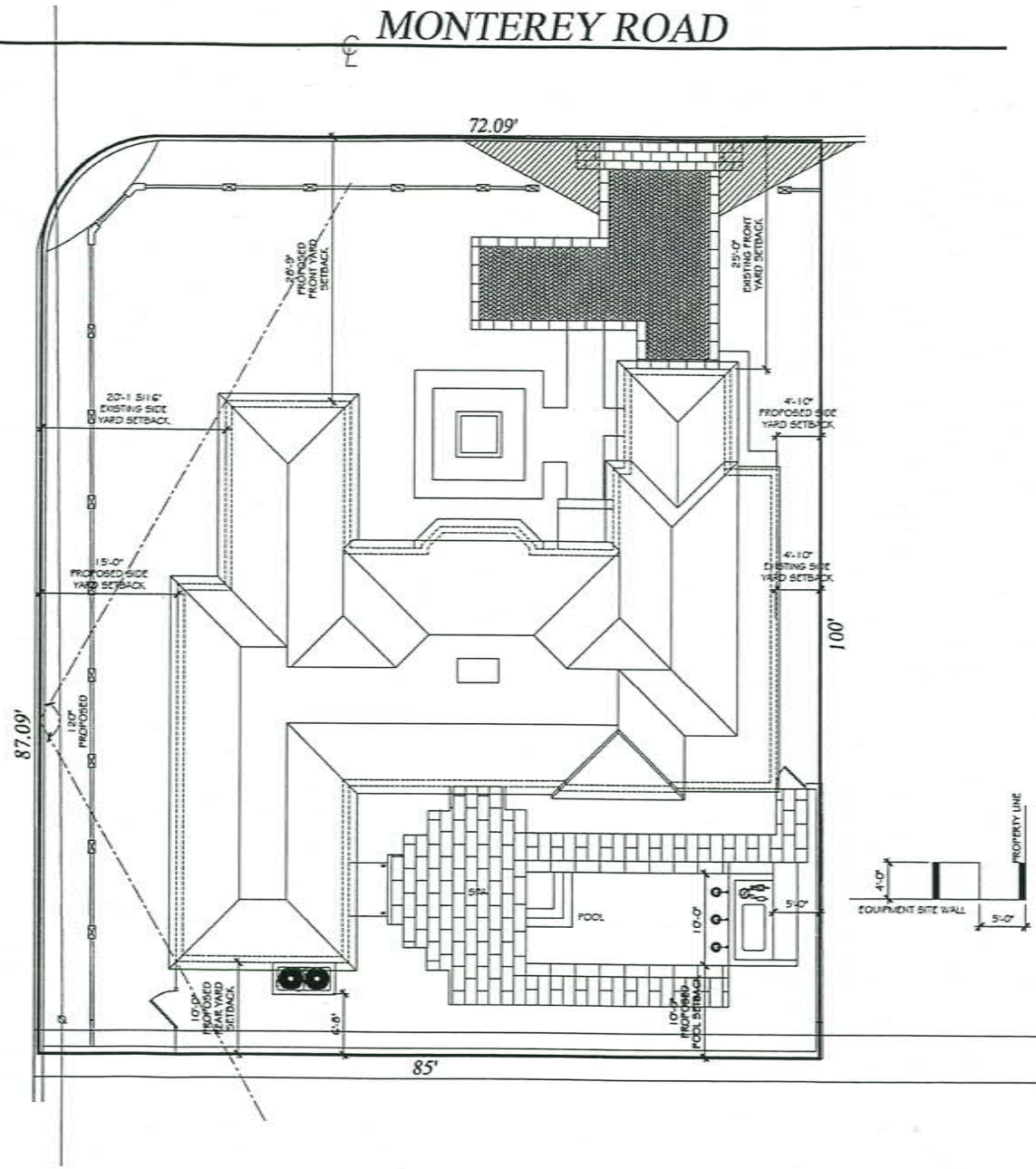
Town of Palm Beach Planning, Zoning and Building 360 S County Rd Palm Beach, FL 33480 www.townofpalmbeach.com			
Zoning Legend			
1	Property Address:	284 Monterey Rd	
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL	
3	Structure Type:	ONE STORY, SINGLE FAMILY HOME	
4		Required/Allowed	Existing
5	Lot Size (Sq Ft)	10,000 SQ.FT.	8,465 SQ.FT.
6	Lot Depth	100.00'	100'E/87.09'W
7	Lot Width	100.00'	72.09'N/85'S
8	Lot Coverage (Sq Ft and %)	40%(1)-30%(2)	2,164 SQFT(25.56%)
9	Enclosed Square Footage	NA	2,164 SQ.FT.
10	Cubic Content Ratio (CCR) (R-B ONLY)	4.15	2.12
11	*Front Yard Setback (FL)	25'(1)-35'(2)	25.00'
12	*Side Yard Setback (1st Story) (FL)	12.50'(W+E)	20.1' W-4.8' E
13	*Side Yard Setback (2nd Story) (FL)	15.00'(W+E)	NA
14	*Rear Yard Setback (FL)	10'(1)-15'(2)	11.9'
15	Angle of Vision (Deg.)	100	105
16	Building Height (FL)	14'(1)-22'(2)	8.75'
17	Overall Building Height (FL)	22'(1)-30'(2)	17.25'
18	Crown of Road (COR) (NAVD)	NA	6.08'
19	Max. Amount of Fill Added to Site (FL)	NA	NA
20	Finished Floor Elev. (FFE)(NAVD)	7.00' MINIMUM	8.28'
21	Zero Datum for point of meas. (NAVD)	7.00' MINIMUM	7.00'
22	FEMA Flood Zone Designation	NA	X
23	Base Flood Elevation (BFE)(NAVD)	NA	7.00'
24	Landscape Open Space (LOS) (Sq Ft and %)	3,809.25 SF (45%)	4,246 SF (50.2%)
25	Perimeter LOS (Sq Ft and %)	1,904.63 SF (50%)	2,249 SF (58.9%)
26	Front Yard LOS (Sq Ft and %)	835.6 SF (40%)	1,499 SF (71.9%)
27	*Native Plant Species %	Please refer to separate landscape legend.	

*Indicate each yard with cardinal direction (N,E,S,W)
** Provide Native plant species calculation per category as required by Ord. 24-2022 on separate table



N. LAKE WAY

SQUARE FOOTAGE	
FIRST FLOOR:	2,374 S.F.
A/C SPACE:	2,374 S.F.
GARAGE:	246 S.F.
GRAND TOTAL:	2,620 S.F.



SKA
SKA ARCHITECT + PLANNER
OFFICE 561-665-1116 FAX 561-632-7828
240 PENNA AVE, SUITE F-2, PALM BEACH, FL 33480

CONSULTANT:

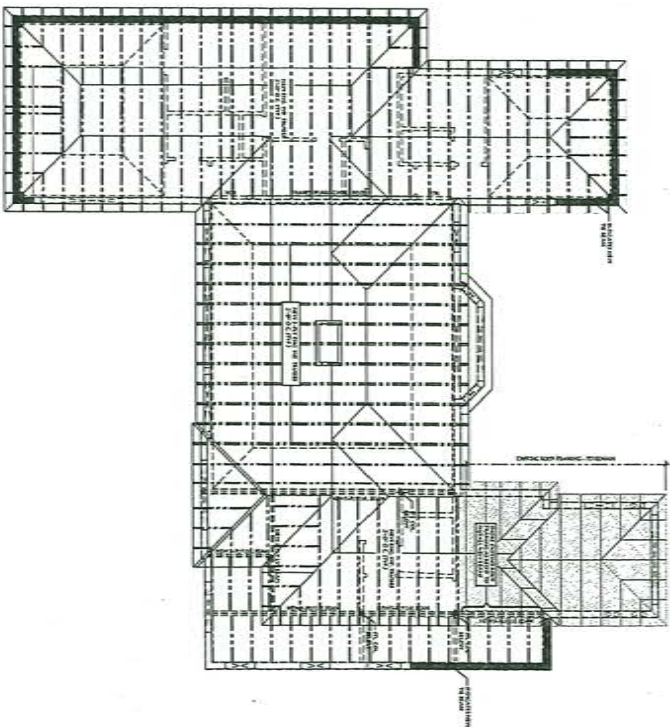
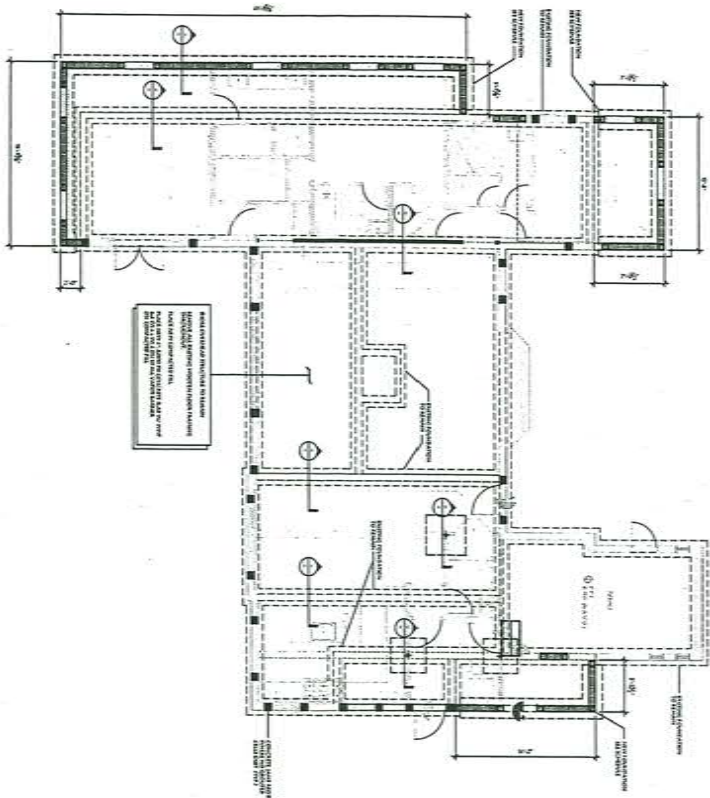
PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:

SHEET NUMBER:
SP-2
ISSUE DATE: 08-01-22
JOB #: COA-22-028
ZON-22-079

PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



FOUNDATION PLAN

ROOF FRAMING PLAN

S2

284 MONTEREY ROAD

Palm Beach, Florida

Foundation Plan

PRUITT DESIGN GROUP, INC.

DESIGN CONSULTING ENGINEERS

REV	DESCRIPTION	DATE

PROJECT NO. 2009-01

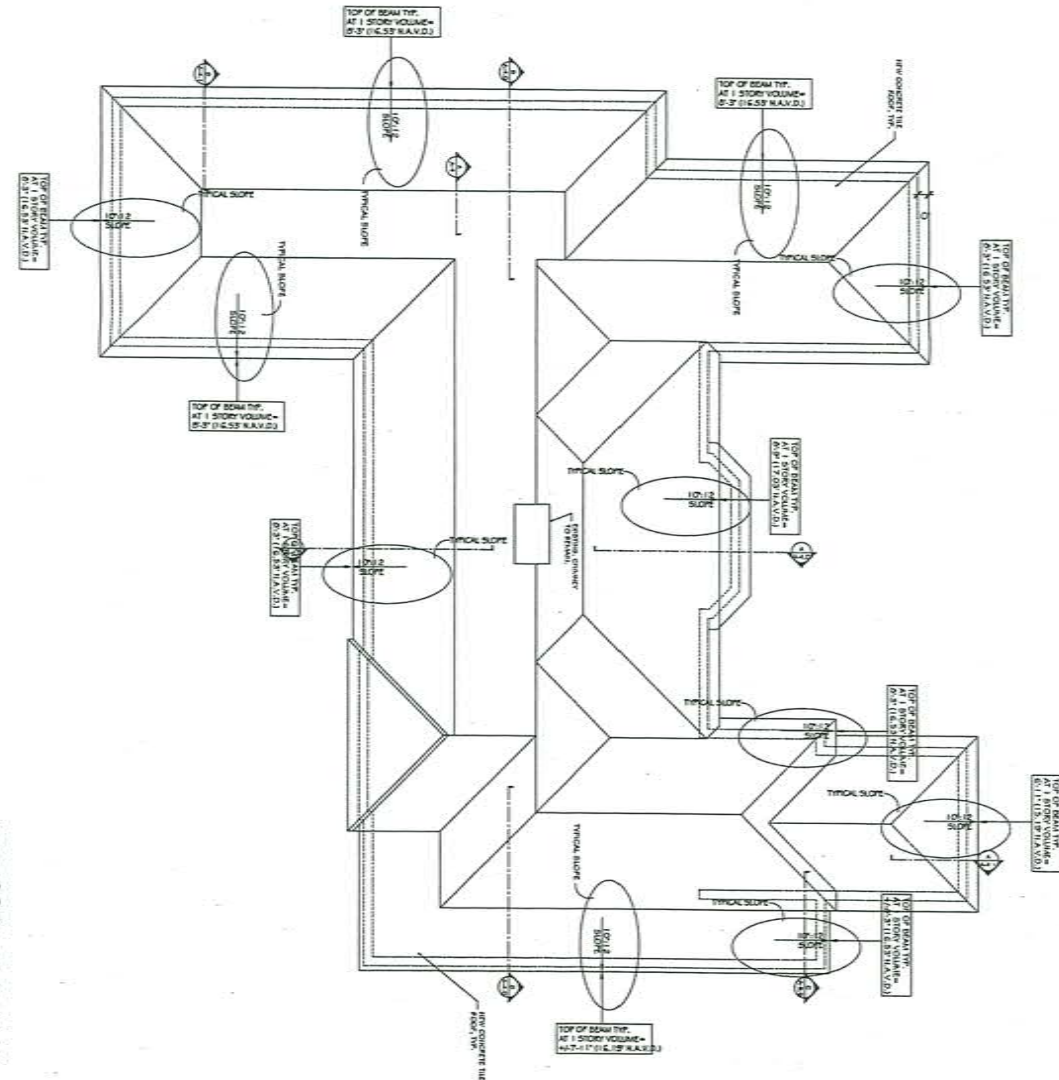
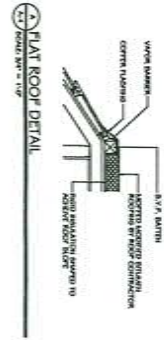
DRAWN BY: JF

CHECKED BY: JF

APPROVED BY: JF

DATE: 10-10-2009

284 Monterey Road – Staff Approval



PROPOSED ROOF PLAN
SCALE: 1/4\"/>



PROJECT NUMBER:	AA-001-145
DATE:	08/01/22
JOB #:	08-25-026
DATE:	08/25/22

REVISIONS:	1
DATE:	08/01/22
BY:	AA-001-145

AA-001-145	AA-001-145
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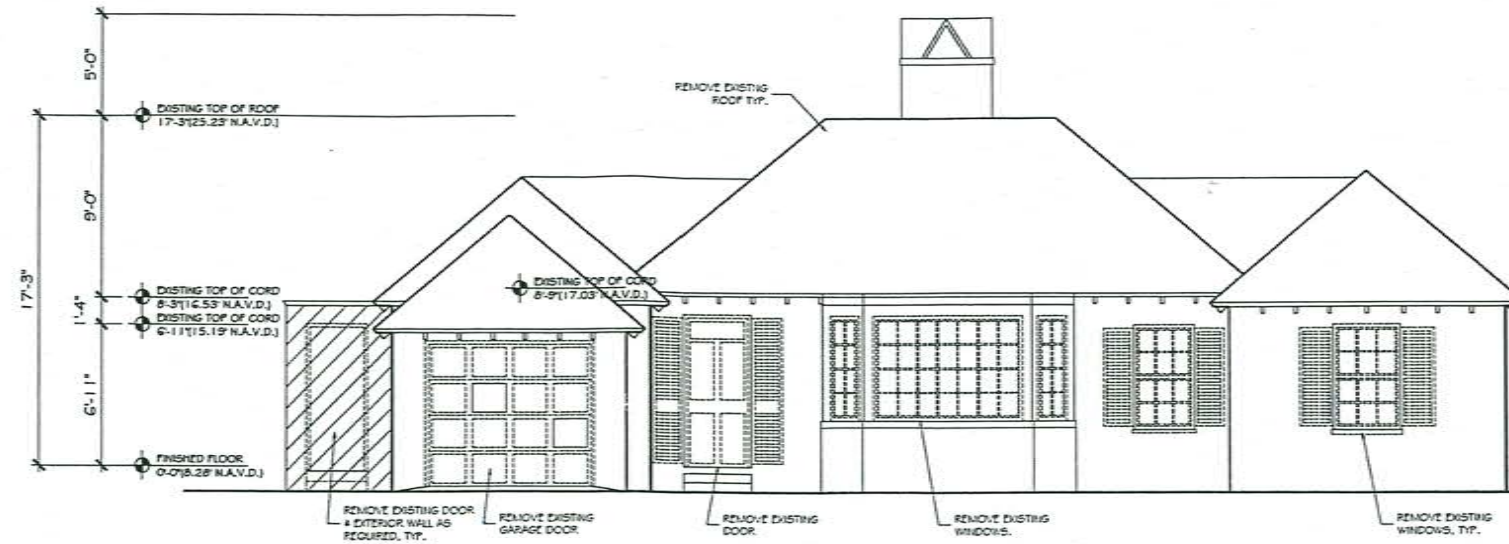
PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

FOOTING PLAN:	
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SKA
SKA ARCHITECT + PLANNER
OFFICE 561-885-1118 FAX 561-832-7828
340 PINEHURST BLVD, SUITE 200 PALM BEACH, FL 33480

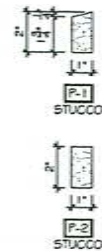
284 Monterey Road – Staff Approval

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-665-1116 FAX 561-632-7628
240 PENMAN AVE. SUITE P-2, PALM BEACH, FL 33480



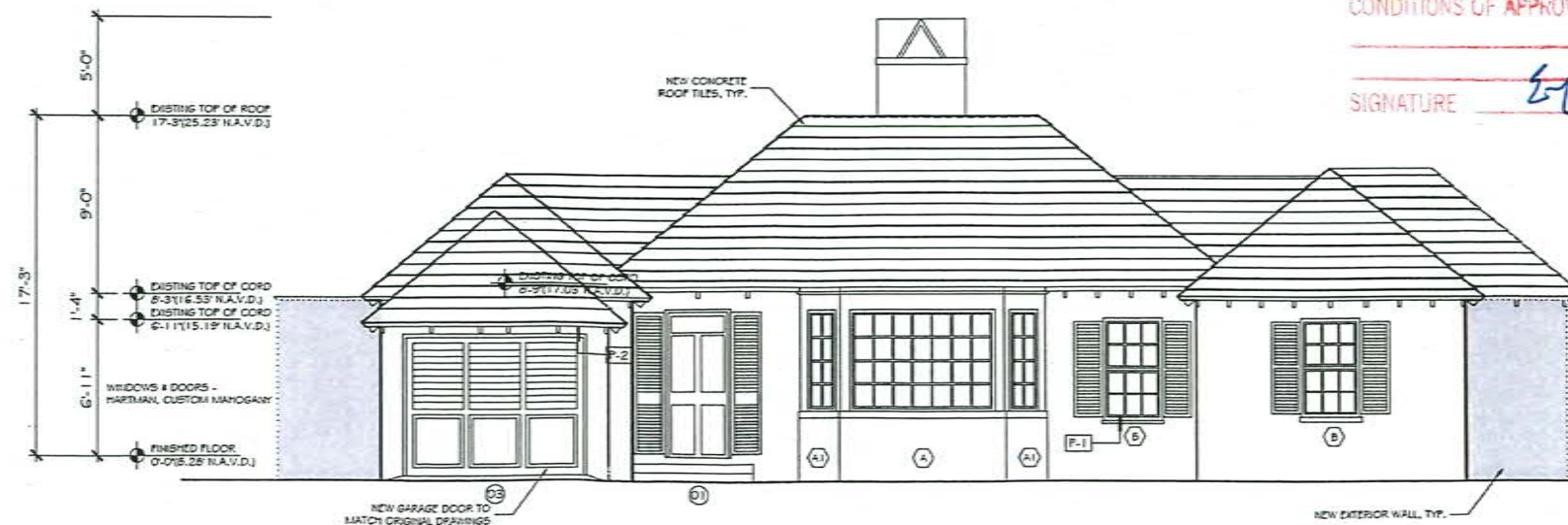
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



STUCCO PROFILE DETAILS

SCALE: 3" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

STAFF APPROVAL
ZONING APPLICATION # 22-00674
APPROVAL DATE 10/01/2022
CONDITIONS OF APPROVAL: _____
SIGNATURE EL

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:

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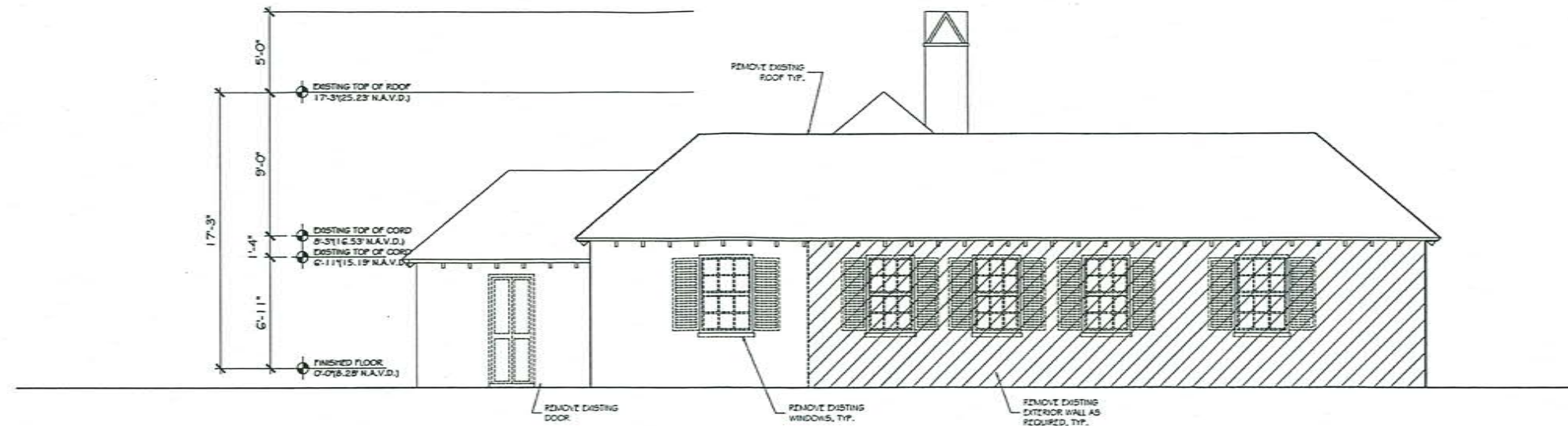
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A-3.0

ISSUE DATE: 05-02-22
JOB #: COA-22-028
ZON-22-079

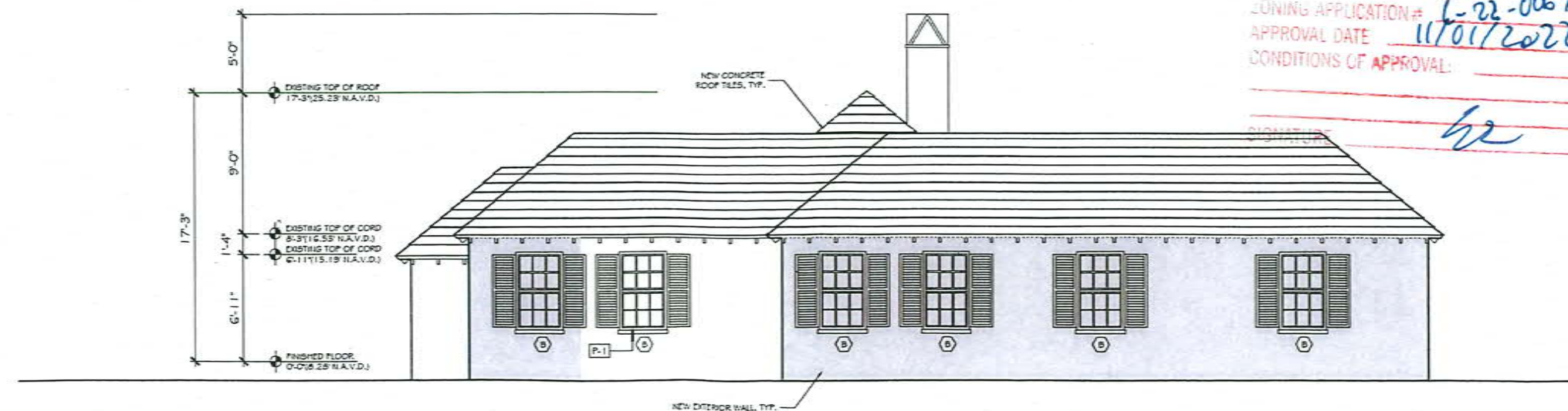
284 Monterey Road – Staff Approval

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-656-1110 FAX 561-639-7828
240 PIEDMONT AVE. SUITE P-2 PALM BEACH, FL 33480



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

STAFF APPROVAL

ZONING APPLICATION # 1-22-00674

APPROVAL DATE 11/01/2022

CONDITIONS OF APPROVAL:

SIGNATURE *h2*

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

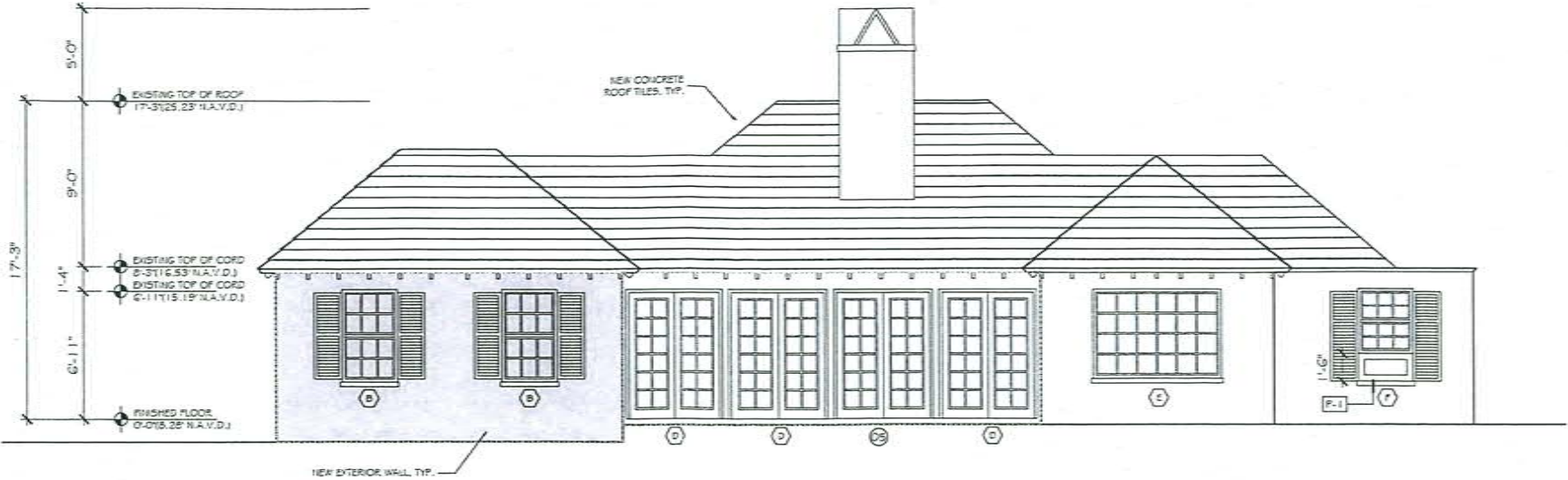
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A-3.1

ISSUE DATE: 05-02-22
JOB #: COA-22-028
ZON-22-079

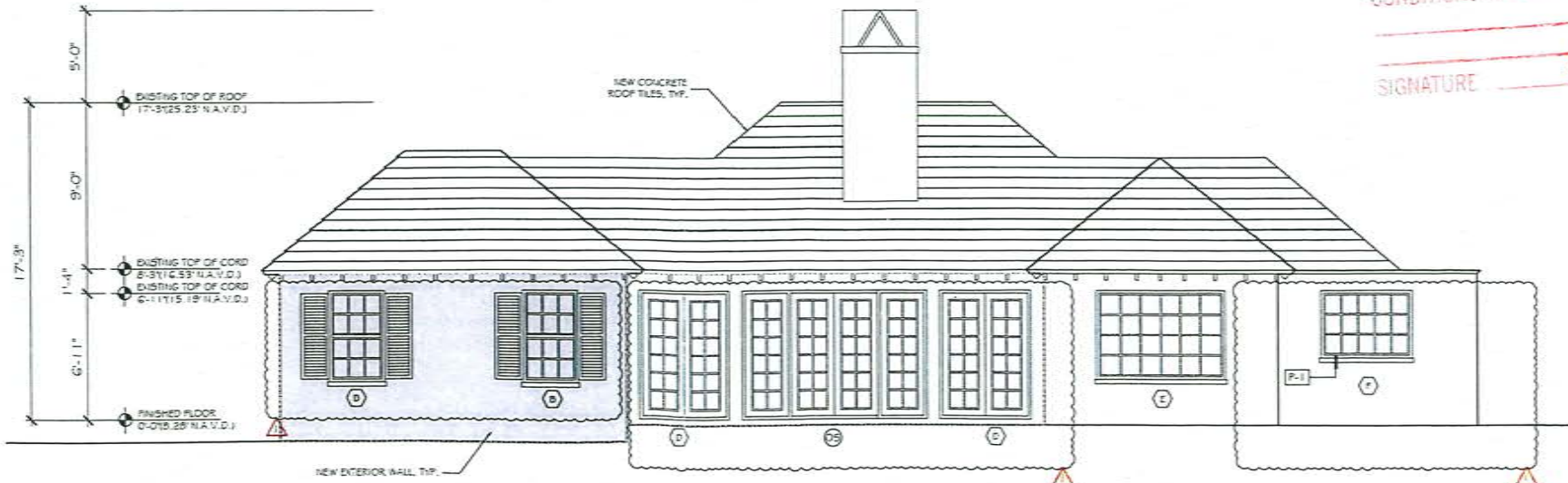
284 Monterey Road – Staff Approval

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-655-1110 FAX 561-632-7828
200 PHOENIX AVE. SUITE 202, PALM BEACH, FL 33480



APPROVED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



CURRENTLY PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

STAFF APPROVAL
ZONING APPLICATION # L-22-00674
APPROVAL DATE 1/10/2022
CONDITIONS OF APPROVAL:
SIGNATURE hr

CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

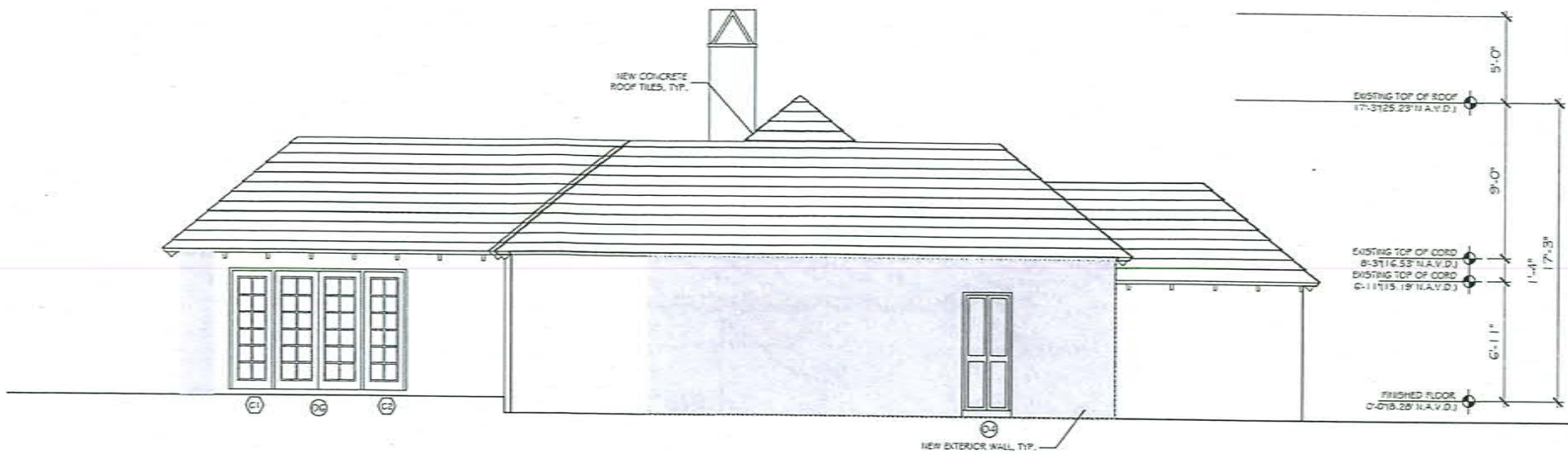
A.A. #001345
A.R. #10.151

REVISIONS:
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SHEET NUMBER:
A-3.2
ISSUE DATE: 08-01-22
JOB #: CCA-22-028
ZON-22-079

284 Monterey Road – Staff Approval

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-655-1116 FAX 561-652-7828
280 PINEAPPLE BLVD. #2 PALM BEACH FL 33480



APPROVED EAST ELEVATION
SCALE: 1/4" = 1'-0"

STAFF APPROVAL
ZONING APPLICATION # C-22-00674
APPROVAL DATE 11/01/2022
CONDITIONS OF APPROVAL:
SIGNATURE [Signature]

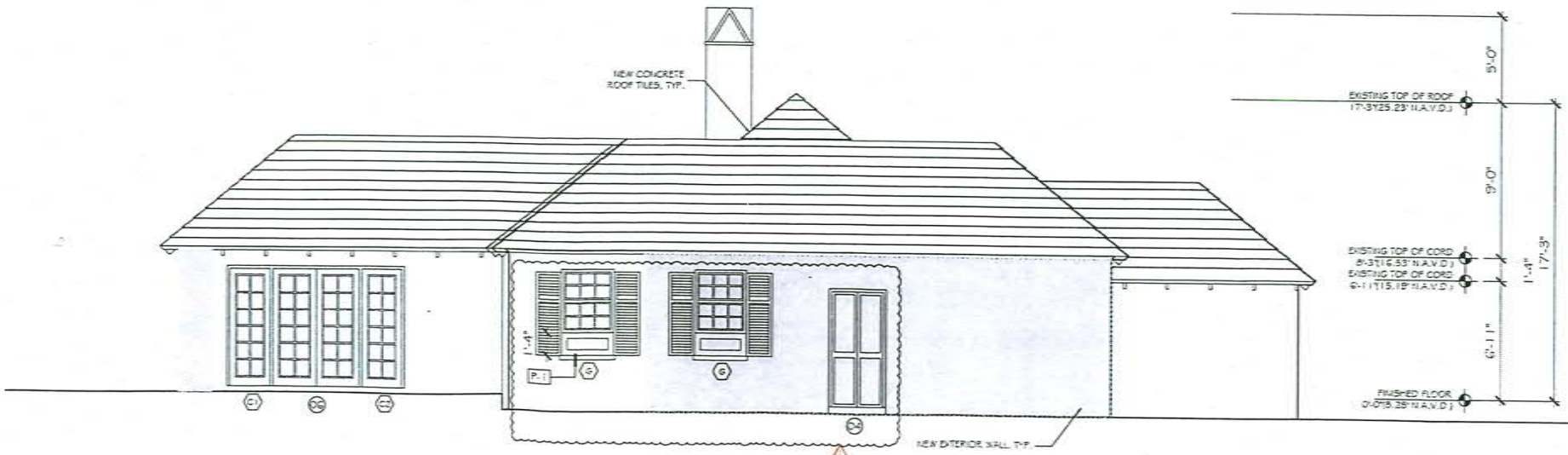
CONSULTANT:

PROPOSED RENOVATIONS OF RESIDENCE FOR:
SAUNDERS RESIDENCE
284 Monterey Rd PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10181

REVISIONS:
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△

SHEET NUMBER:
A-3.3
ISSUE DATE: 08-01-22
JOB #: COA-22-028
ZON-22-079



CURRENTLY PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"