

# Addition to 428 Chilean Ave

428 Chilean Ave  
428 Chilean Ave, Palm Beach, FL 33480

HSB: 22-012  
ZON: 22-121



## Scope of Work

HISTORICAL RENOVATION TO EXISTING 2BR. BUNGALOW AND ADDITION OF MASTER BEDROOM, STUDY, GARAGE AND LOGGIA

## Sheet List

### GENERAL REQUIREMENTS

- C1 Cover Sheet
- C2 Property Survey
- C3 Vicinity Location map
- C4 Location Plan
- C5.1 Photo Sheet
- C5.2 Historical Photo Sheet
- C6 Site Plan
- C7 Zoning Legend

### ADDITIONS

- F1 Zoning Diagram
- F2.1 Demolition Plans
- F2.2 Demolition Elevations
- F3.1 Ground Floor Plan
- F3.2 Second Floor Plan
- F4 Roof Plan
- F5.1 Previously Proposed North Elevation
- F5.2 North Elevation
- F5.3 Previously Proposed South Elevation
- F5.4 South Elevation
- F5.5 Previously Proposed West Elevation
- F5.6 West Elevation
- F5.7 Previously Proposed East Elevation
- F5.8 East Elevation
- F5.9 Previously Proposed East Elevation/Section
- F5.10 East Elevation/Section
- F5.11 Proposed Elevation Option
- F5.12 Proposed Elevation Option
- F5.13 Proposed Elevation Option
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- F14.1 Site Civil Drainage Plan General Notes
- F14.2 Site Civil Paving, Grading, and Drainage Plan
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- F14.4 Stormwater Pollution Prevention Plan and Details
- F15 Construction Screening Plan
- F16 Construction Staging and Truck Logistics Plan

### LANDSCAPE & HARDSCAPE

- Cover Cover Sheet
- H1.1 Existing Conditions - Plan
- H1.2 Existing Conditions - Photos
- H1.3 Existing Conditions - Photos
- H2.1 Preliminary Landscape Plan
- H2.2 Hardscape Plan
- H2.3 Irrigation Plan
- H2.4 Landscape Lighting Plan
- H2.5 Tree Survey/Disposition Plan
- H3.1 Landscape Plan
- H3.2 Landscape Details
- H4.1 Open Space Plan
- H5.1 Color Rendering Street Elevation & North Elevation
- H5.2 Color Rendering Section & South Elevation
- H5.3 Color Rendering East Elevation & West Elevation
- H6.1 Fences, Walls & Gates
- H7.1 Exterior Material & Finishes Sheet

First Submittal  
02.06.2023

Second Submittal  
02.27.2023

Final Submittal  
03.14.2023

Resubmittal  
07.03.2023

Design Architect/Interiors

Landscape Architectural Design



300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134  
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Landscape Architectural Design  
8538 S.E. Sharon Street Hobe Sound, Florida 33455

SHEET NO.

C1



# INVOICE NO.: 42768

<b>DATE:</b> 03-28-2022	<b>DESCRIPTION:</b> FIELD LOCATION OF IMPROVEMENTS
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### ABBREVIATIONS / SYMBOLS:

A/C	= AIR CONDITIONING UNIT
ADJ	= ADJACENT
BCR	= BROWARD COUNTY RECORDS
BM	= BENCHMARK
CALC	= CALCULATED
CA	= CENTRAL ANGLE
C/L	= CENTERLINE
CB	= CATCH BASIN
CBS	= CONCRETE BLOCK WALL
CHATT	= CHATTAHOOCHEE
CONC	= CONCRETE
CM	= CONCRETE MONUMENT
COL	= COLUMN
D	= DEED
DE	= DRAINAGE EASEMENT
DS	= DRAINAGE STRUCTURE
ELEV.	= ELEVATION
EOW	= EDGE OF WATER
FD	= FOUND
FF	= FINISHED FLOOR
ID	= IDENTIFICATION
INV	= INVERT
IP	= IRON PIPE
IR	= IRON ROD
L	= LENGTH
LAE	= LIMITED ACCESS EASEMENT
LME	= LAKE MAINTENANCE EASEMENT
LP	= LIGHT POLE
M	= MEASURED
N/D	= NAIL AND DISC
N/G	= NATURAL GROUND
NR	= NON RADIAL
NTS	= NOT TO SCALE
OHC	= OVERHEAD CABLES
ORB	= OFFICIAL RECORD BOOK
P	= PLAT
PB	= PLAT BOOK
PBCR	= PALM BEACH COUNTY RECORDS
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVATURE
PCP	= PERMANENT CONTROL POINT
PG	= PAGE
PI	= POINT OF INTERSECTION
POB	= POINT OF BEGINNING
POC	= POINT OF COMMENCEMENT
PRC	= POINT OF REVERSE CURVATURE
PRM	= PERMANENT REFERENCE MONUMENT
PT	= POINT OF TANGENCY
R	= RADIUS
RGE	= RANGE
ROE	= ROOF OVERHANG EASEMENT
R/W	= RIGHT OF WAY
SEC	= SECTION
S/W	= SIDEWALK
TOB	= TOP OF BANK
TYP	= TYPICAL
UE	= UTILITY EASEMENT
WF	= WOOD FENCE
WPP	= WOOD POWER POLE (UTILITY POLE)

OVERHEAD CABLES	
— x — x — x — x —	METAL FENCE
— o — o — o — o —	METAL FENCE
— // // // // // //	WOOD FENCE
— □ — □ — □ — □ —	PLASTIC FENCE
— — — — — — — —	EASEMENT LINES
— — — — — — — —	CENTERLINE (C/L)
⊕	FIRE HYDRANT
⊗	WATER VALVE
⊕	UTILITY POLE
⊕	WATER METER

CONVERSION	INCHES TO
	DECIMAL
1" = 0.08'	
2" = 0.17'	
3" = 0.25'	
4" = 0.33'	
5" = 0.42'	
6" = 0.50'	
7" = 0.58'	
8" = 0.67'	
9" = 0.75'	
10" = 0.83'	
11" = 0.92'	
12" = 1.0'	

### PROPERTY ADDRESS:

428 CHILIAN AVENUE, PALM BEACH, FLORIDA 33480

### LEGAL DESCRIPTION:

LOT 43, 44, AND 45, BLOCK 12, REVISED MAP OR ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

### CERTIFICATIONS:

- VITALINI CORZZINI ARCHITECTS

### FLOOD DATA:

FLOOD ZONE: AE  
COMMUNITY NUMBER: 120220  
COMMUNITY NAME: TOWN OF PALM BEACH  
PANEL NUMBER: 12099C0583F

### GENERAL NOTES:

- THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- ELEVATION ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 1988) UNLESS OTHERWISE NOTED.
- IN SOME CASES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED FOR CLEARER ILLUSTRATION. MEASURED RELATIONSHIP SHALL HAVE PRECEDENCE OVER SCALE POSITIONS.
- ALL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.10 (FT)
- "ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES." (CHAPTER 61G17-6.003 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES)

\*\* "5J-17.052 STANDARDS OF PRACTICE: SPECIFIC SURVEY, MAP, AND REPORT REQUIREMENTS.

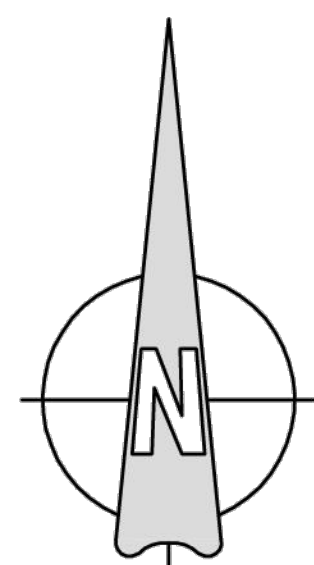
### (b) BOUNDARY MONUMENTS:

f. WHEN A CORNER FALLS IN A HARD SURFACE SUCH AS ASPHALT OR CONCRETE, ALTERNATE MONUMENTATION MAY BE USED THAT IS DURABLE AND IDENTIFIABLE ." (EXAMPLES: FENCE POST, BLDG. CORNERS, ETC.)

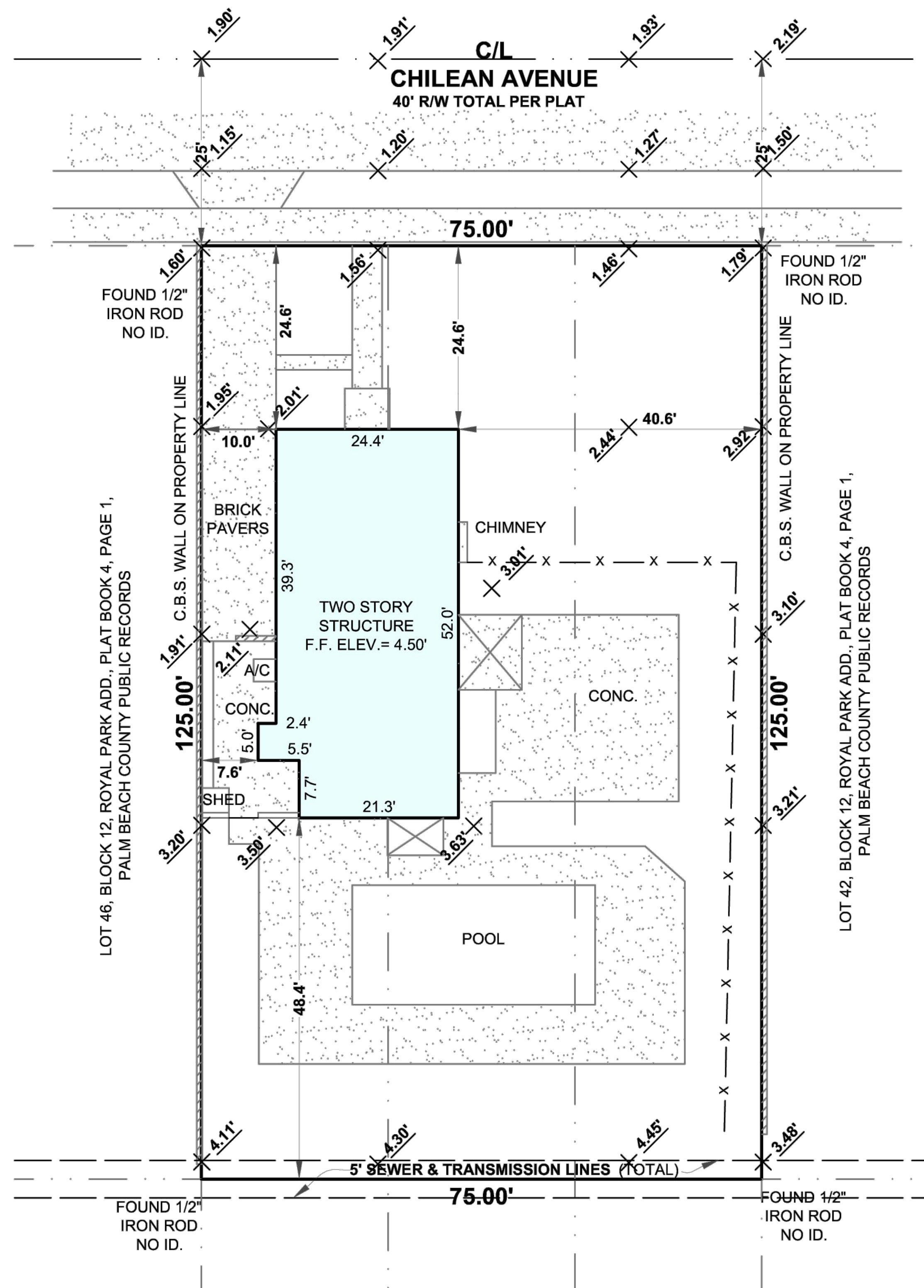
**GT SURVEYOR SERVICES INC.**  
1660 SOUTHERN BLVD. UNIT K  
WEST PALM BEACH  
FLORIDA 33406-1747  
OFFICE: 561-753-0353  
FAX: 561-753-0342  
E-MAIL: gtsurveying@gmail.com

I HEREBY CERTIFY THAT THIS MAP OF BOUNDARY SURVEY WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. FURTHERMORE THIS SURVEY SKETCH MEETS THE INTENT OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

SIGNED: *[Signature]*  
GINO FURLANO SURVEYOR AND MAPPER  
FLORIDA LICENSE NO.: 5044  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR/MAPPER NAMED ABOVE.



SCALE: 1"=20'



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Palm Beach, FL 33480  
HSB: 22-012  
ZON: 22-121

OWNER  
David Mooney  
428 Chilean Ave  
Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNERS REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23

Luigi Vitalini | AR - 13513

**LA Design**  
Landscape Architectural Design  
8538 S.E. Sharon Street Hobe Sound, Florida 33455

**vitalinacorzzini ARCHITECTS**  
300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134  
tel: 305.567.0602 | fax: 305.446.3197 |  
www.vcrmi.com FL Registration AA26001654

Property Survey 3/32"

SHEET NO.  
C2



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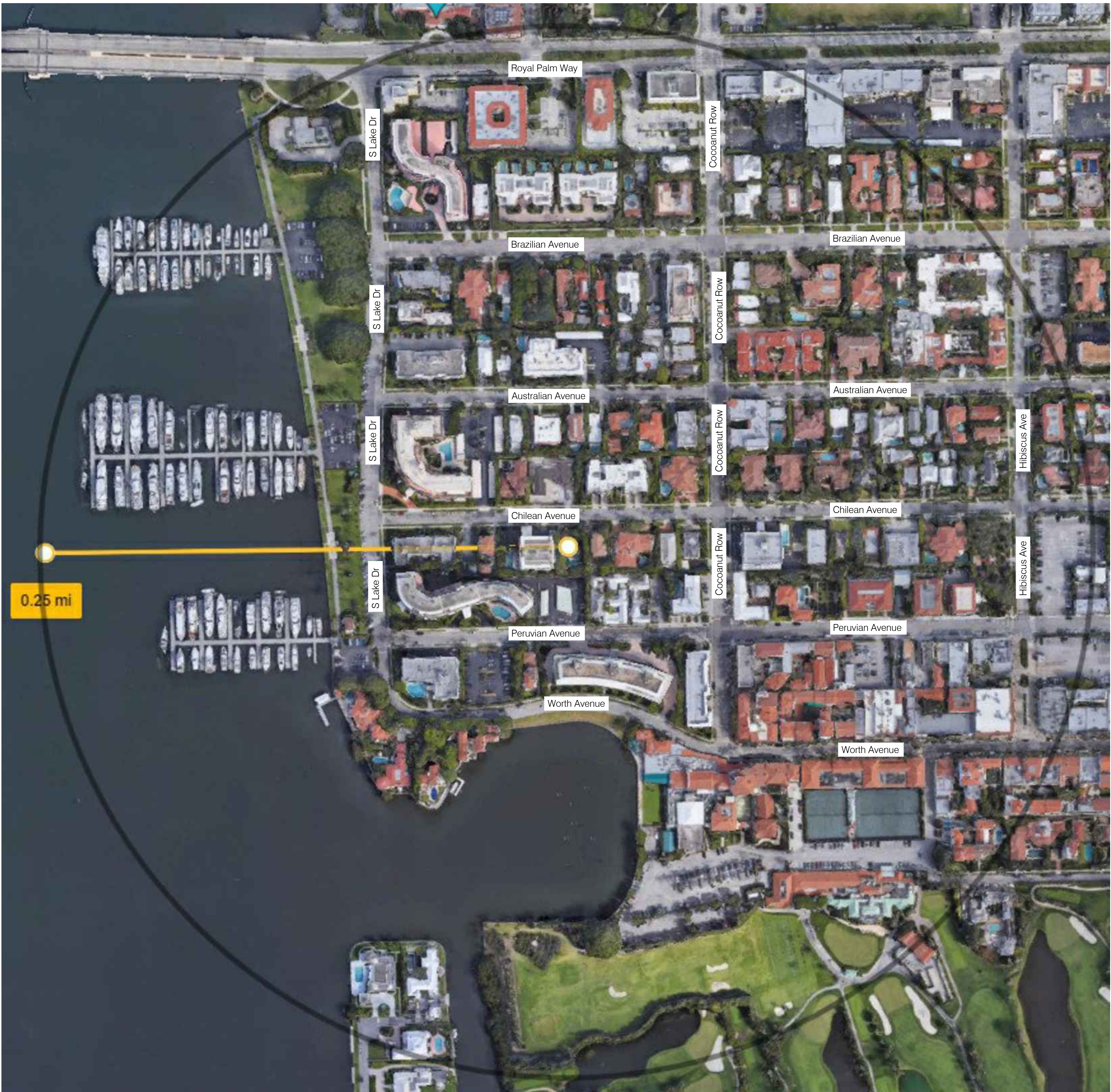
OWNER  
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Vicinity Location Map 1/128"

SHEET NO.  
**C-3**



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 Location Plan

1/32"

SHEET NO.  
C-4

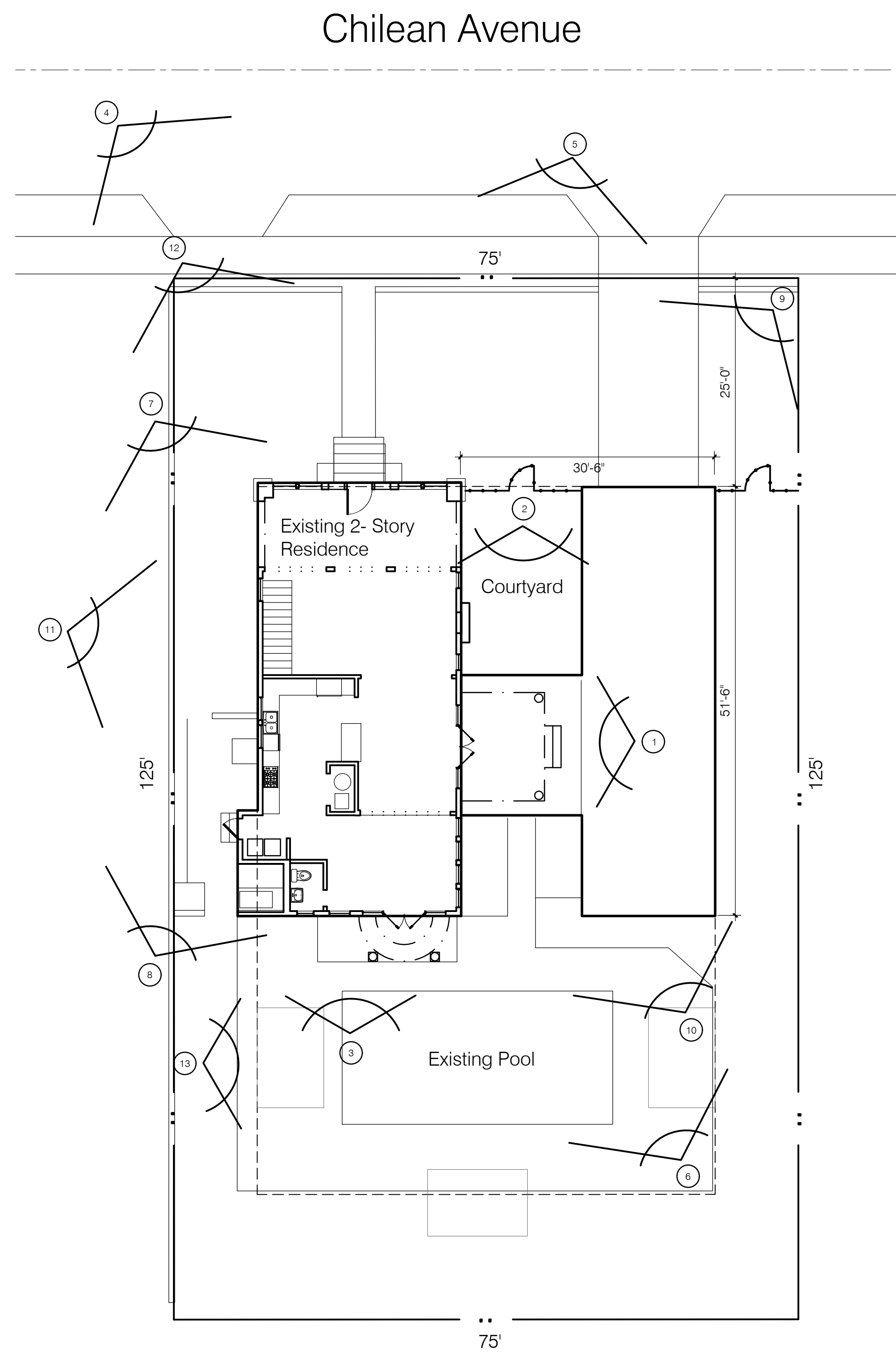
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LANDMARK REVIEW	02/06/23



3 Back



2 East Side



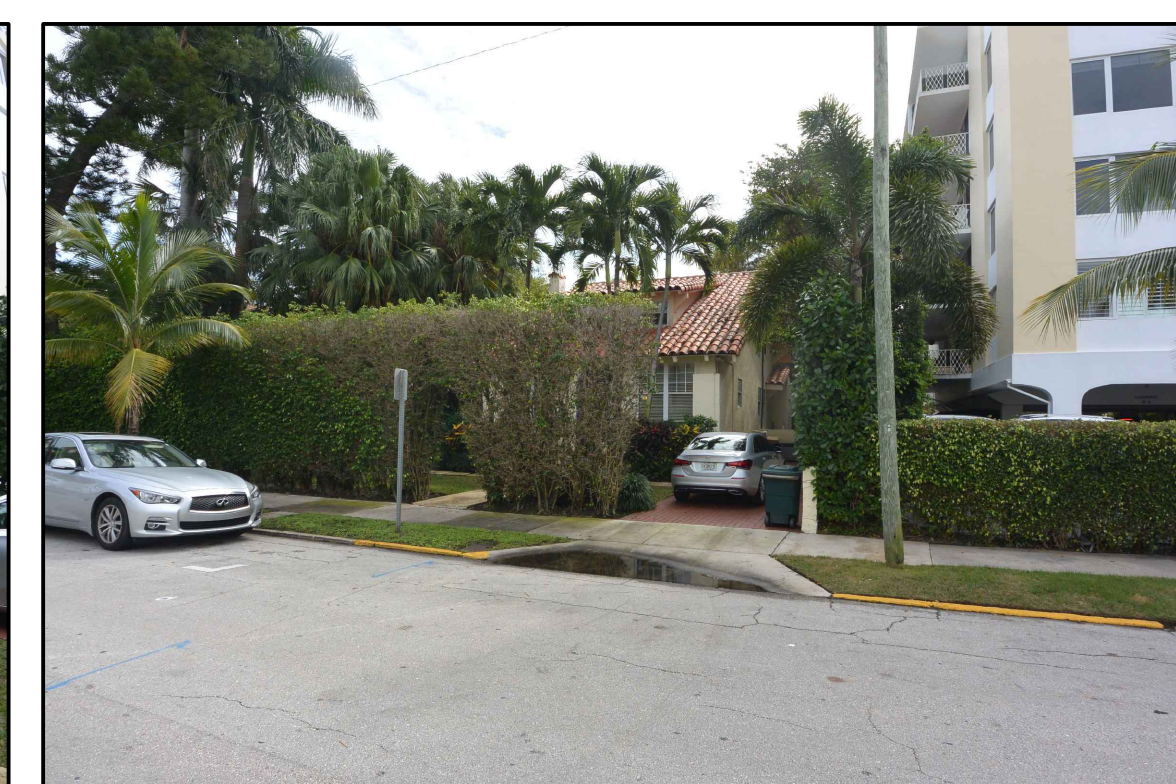
1 East Side



6 Back



5 Front



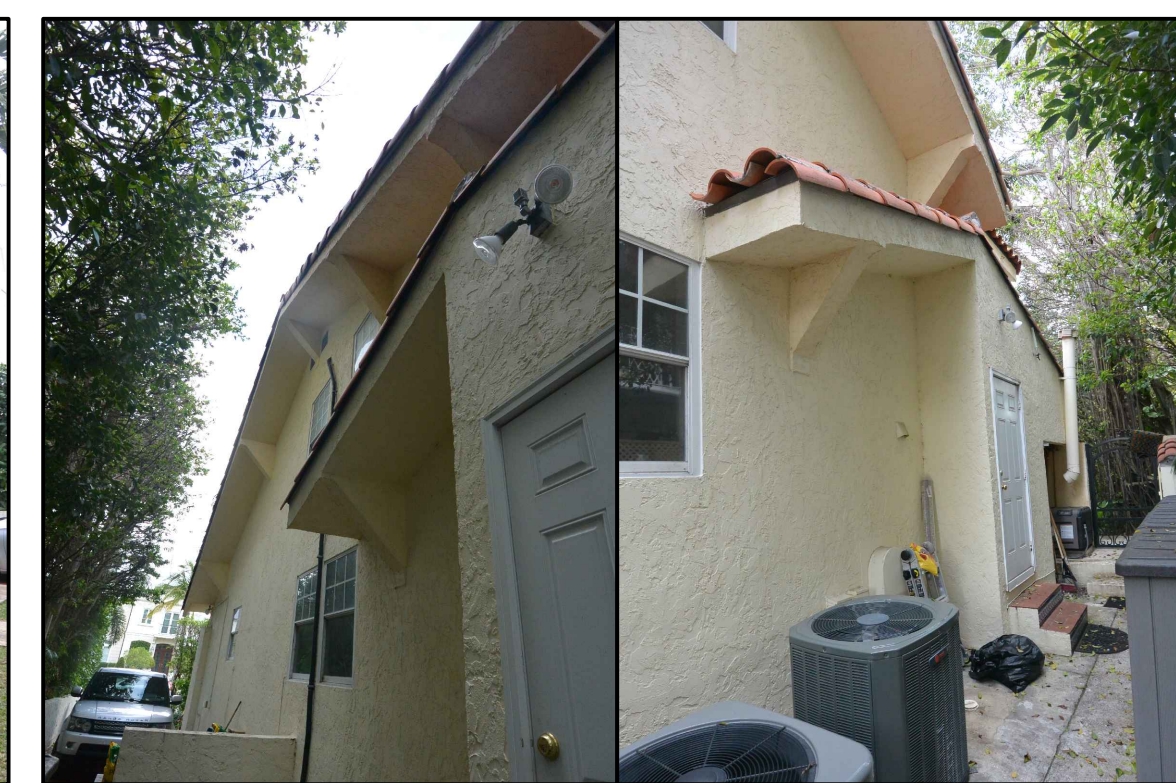
4 Front from the street



10 Back



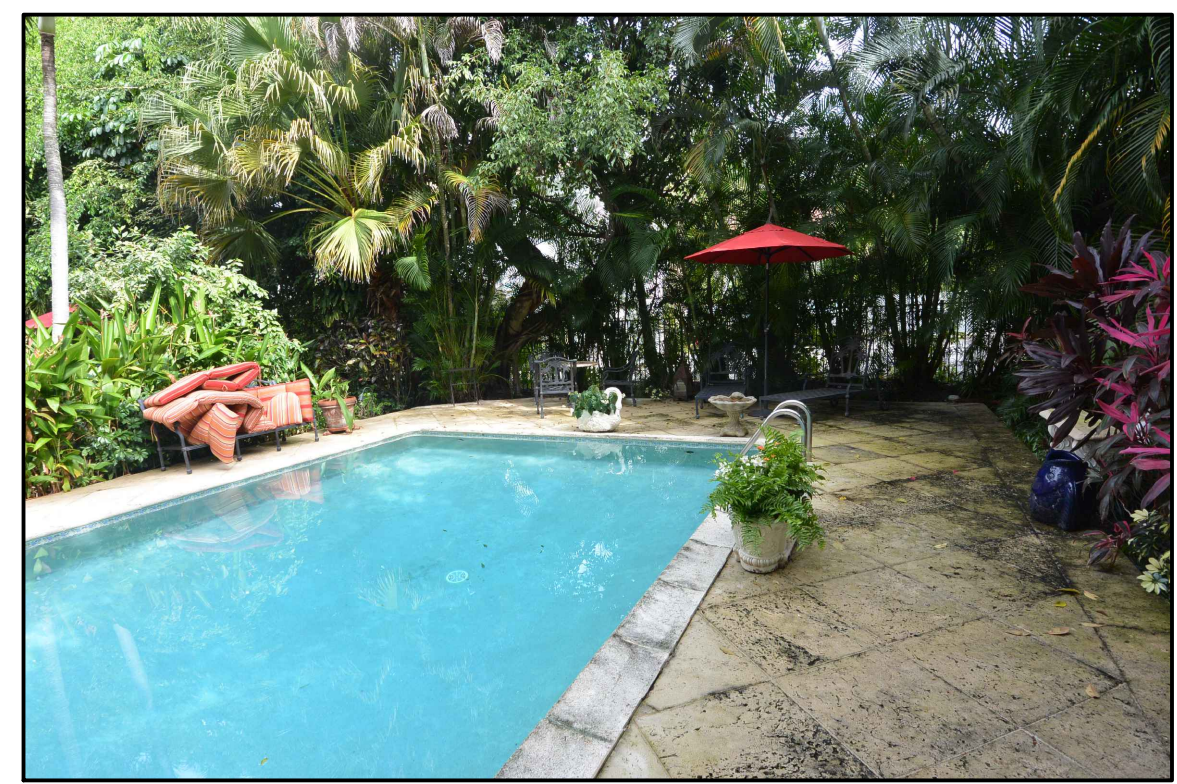
9 Front Side



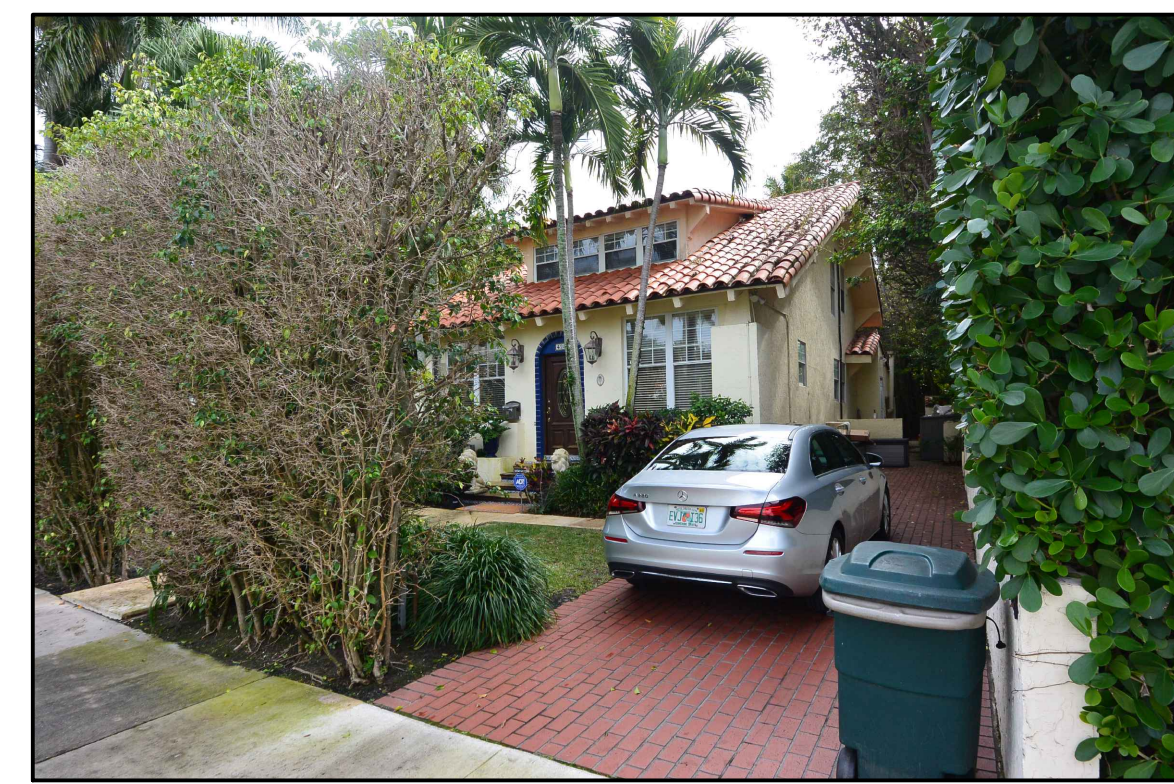
8 West Side



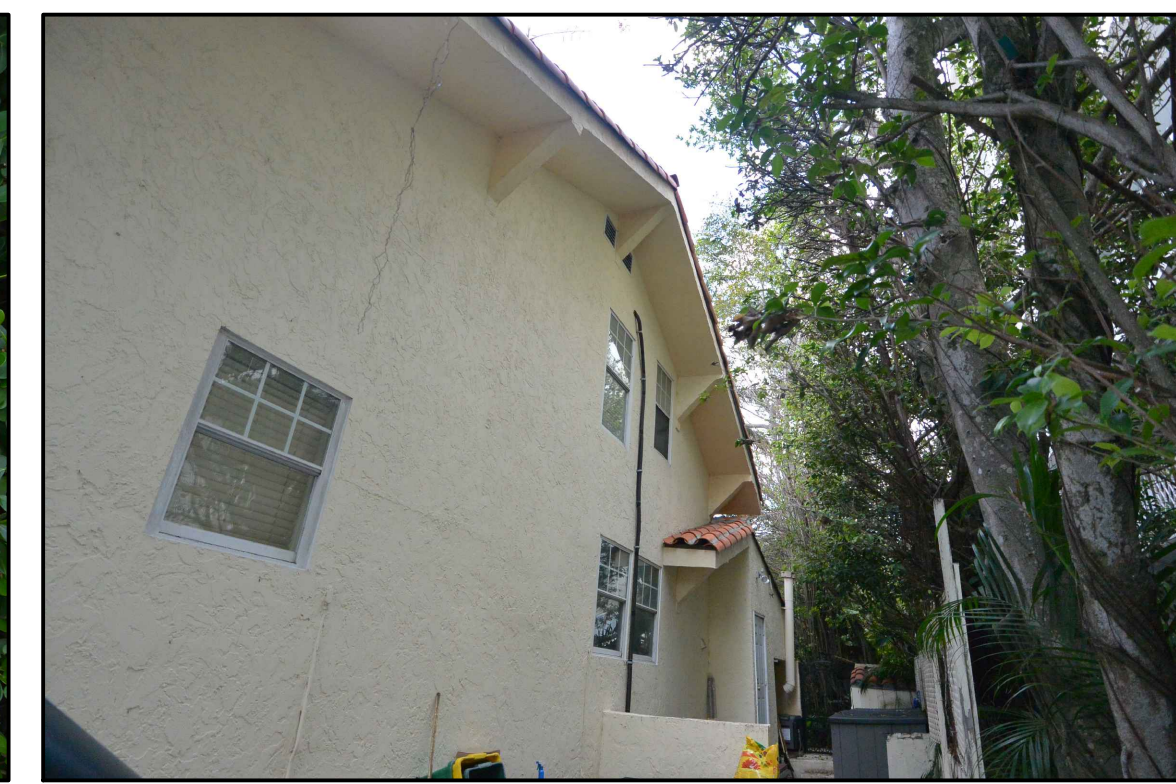
7 West Side



13 Back



12 Front



11 West Side

Site Plan 3/32"

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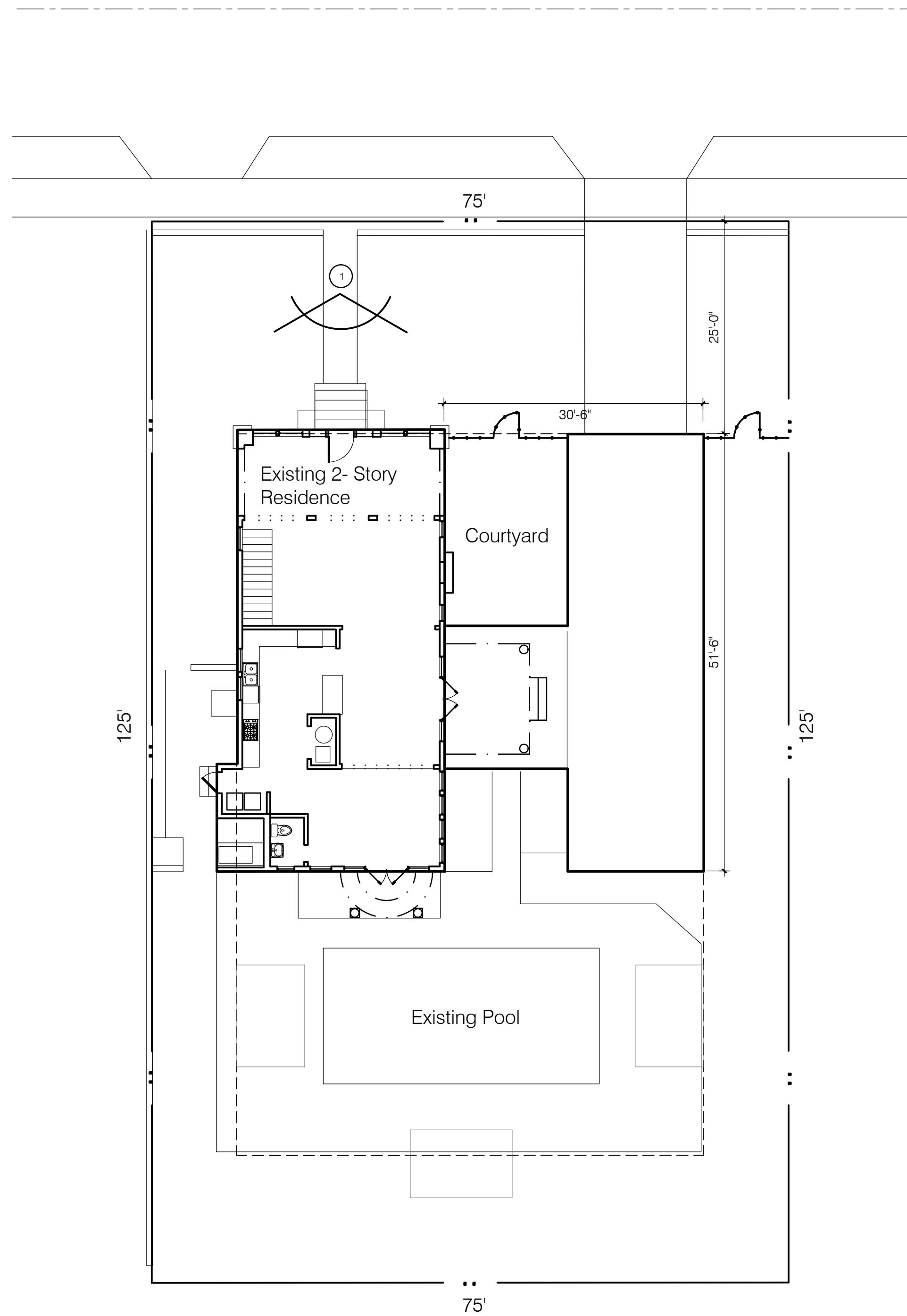
SHEET NO.  
**C-5.1**

Photo Sheet

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Chilean Avenue



① Historical Entry Photo

Site Plan 3/32"

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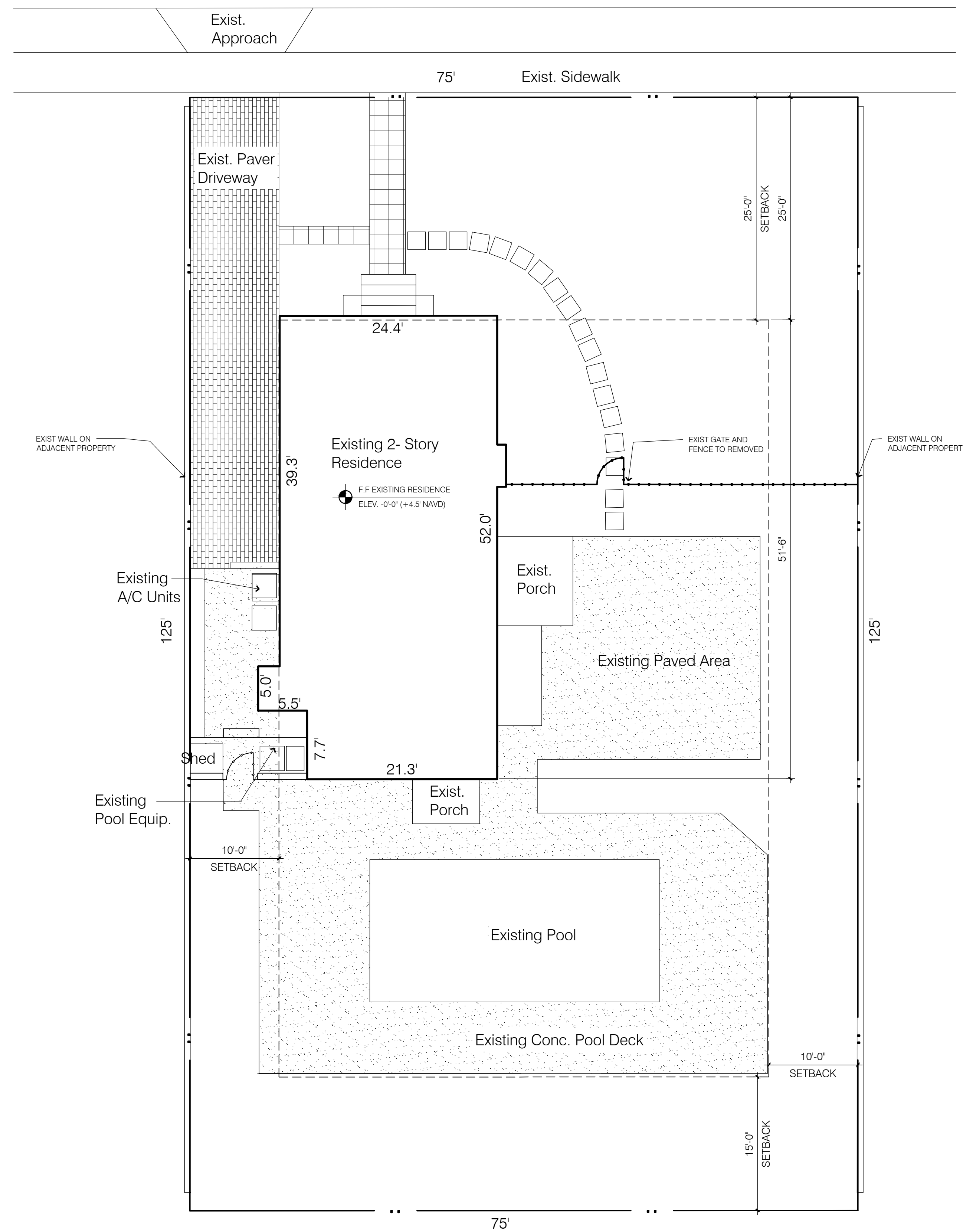
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SHEET NO.  
C-5.2

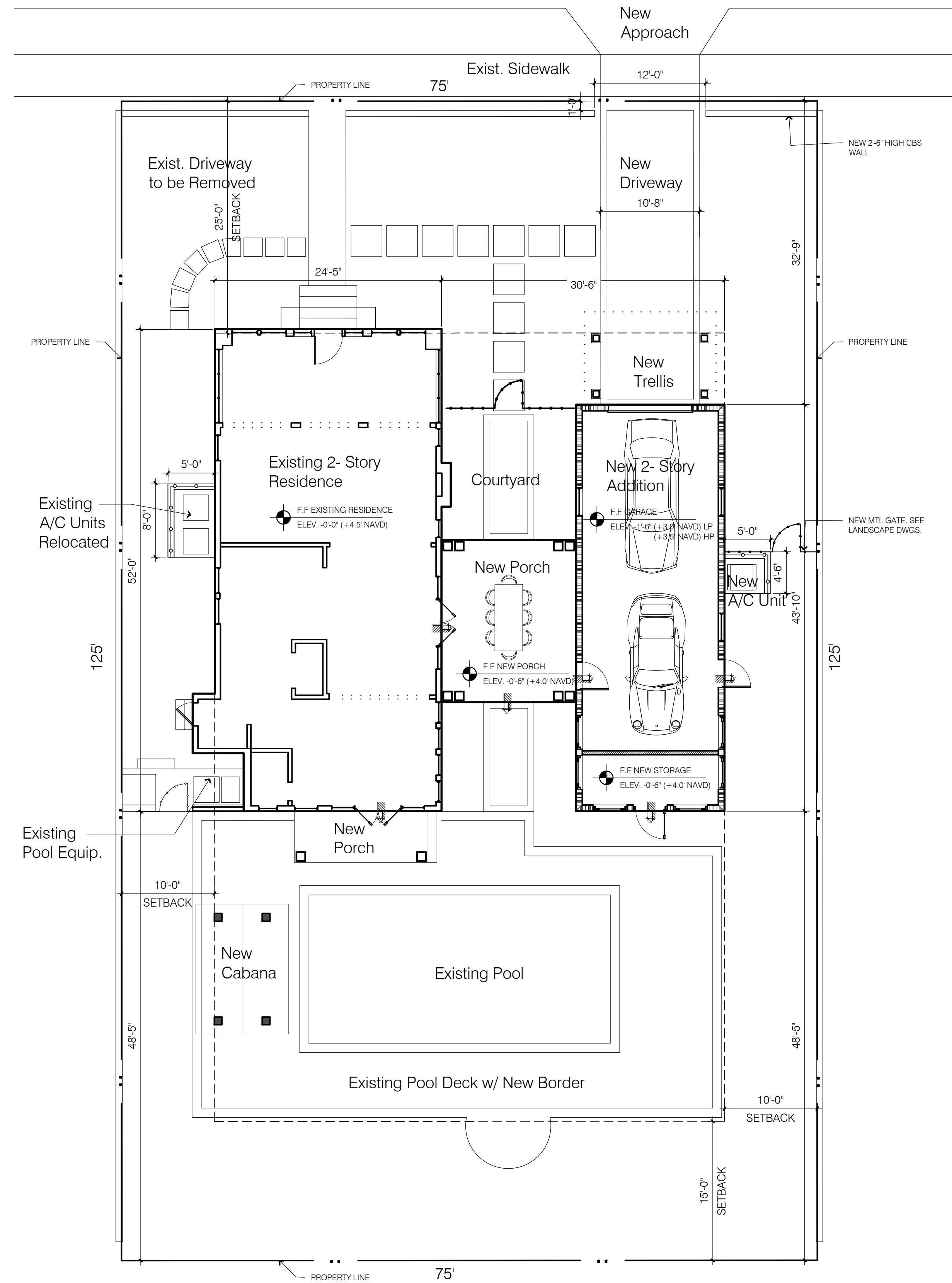


Chilean Avenue



Existing Site Plan 1/8"

Chilean Avenue



Proposed Site Plan 1/8"

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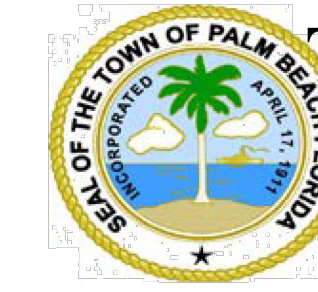
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LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23

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SHEET NO. C6



# Town of Palm Beach

Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

PROJECT No. 22008

## Addition to 428 Chilean Ave

428 Chilean Ave  
Palm Beach, FL 33480  
HSB: 22-012  
ZON: 22-121

### OWNER

David Mooney  
428 Chilean Ave  
Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNERS REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23



Line #	Zoning Legend		
	Required/Allowed	Existing	Proposed
1	<b>Property Address:</b> 428 Chilean Ave		
2	<b>Zoning District:</b> RC Medium Density		
3	<b>Structure Type:</b> Single family residential		
4			
5	Lot Size (sq ft)	10,000 sf	9,375 sf
6	Lot Depth	100'	125'
7	Lot Width	75'	75'
8	Lot Coverage (Sq Ft and %)	30% (2,813)	13.5% (1,263 sf)
9	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)		2,334 sf
10	Cubic Content Ratio (CCR) (R-B ONLY)	-	-
11	*Front Yard Setback (Ft.)	25'-0" N	25'-0" N
12	* Side Yard Setback (1st Story) (Ft.)	10'	7'-8"W 40'-8" E
13	* Side Yard Setback (2nd Story) (Ft.)	10'	10'-0"W 40'-8" E
14	*Rear Yard Setback (Ft.)	15' S	39'-5" S
15	Angle of Vision (Deg.)	50d	53d
16	Building Height (Ft.)	23'-6"	17'-0"
17	Overall Building Height (Ft.)	26'-6"	24'-0"
18	Crown of Road (COR) (NAVD)	1.98'	1.98'
19	Max. Amount of Fill Added to Site (Ft.)	1.26'	-
20	Finished Floor Elev. (FFE)(NAVD)	7.0'	4.5'
21	Zero Datum for point of meas. (NAVD)		
22	FEMA Flood Zone Designation	AE-6	AE-6
23	Base Flood Elevation (BFE)(NAVD)	7.0'	4.5'
24	Landscape Open Space (LOS) (Sq Ft and %)	4,218 sf 45%	6,250 sf 66%
25	Perimeter LOS (Sq Ft and %)	1,800SF 50%	3,240 sf 80%
26	Front Yard LOS (Sq Ft and %)	950 sf 50%	1,400 sf 73%
27	**Native Plant Species %	Please refer to separate landscape legend.	

\* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

\*\* Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

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SHEET NO.

C7





PROJECT No. 22008

### Addition to 428 Chilean Ave

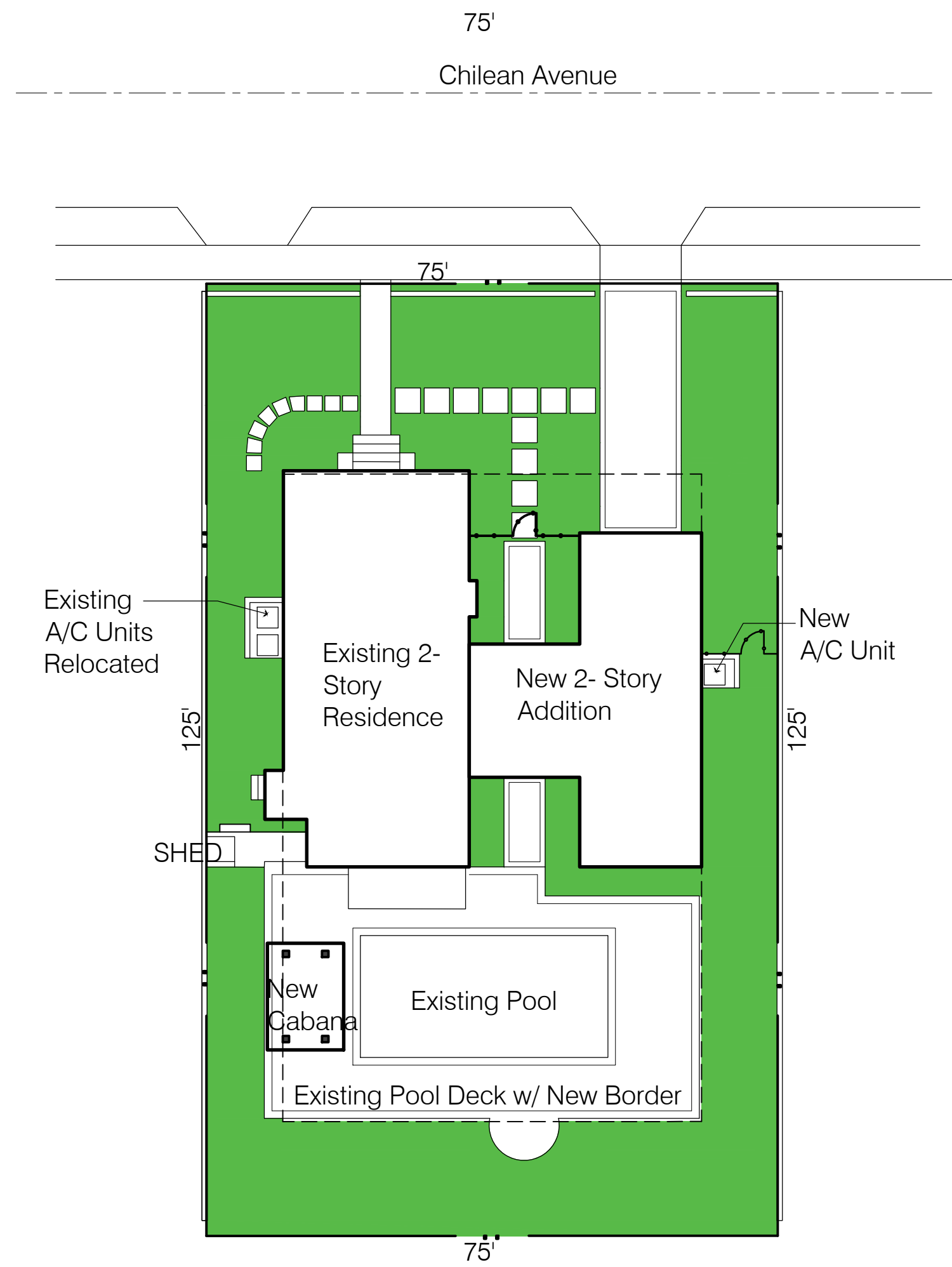
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OWNER

David Mooney

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LPC RESUBMITTAL	06/07/23

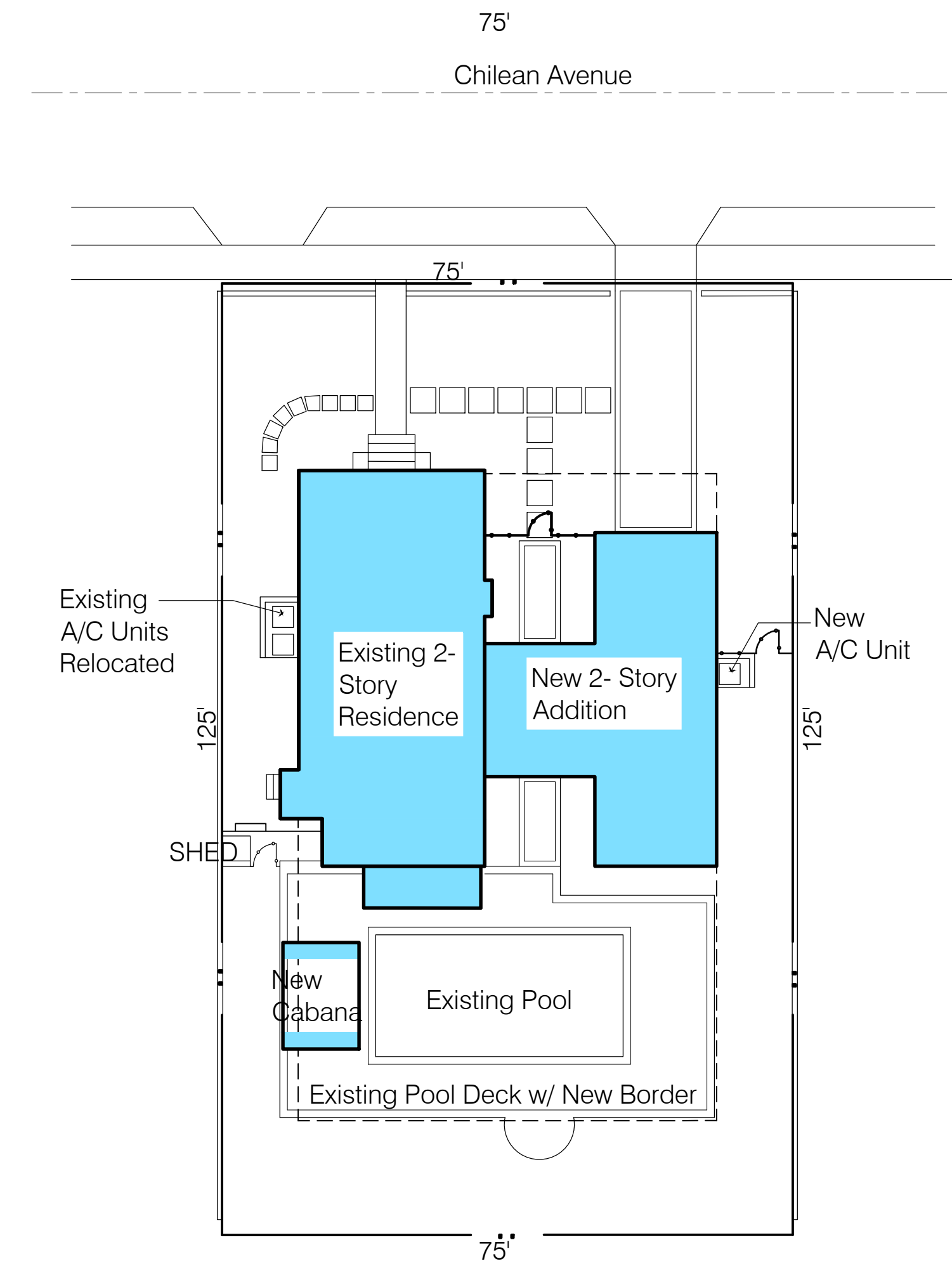


#### Green Area Calculation

GREEN AREA .45 x LOT AREA = 45% x 9,375 SQFT. =  
 MINIMUM ALLOWED = 4,218 SQFT.  
 PROPOSED 4,320 SQFT.



Green Area / Open Space Diagram 1/16"



#### Lot Coverage First Floor

FIRST FLOOR .30 x LOT AREA = 30% x 9,375 SQFT. =  
 MAXIMUM ALLOWED = 2,812.50 SQFT.  
 PROPOSED 2,450 SQFT.



Lot Coverage Diagram 1/16"

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F1



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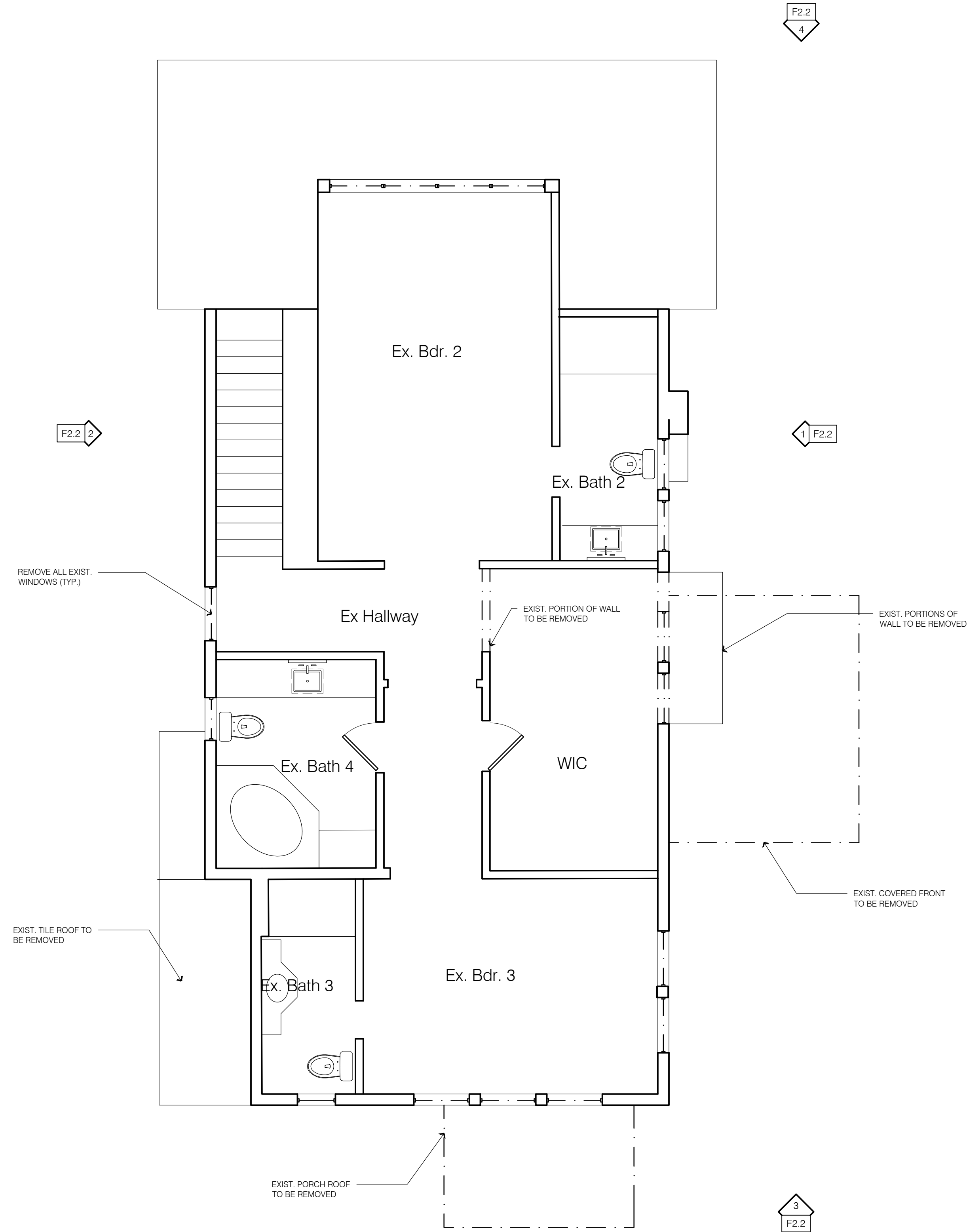
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**Demolition Notes**

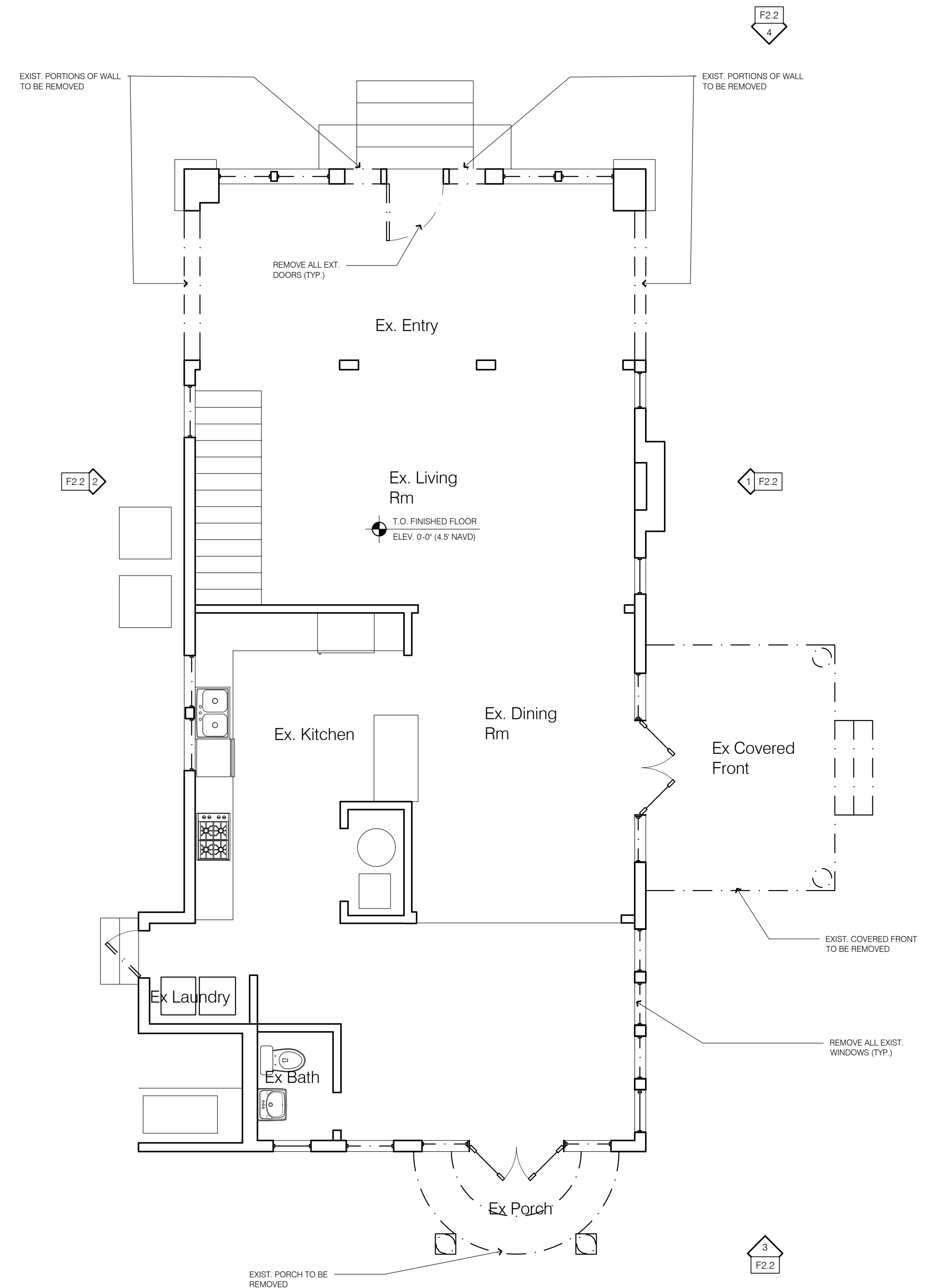
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- REMOVE ALL EXIST. DOORS (TYP.)
- REMOVE ALL EXIST. COVERED PORCHES (TYP.)

**Partition Framing Legend**

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING TO BE REMOVED



Second Floor Plan 1/4"



Ground Floor Plan 1/4"

Demolition Plans

SHEET NO.  
**F2.1**

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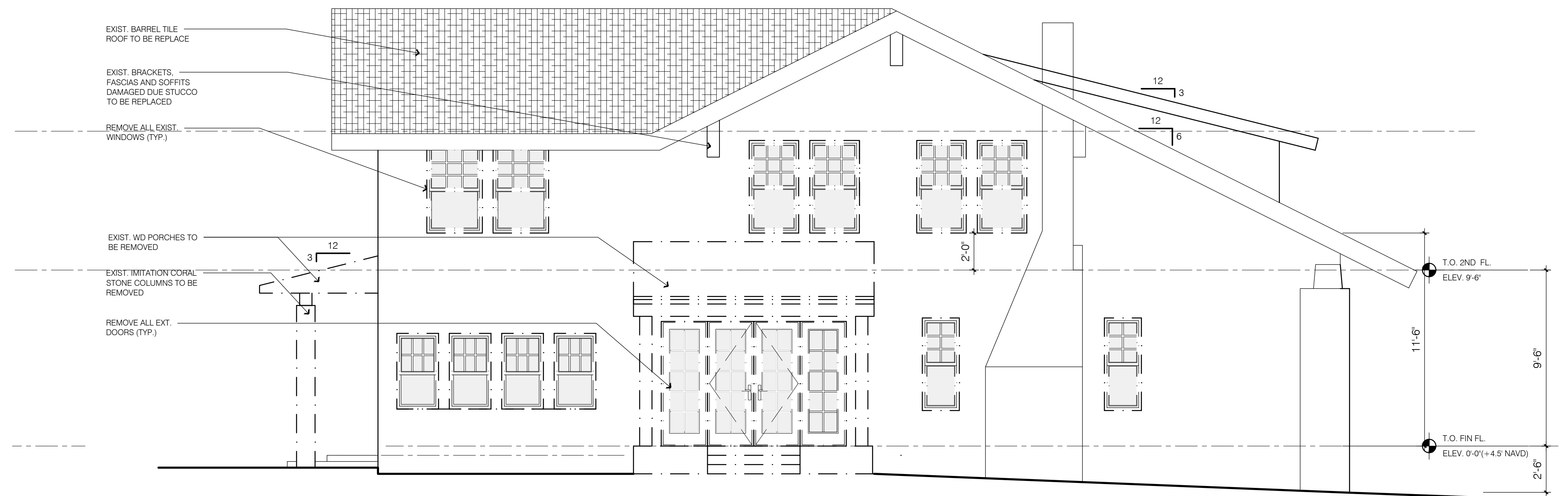


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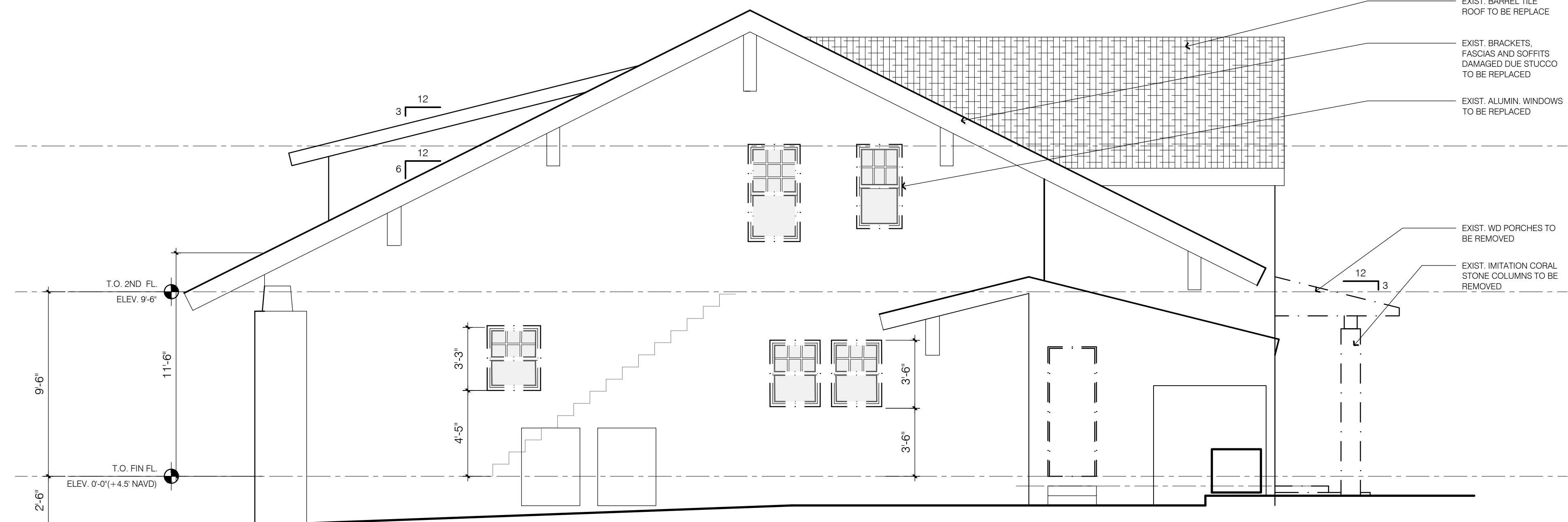
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LANDMARK REVIEW	02/06/23

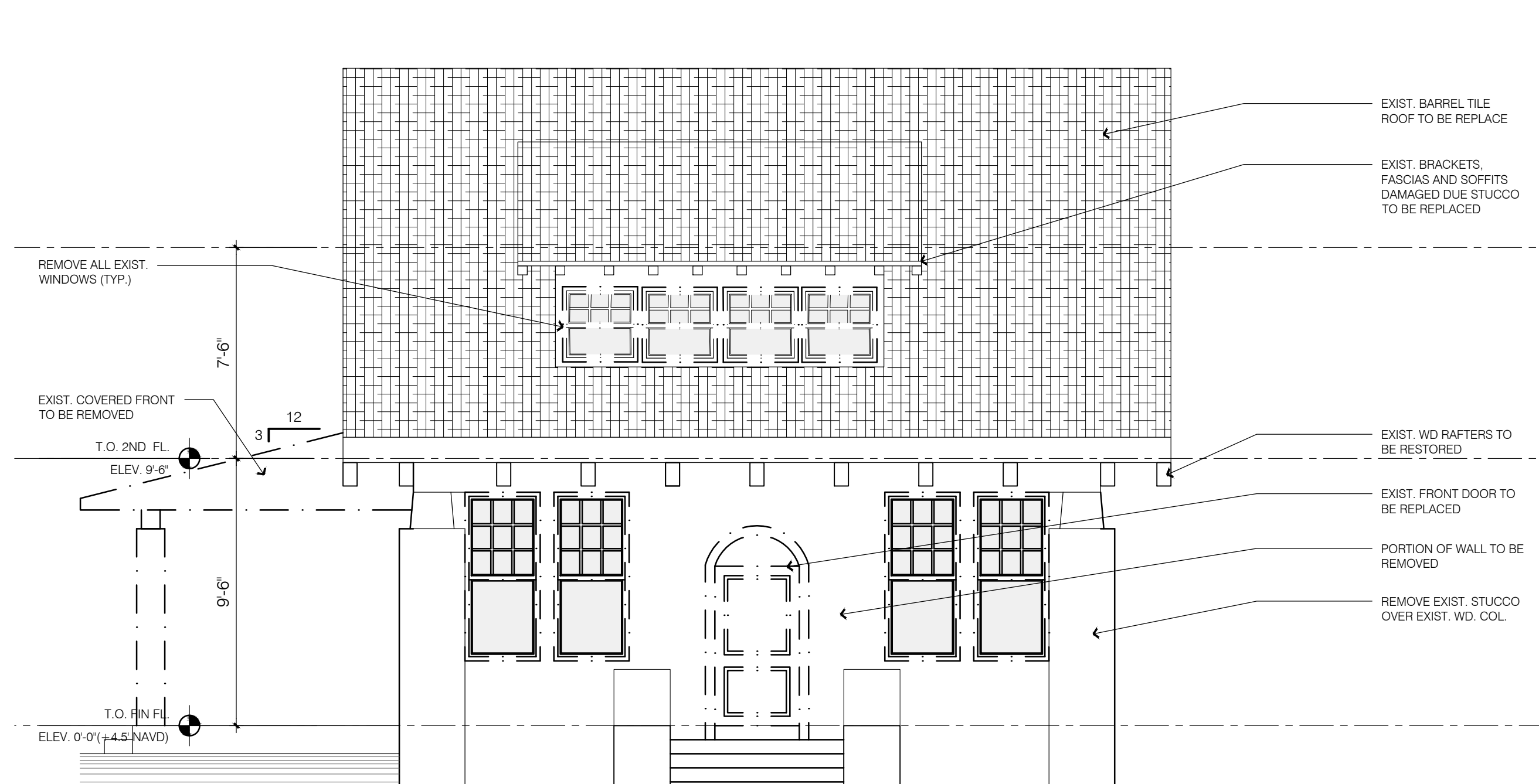
Luigi Vitalini | AR - 13513



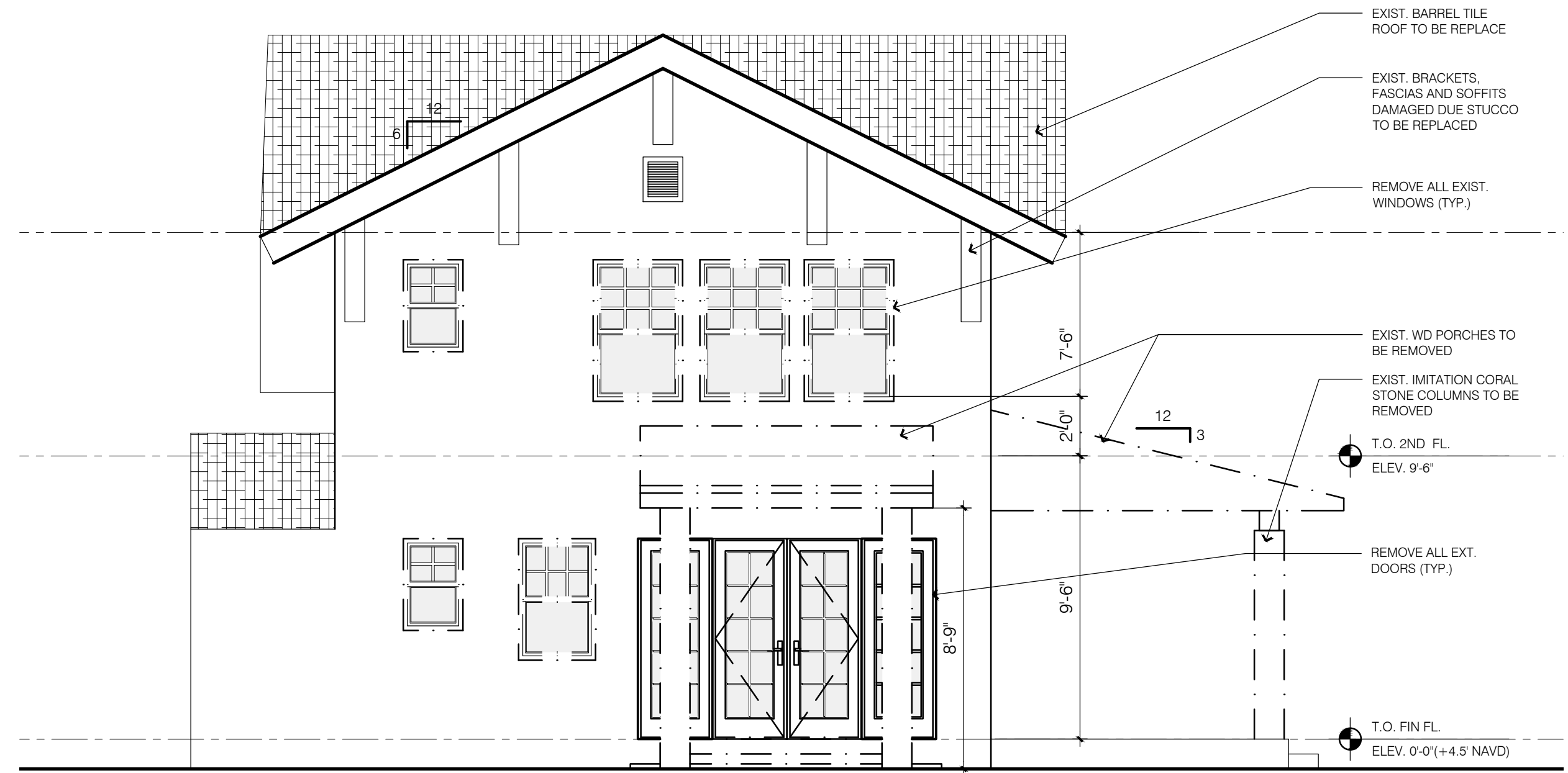
① Existing East Elevation 1/4"



② Existing West Elevation 1/4"



④ Existing North Elevation 1/4"



③ Existing South Elevation 1/4"

Demolition Elevations

*LA Design*  
 Landscape Architectural Design  
 6536 S.E. Sharon Street Hobe Sound, Florida 33455

**VC** vitaliniorazzini ARCHITECTS  
 300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134  
 Tel: 305.567.0602 | Fax: 305.446.3197 |  
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SHEET NO.  
**F2.2**

SHEET PLOTTED 2/27/2023 11:44 AM



Partition Framing Legend

- EXISTING CONSTRUCTION TO REMAIN
- CBS CONSTRUCTION WITH STUCCO AT EXTERIOR, INTERIOR TO RECEIVE METAL 3/4\"/> FURRING AT 16\"/> O.C. AND 5/8\"/> GYPSUM BD. PROVIDE ISO R-5.4 INSULATION BETWEEN FURRING.
- MTL STUD WITH 5/8\"/> GYPSUM BOARD AT EACH SIDE"/> 3 5/8\"/> MTL STUD WITH 5/8\"/> GYPSUM BOARD AT EACH SIDE

PROJECT No. 22008  
**Addition to  
 428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

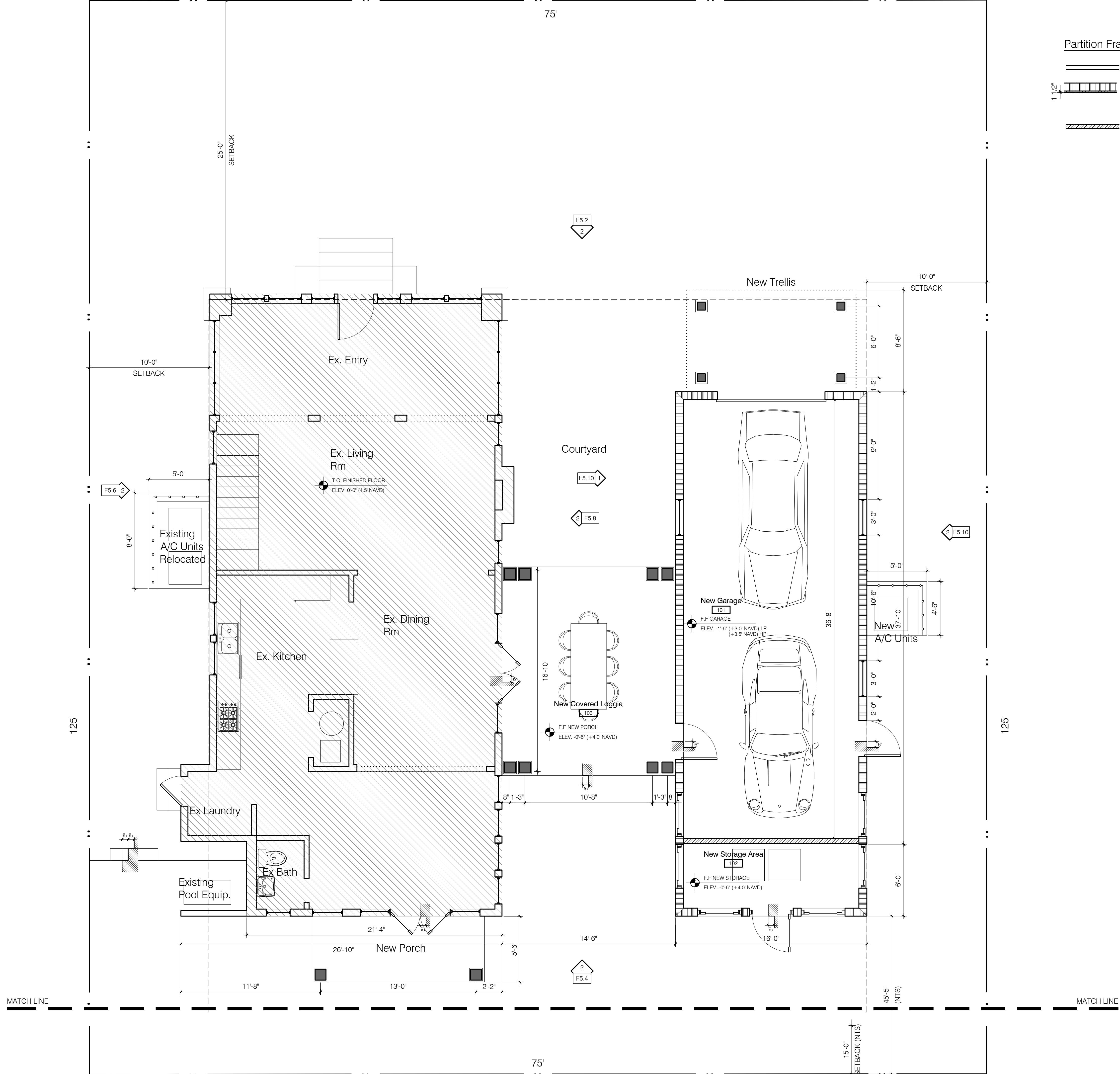
DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23

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SHEET NO.  
**F3.1**



Ground Floor Plan 1/4"

SHEET PLOTTED 6/28/2023 1:00 PM



### Partition Framing Legend

- EXISTING CONSTRUCTION TO REMAIN
- 
- 

PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

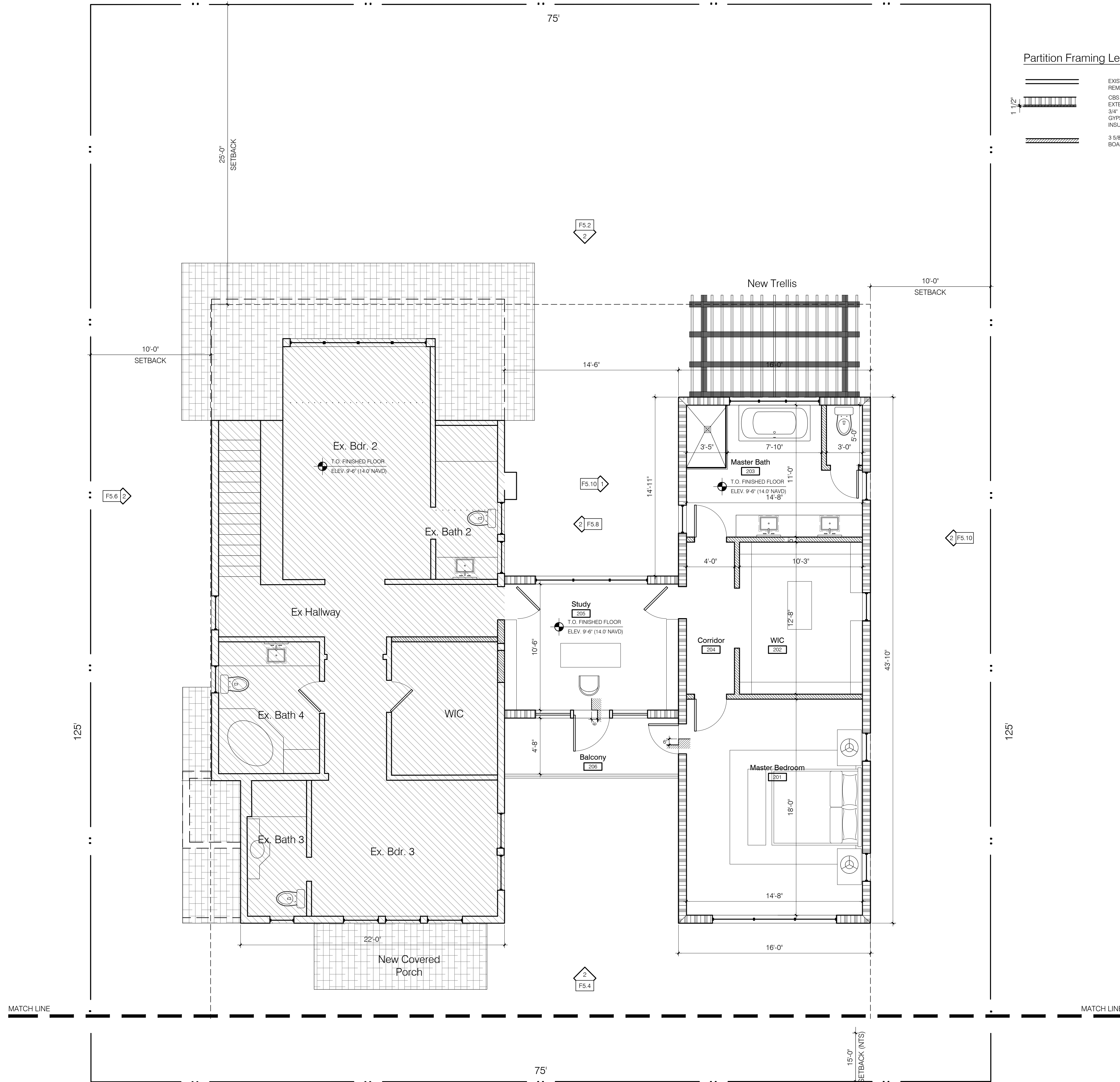
DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
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2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23

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SHEET NO.  
**F3.2**



SHEET PLOTTED 6/28/2023 1:00 PM



PROJECT No. 22008

### Addition to 428 Chilean Ave

428 Chilean Ave  
Palm Beach, FL 33480  
HSB: 22-012  
ZON: 22-121

OWNER

David Mooney

428 Chilean Ave  
Palm Beach, FL 33480

DISTRIBUTION DATE

OWNER'S REVIEW 04/15/22

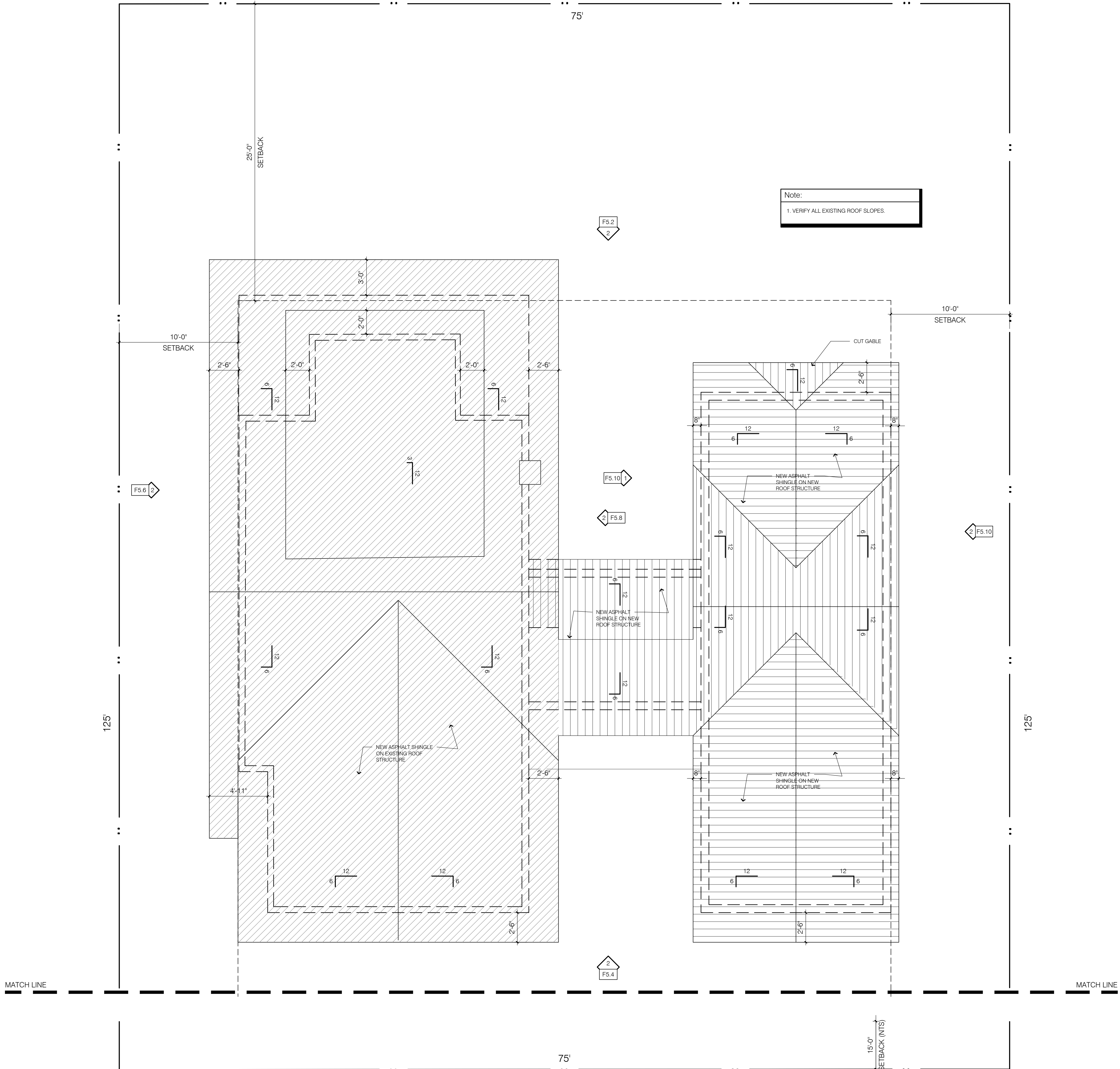
PRELIMINARY REVIEW 04/21/22

LANDMARK REVIEW 02/06/23

2ND SUBMITTAL REVISION 1 02/22/2023

LPC RESUBMITTAL 06/07/23

Note:  
1. VERIFY ALL EXISTING ROOF SLOPES.



Roof Plan

1/4"

SHEET NO.

F4

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ARCHITECTS

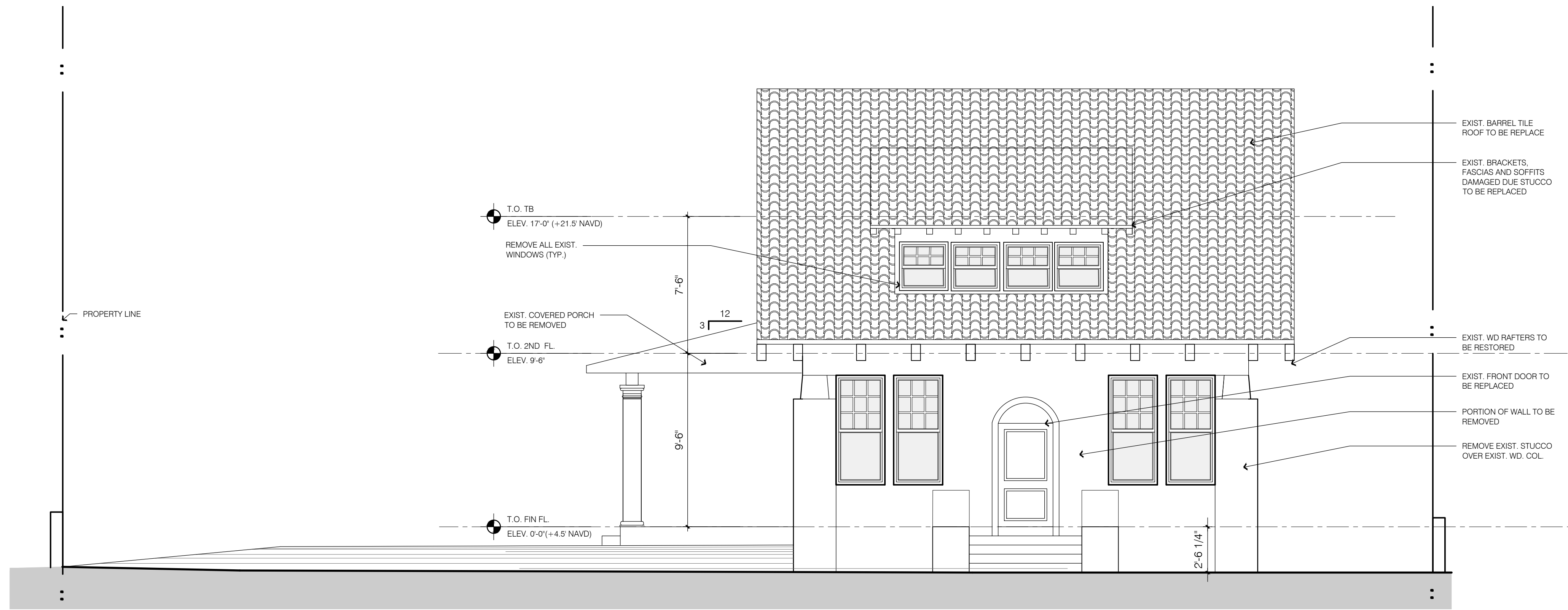
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PROJECT No. 22008  
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OWNER  
 David Mooney  
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 Palm Beach, FL 33480

DISTRIBUTION	DATE
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LPC RESUBMITTAL	06/07/23



① Existing North Elevation 1/4"



② Previously Proposed North Elevation 1/4"

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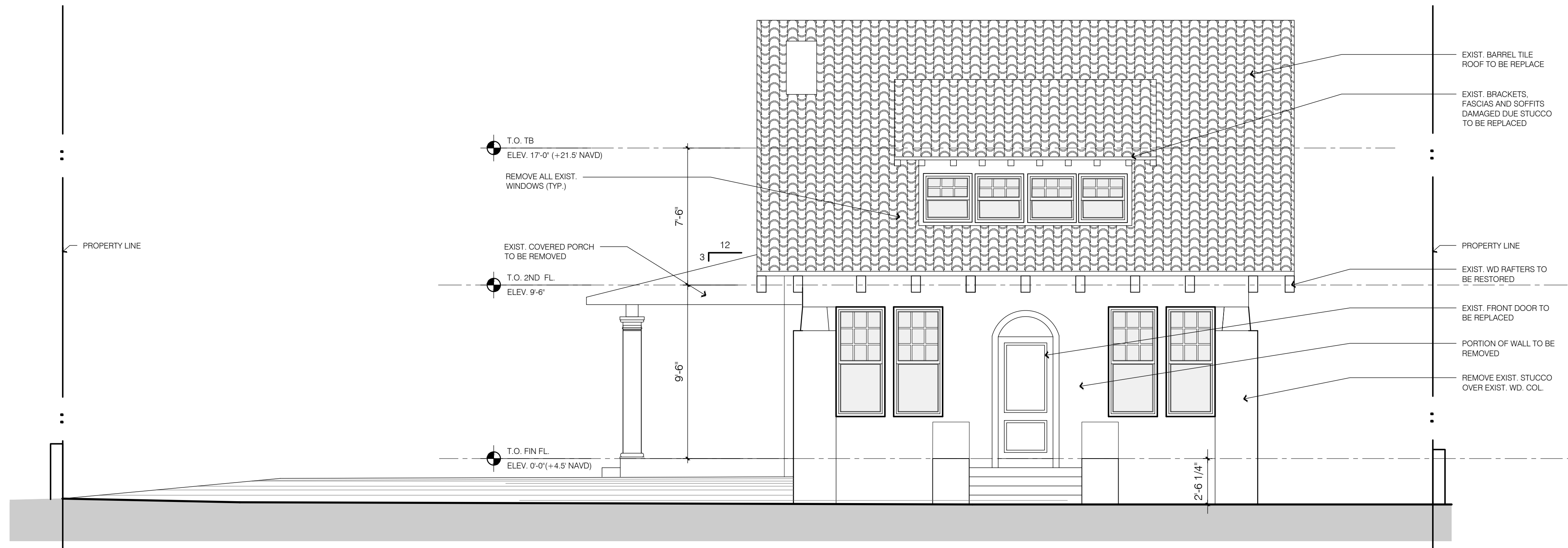
F-5.1



PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
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LANDMARK REVIEW	02/06/23
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LPC RESUBMITTAL	06/07/23



① Existing North Elevation 1/4"



② Proposed North Elevation 1/4"

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SHEET NO.

F-5.2





PROJECT No. 22008

### Addition to 428 Chilean Ave

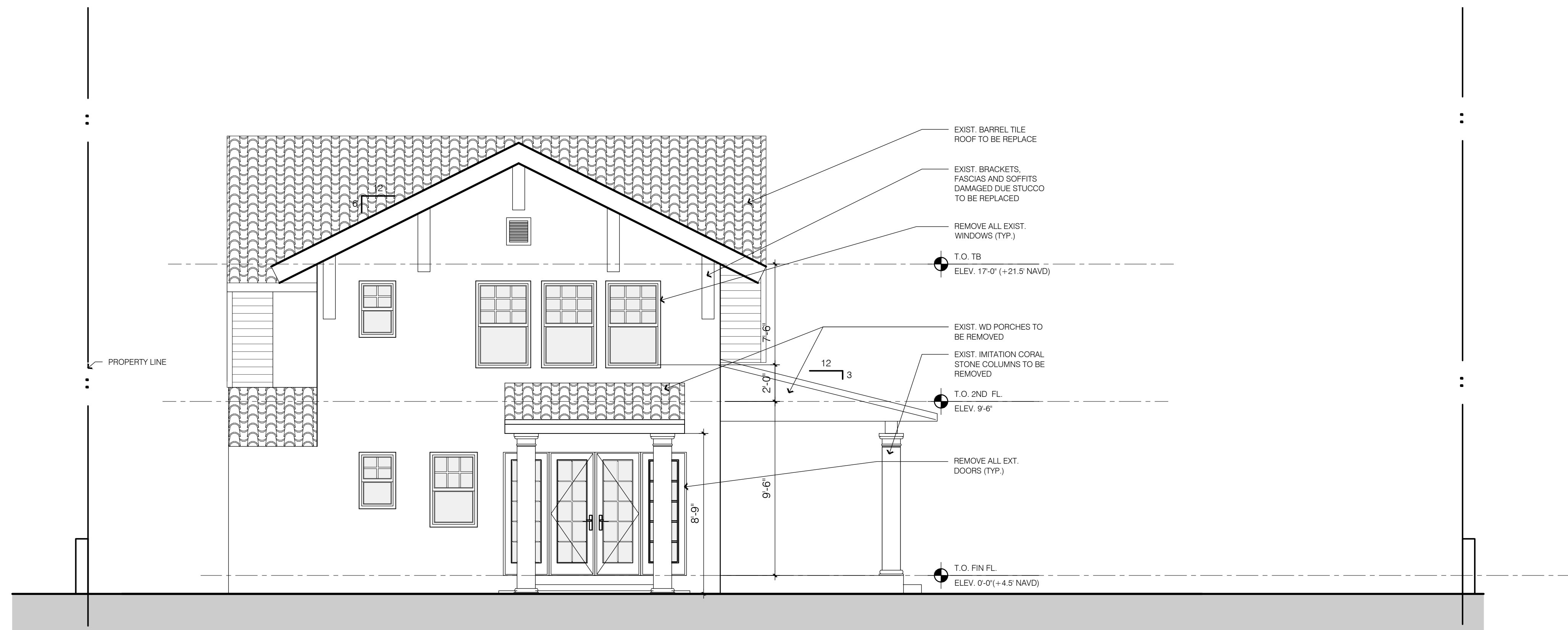
428 Chilean Ave  
Palm Beach, FL 33480  
HSB: 22-012  
ZON: 22-121

OWNER

David Mooney

428 Chilean Ave  
Palm Beach, FL 33480

DISTRIBUTION	DATE
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PRELIMINARY REVIEW	04/21/22
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LPC RESUBMITTAL	06/07/23



① Existing South Elevation 1/4"



② Previously Proposed South Elevation 1/4"

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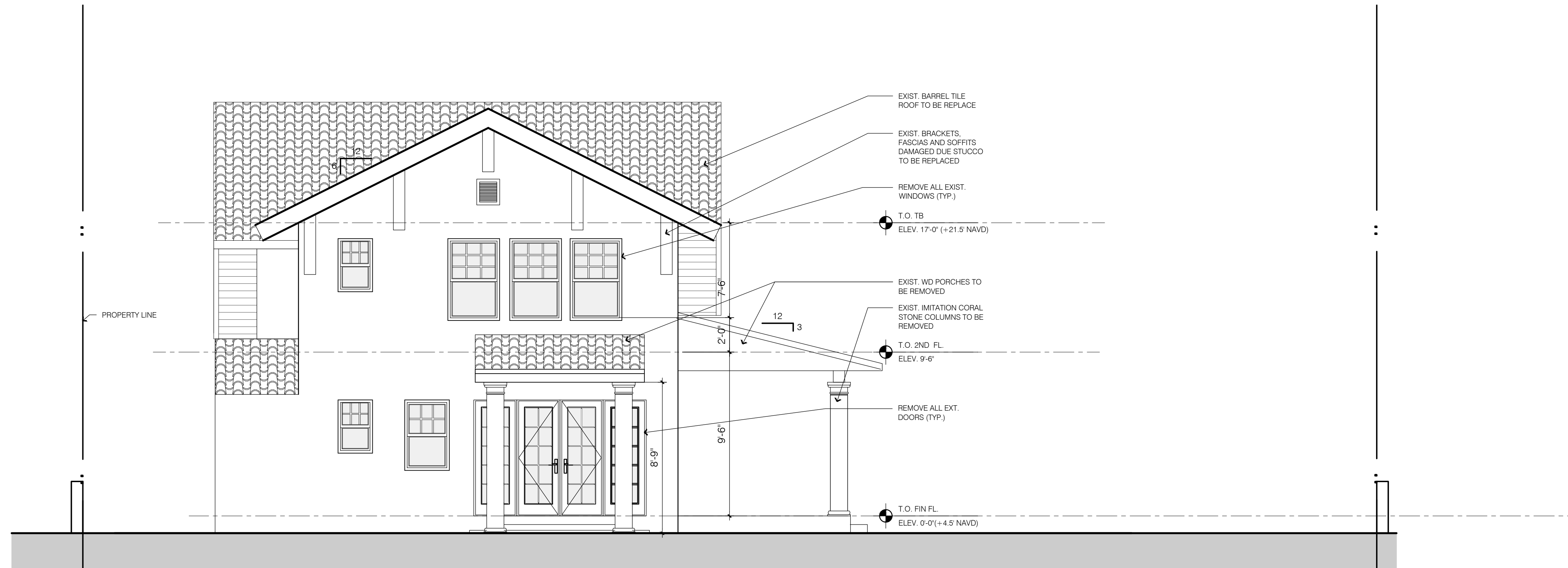
F-5.3



PROJECT No. 22008  
 Addition to  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
 David Mooney  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
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LPC RESUBMITTAL	06/07/23



① Existing South Elevation 1/4"



② Proposed South Elevation 1/4"

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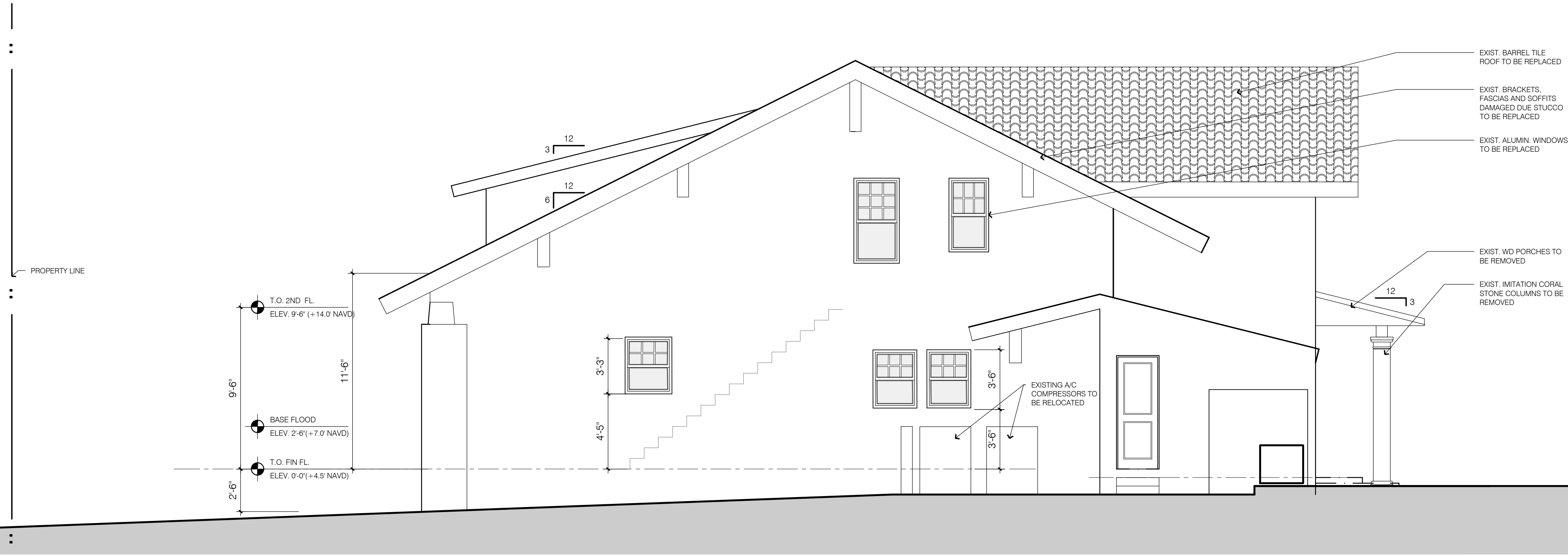
SHEET NO.  
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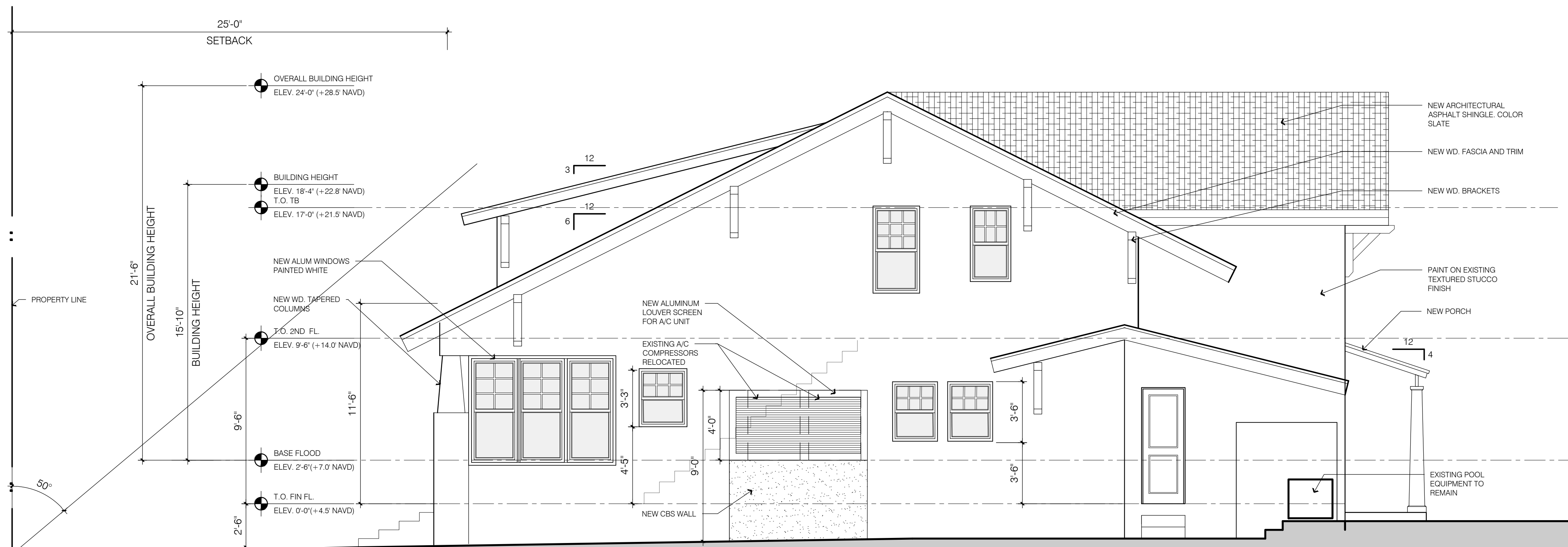
PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
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LPC RESUBMITTAL	06/07/23



① Existing West Elevation 1/4"



② Previously Proposed West Elevation 1/4"

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SHEET NO.  
**F-5.5**



PROJECT No. 22008  
**Addition to  
 428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23



① Existing West Elevation 1/4"



② Proposed West Elevation 1/4"

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SHEET NO.  
**F-5.6**

SHEET PLOTTED 6/14/2023 5:38 PM



PROJECT No. 22008  
**Addition to  
 428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
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2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23



① Existing East Elevation 1/4"

15'-0" SETBACK

PROPERTY LINE



② Previously Proposed East Elevation/ Section 1/4"

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SHEET NO.  
**F-5.7**

SHEET PLOTTED 6/14/2023 5:35 PM



PROJECT No. 22008  
**Addition to  
 428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23

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① Existing East Elevation 1/4"



② Proposed Section Elevation Looking West 1/4"

SHEET PLOTTED 6/14/2023 5:40 PM



PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23



① Previously Proposed Section Elevation looking East 1/4"



② Previously Proposed East Elevation 1/4"

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SHEET NO.  
**F-5.9**



PROJECT No. 22008  
 Addition to  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
 David Mooney  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
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LPC RESUBMITTAL	06/07/23



① Proposed Section Elevation looking East 1/4"



② Proposed East Elevation 1/4"

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SHEET NO.  
 F-5.10

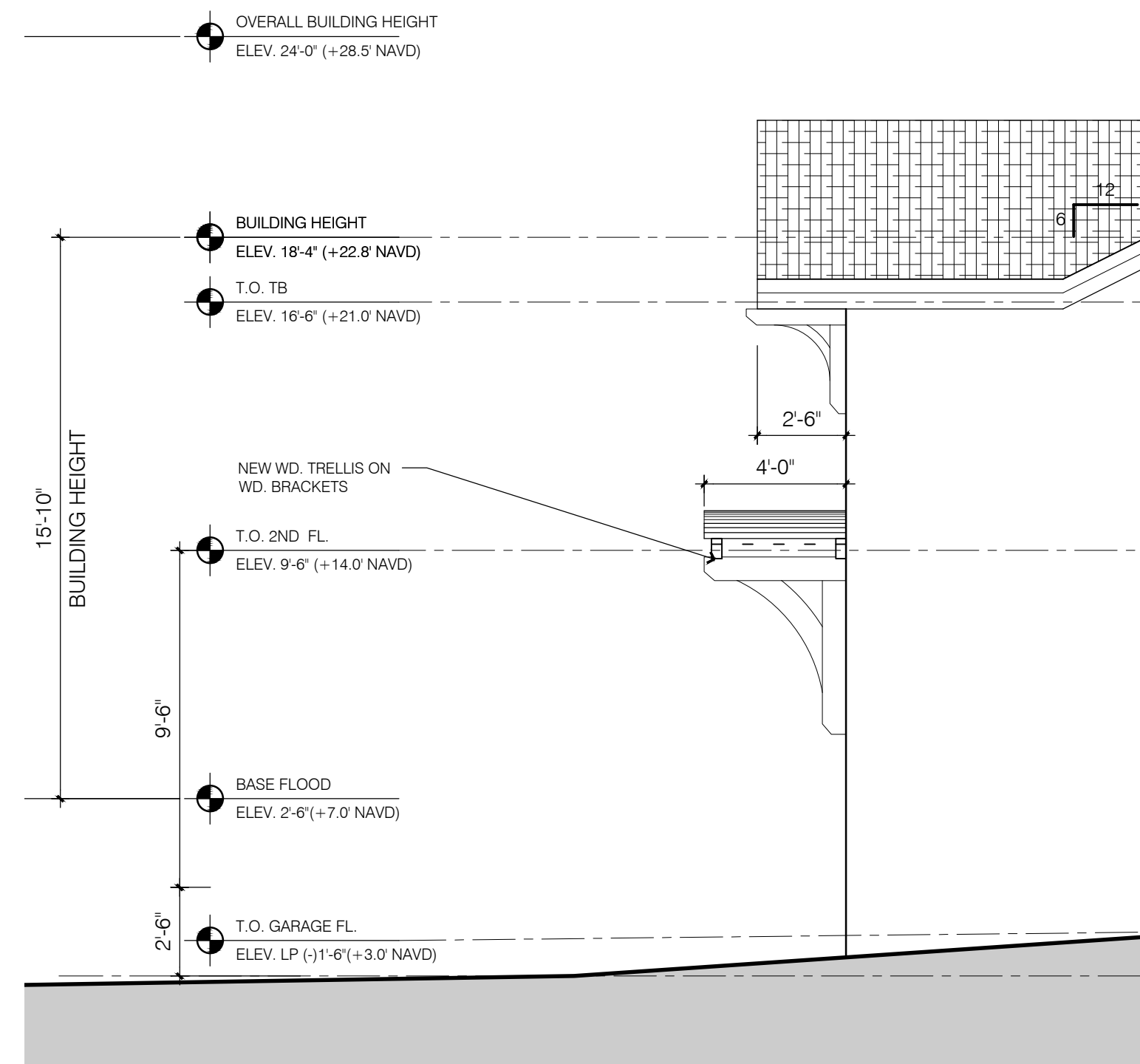




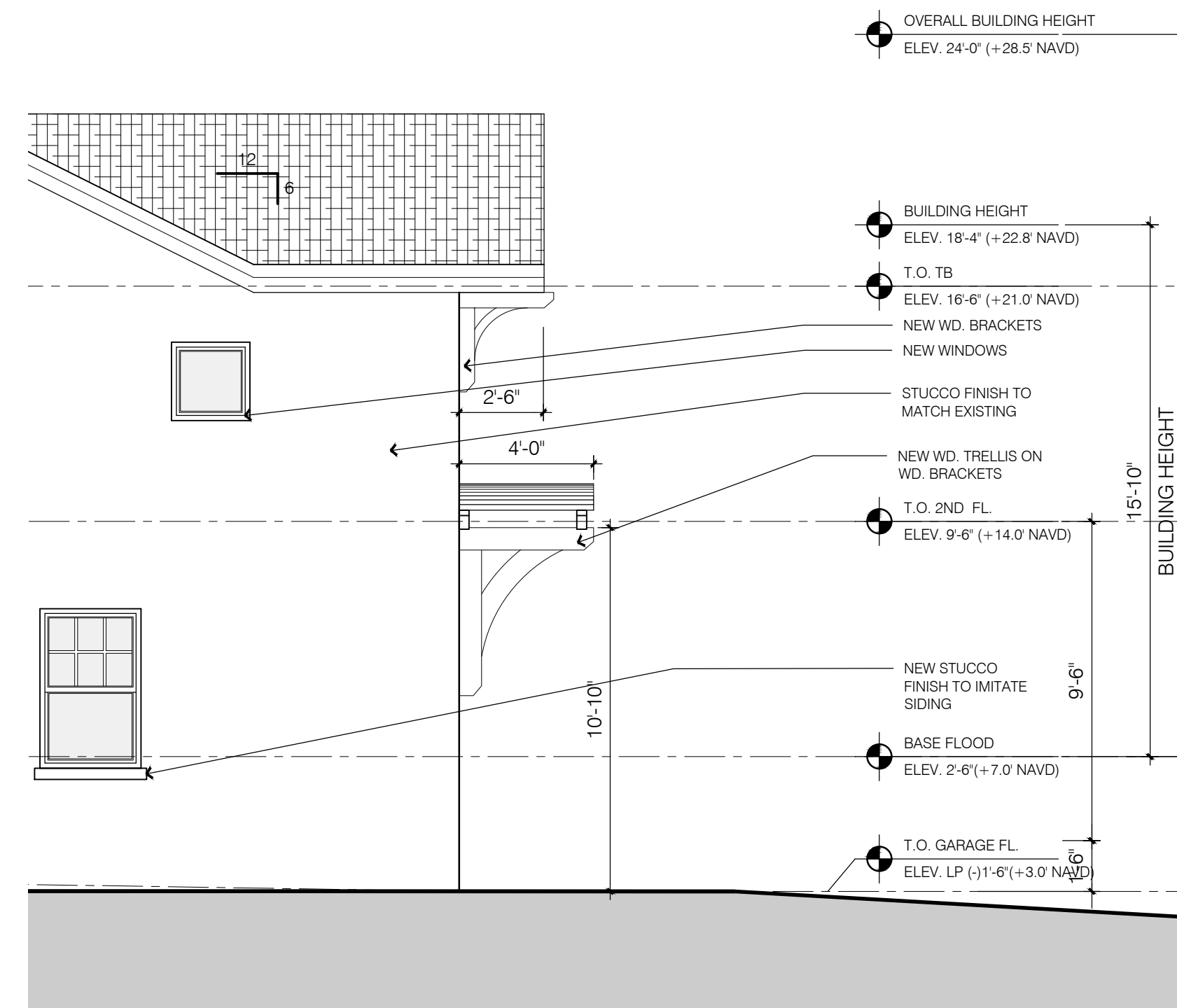
PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

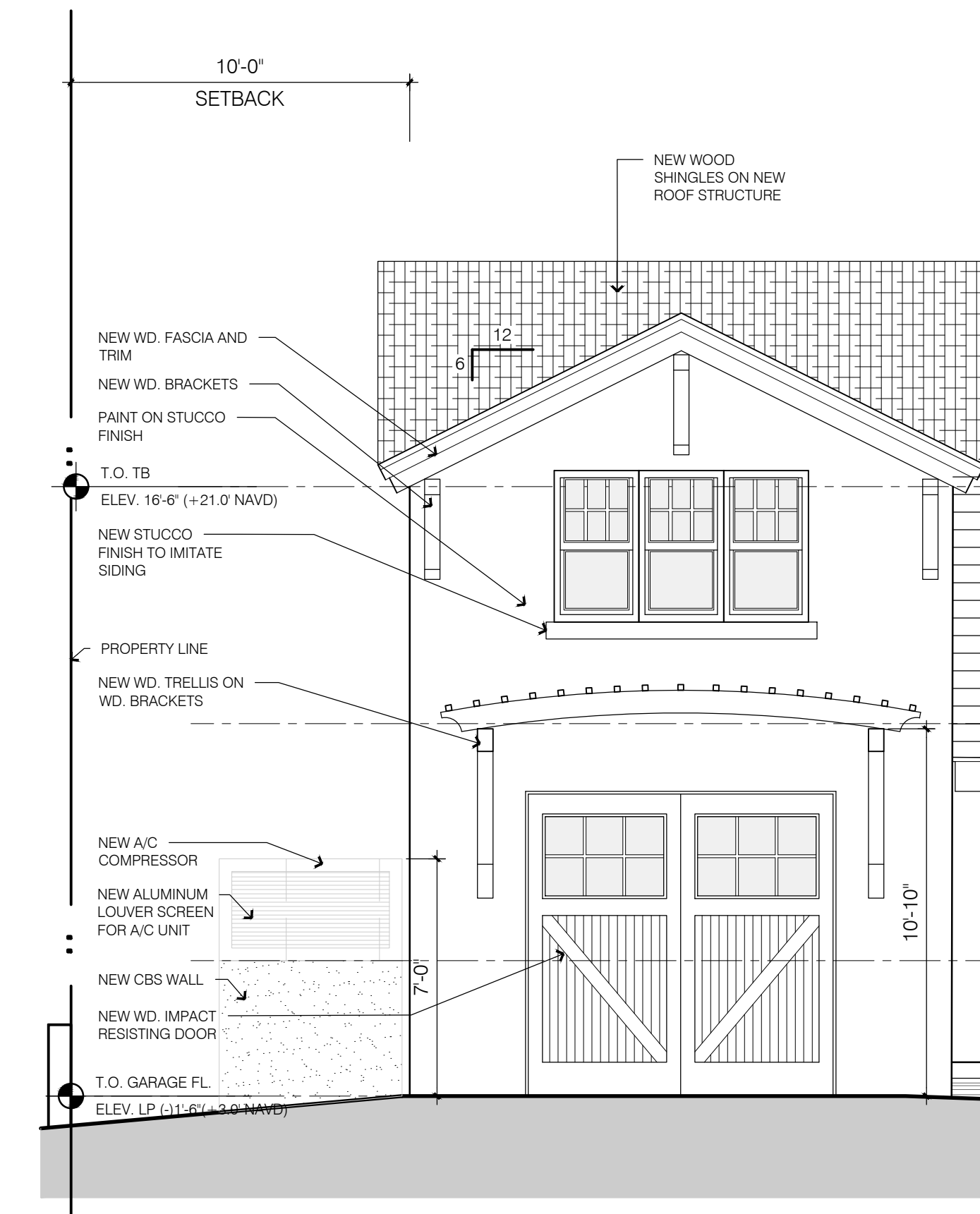
DISTRIBUTION	DATE
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LPC RESUBMITTAL	06/07/23



③ Proposed Side West Elevation 1/4"



② Proposed Side East Elevation 1/4"



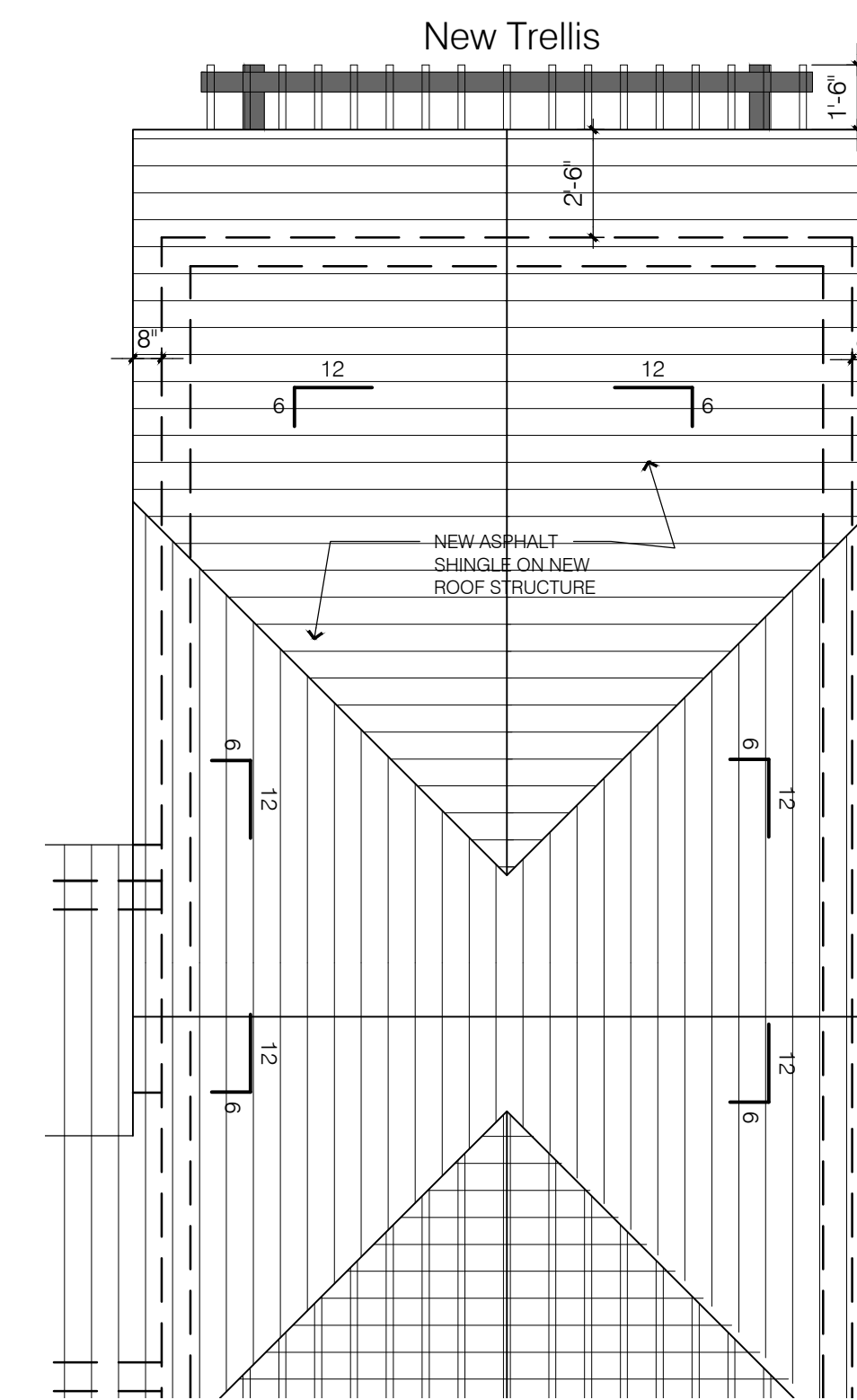
① Proposed Front North Elevation 1/4"



⑤ Proposed North - Street View



④ Proposed Front North Elevation



Partial Roof Plan 1/4"

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SHEET NO.  
**F-5.11**

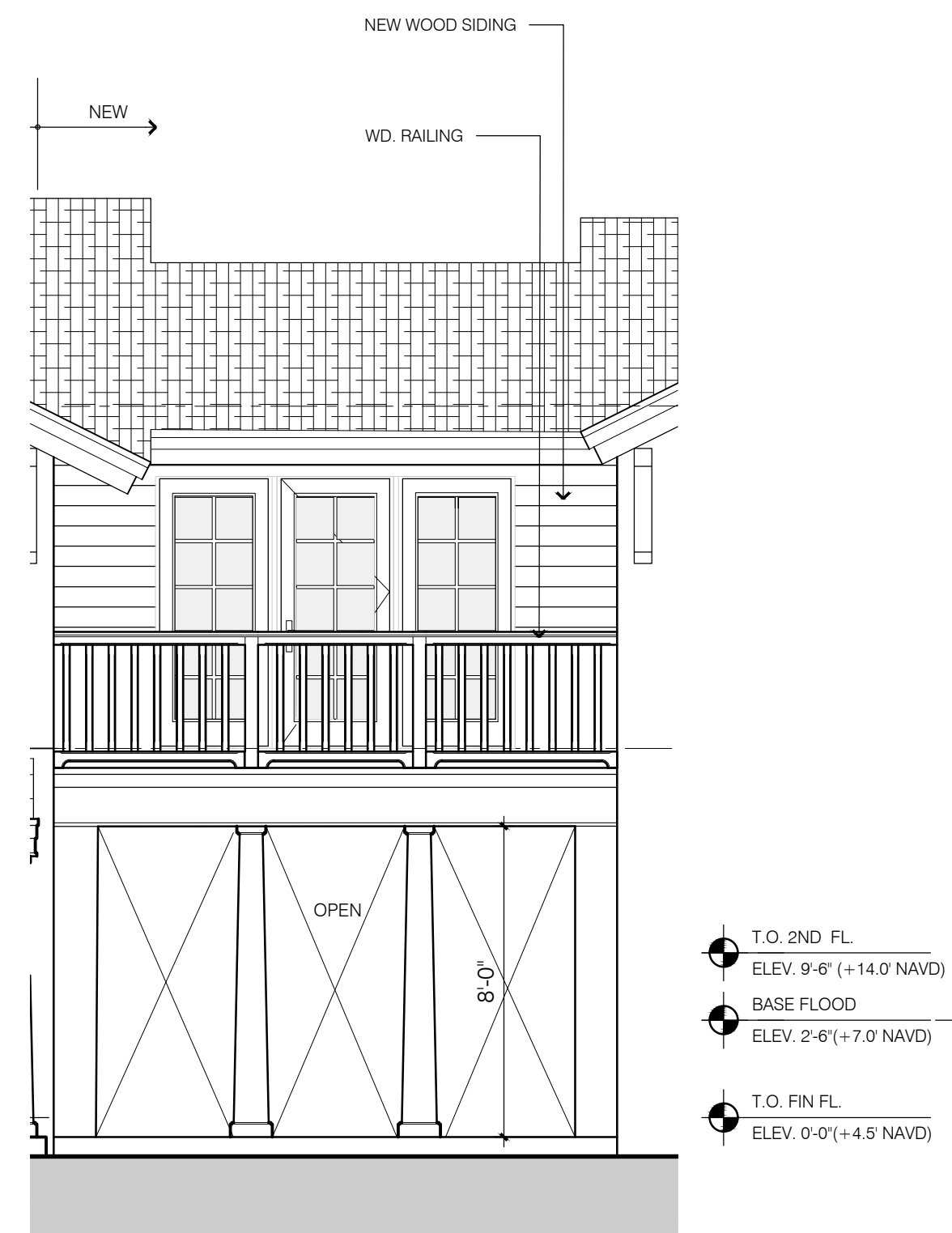
Option with Gable End Roof and Wall Mounted Trellis



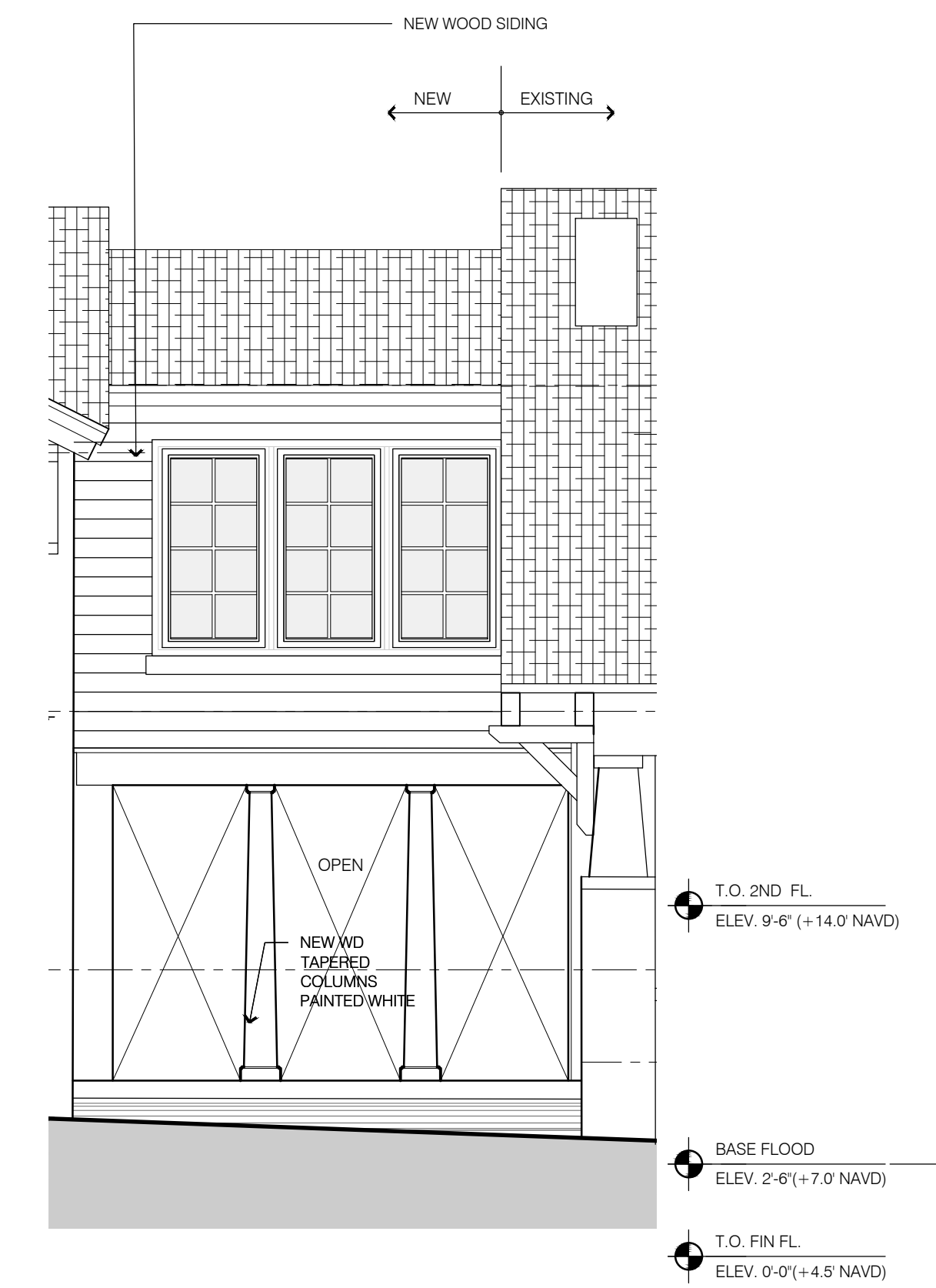
PROJECT No. 22008  
**Addition to  
 428 Chilean Ave**  
 428 Chilean Ave  
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OWNER  
**David Mooney**  
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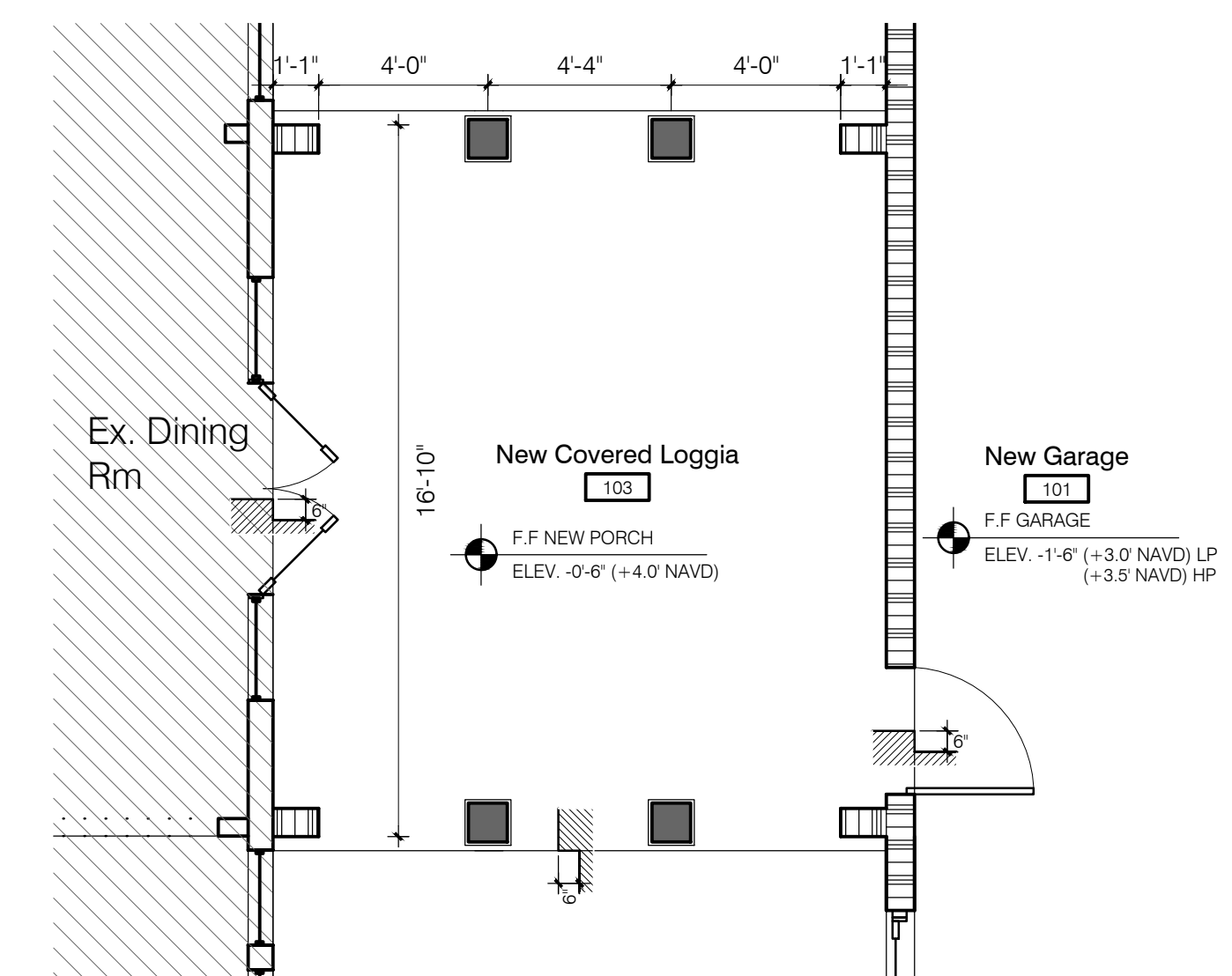
② Proposed Back South Elevation 1/4"



① Proposed Front North Elevation 1/4"



③ Proposed Front North Elevation



Partial Roof Plan 1/4"

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SHEET NO.  
**F-5.12**

Option with Loggia Columns in Center of the Opening



PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
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 ZON: 22-121

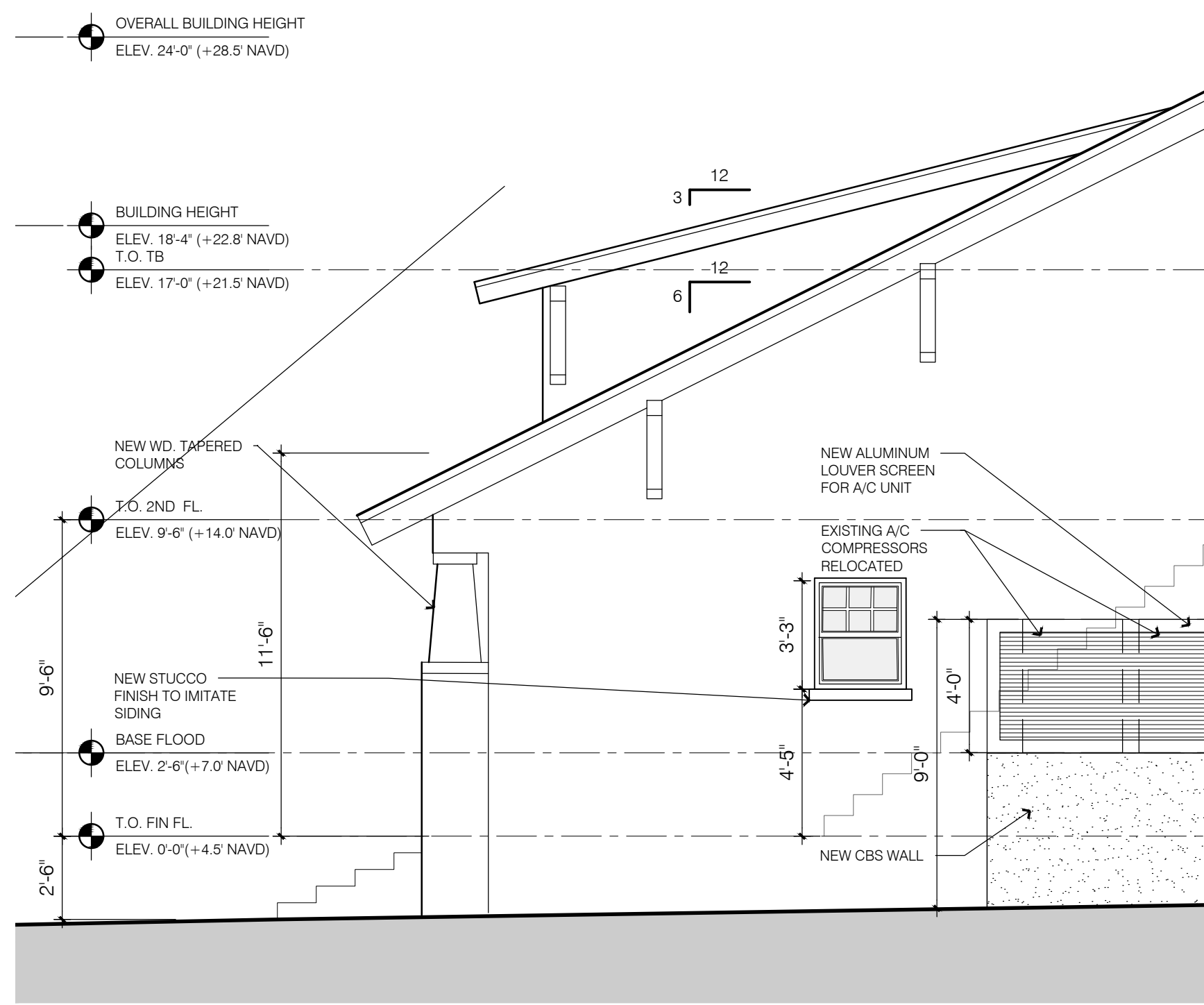
OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

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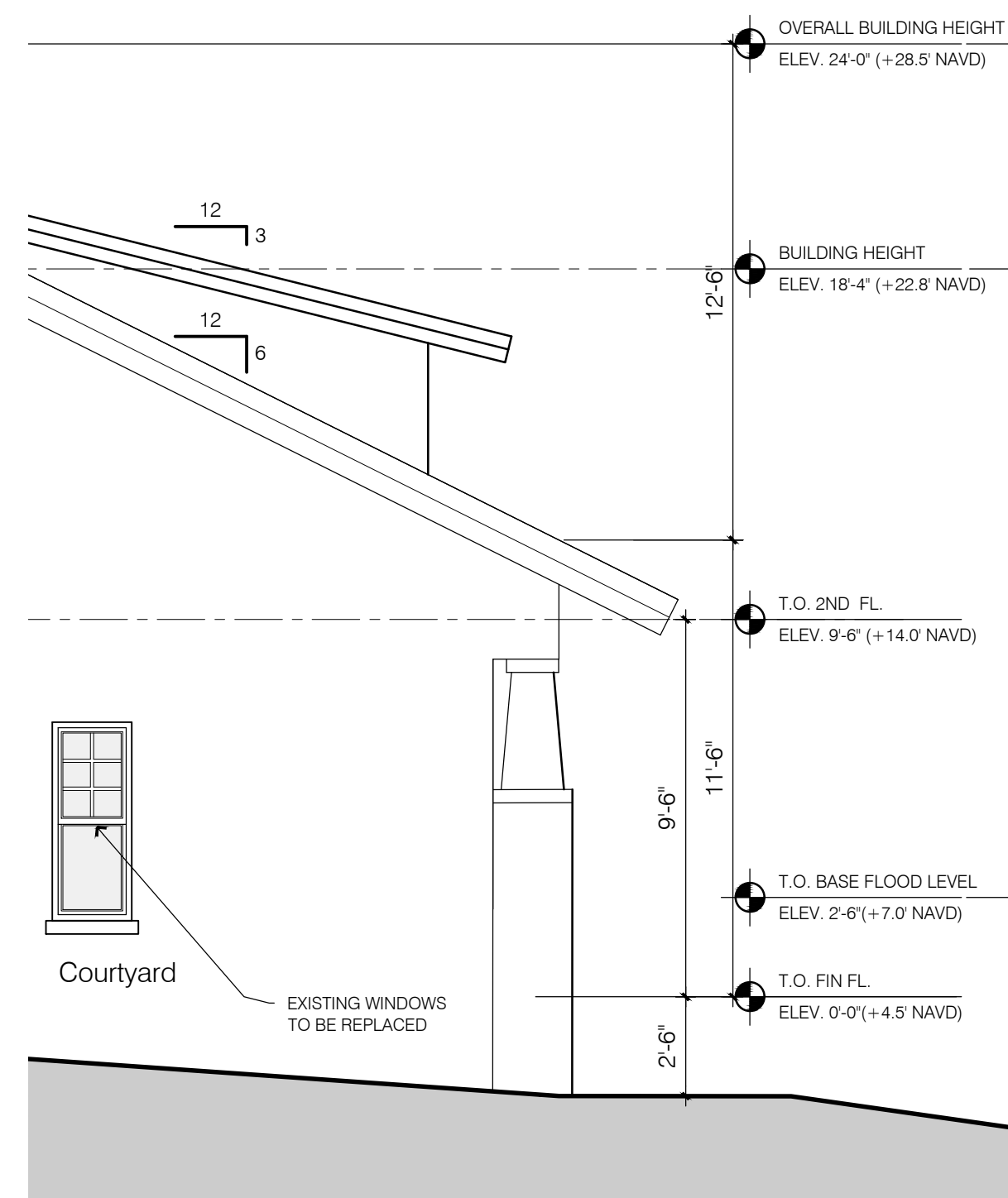
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 ARCHITECTS  
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 Tel: 305.567.0602 | Fax: 305.446.3197 |  
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③ Proposed Side West Elevation 1/4"



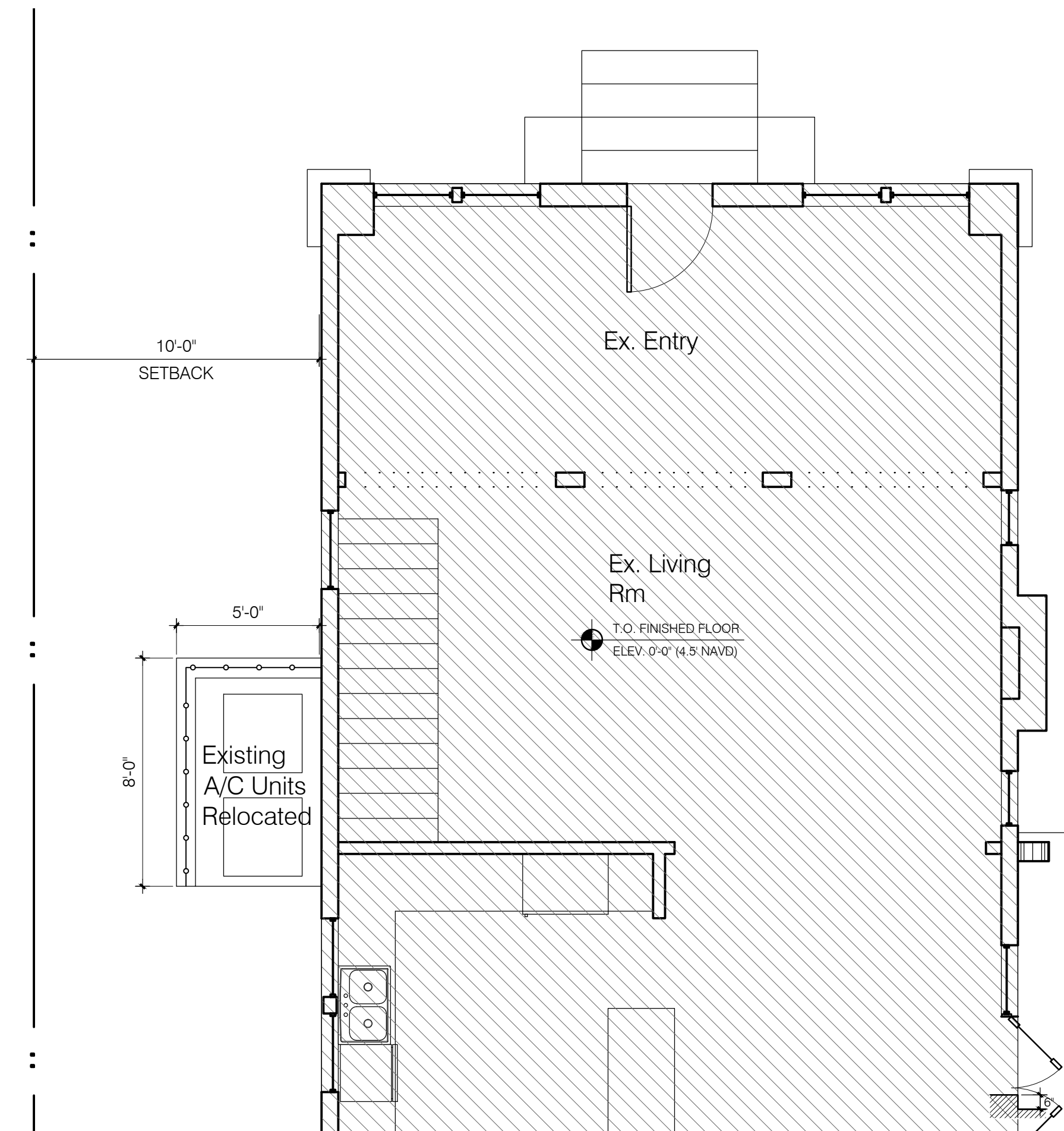
② Proposed Side East Elevation 1/4"



① Proposed Front North Elevation 1/4"



④ Proposed Front North Elevation 1/4"



⊕ Partial Roof Plan 1/4"

Option with Existing Porch Configuration

SHEET NO.  
**F-5.13**



PROJECT No. 22008  
**Addition to**  
**428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
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OWNER  
**David Mooney**  
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 Palm Beach, FL 33480

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- EXIST. BARREL TILE ROOF TO BE REPLACED
- EXIST. BRACKETS, FASCIAS AND SOFFITS DAMAGED DUE STUCCO TO BE REPLACED
- EXIST. ALUMIN. WINDOWS TO BE REPLACED
- EXIST. WD RAFTERS TO BE RESTORED
- EXIST. FRONT DOOR TO BE REPLACED
- PORTION OF WALL TO BE REMOVED
- REMOVE EXIST. STUCCO OVER EXIST. WD. COL.

① Existing North Elevation 1/4"



- CUT GABLE END
- OVERALL BUILDING HEIGHT  
ELEV. 24'-0" (+28.5' NAVD)
- NEW WD. FASCIA AND TRIM
- NEW WD. BRACKETS
- BUILDING HEIGHT  
ELEV. 18'-4" (+22.8' NAVD)
- T.O. TB  
ELEV. 16'-6" (+21.0' NAVD)
- NEW WD SIDING
- PAINT ON STUCCO FINISH
- NEW WD TAPERED COLUMNS PAINTED WHITE
- NEW WD. TRELLIS ON TAPERED COLUMNS
- T.O. 2ND FL.  
ELEV. 9'-6" (+14.0' NAVD)
- NEW WD. IMPACT RESISTING DOOR
- BASE FLOOD  
ELEV. 2'-6" (+7.0' NAVD)
- T.O. FIN FL.  
ELEV. 0'-0" (+4.5' NAVD)

- NEW WOOD SHINGLES
- T.O. TB  
ELEV. 17'-0" (+21.5' NAVD)
- NEW WD. TAPERED COLUMNS
- NEW WOOD / ALUM WINDOWS PAINTED WHITE
- PAINT ON STUCCO FINISH

② Proposed North Elevation 1/4"

Luigi Vitalini | AR - 13513

*LA Design*  
 Landscape Architectural Design  
 8636 S.E. Sharon Street Hobe Sound, Florida 33455

**VC vitalnicorazzini**  
 ARCHITECTS  
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 Tel: 305.567.0602 | Fax: 305.446.3197 |  
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SHEET NO.  
**F-6.1**

SHEET PLOTTED 6/9/2023 2:55 PM



PROJECT No. 22008

### Addition to 428 Chilean Ave

428 Chilean Ave  
Palm Beach, FL 33480  
HSB: 22-012  
ZON: 22-121

#### OWNER

David Mooney  
428 Chilean Ave  
Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23



- EXIST. BARREL TILE ROOF TO BE REPLACE
- EXIST. BRACKETS, FASCIAS AND SOFFITS DAMAGED DUE STUCCO TO BE REPLACED
- EXIST. ALUMIN. WINDOWS TO BE REPLACED
- EXIST. W/D PORCHES TO BE REMOVED
- EXIST. IMITATION CORAL STONE COLUMNS TO BE REMOVED

① Existing South Elevation 1/4"

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- NEW W/D SIDING
- W/D. RAILING
- NEW WOOD SHINGLES
- OVERALL BUILDING HEIGHT ELEV. 24'-0" (+28.5' NAVD)
- NEW W/D. FASCIA AND TRIM
- NEW W/D. BRACKETS
- BUILDING HEIGHT ELEV. 18'-4" (+22.8' NAVD) T.O. TB
- ELEV. 17'-0" (+21.5' NAVD)
- NEW WOOD / ALLUM WINDOWS PAINTED WHITE
- NEW W/D TAPERED COLUMNS PAINTED WHITE
- T.O. 2ND FL. ELEV. 9'-6" (+14.0' NAVD)
- NEW ALUMINUM LOUVERED DOORS
- BASE FLOOD ELEV. 2'-6" (+7.0' NAVD)
- T.O. FIN FL. ELEV. 0'-0" (+4.5' NAVD)

② Proposed South Elevation 1/4"

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SHEET NO.

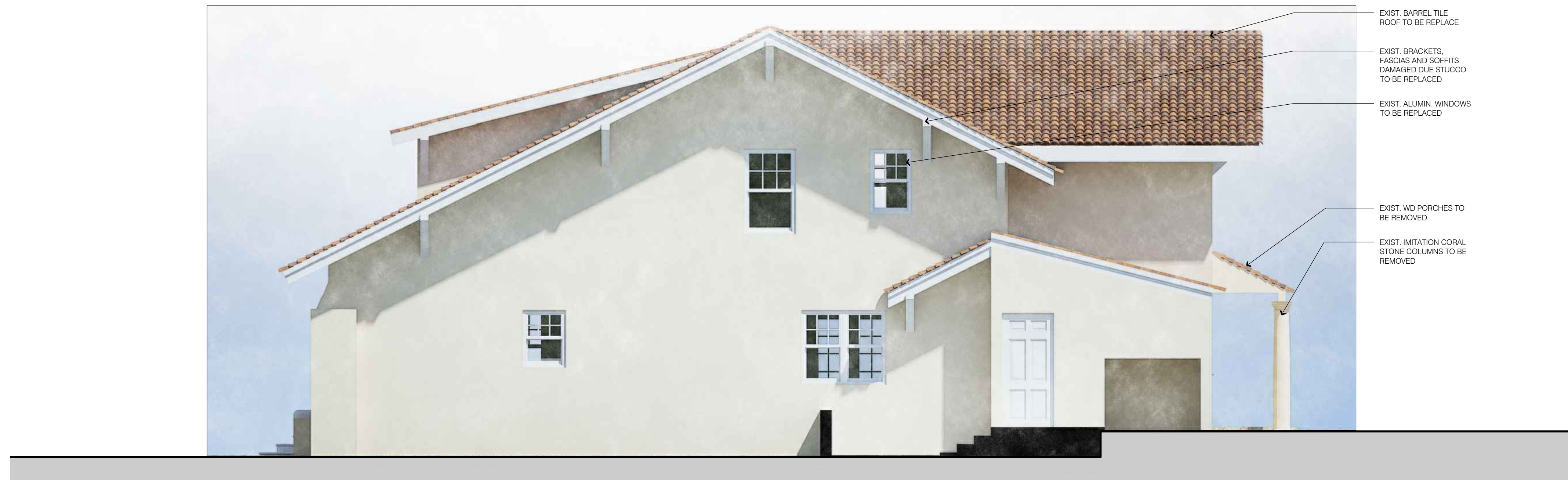
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PROJECT No. 22008  
**Addition to  
 428 Chilean Ave**  
 428 Chilean Ave  
 Palm Beach, FL 33480  
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 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

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① Existing West Elevation 1/4"



② Proposed West Elevation 1/4"

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SHEET NO.  
**F-6.3**



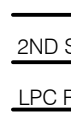
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 428 Chilean Ave  
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OWNER  
**David Mooney**  
 428 Chilean Ave  
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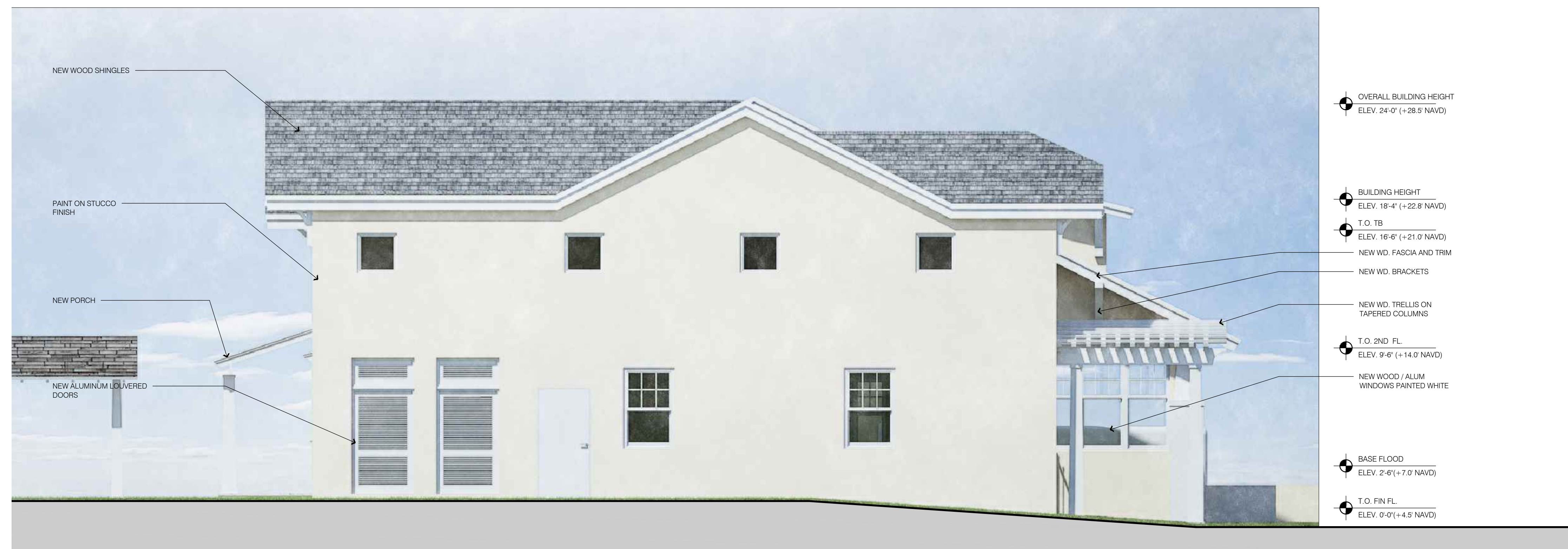
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① Existing East Elevation 1/4"



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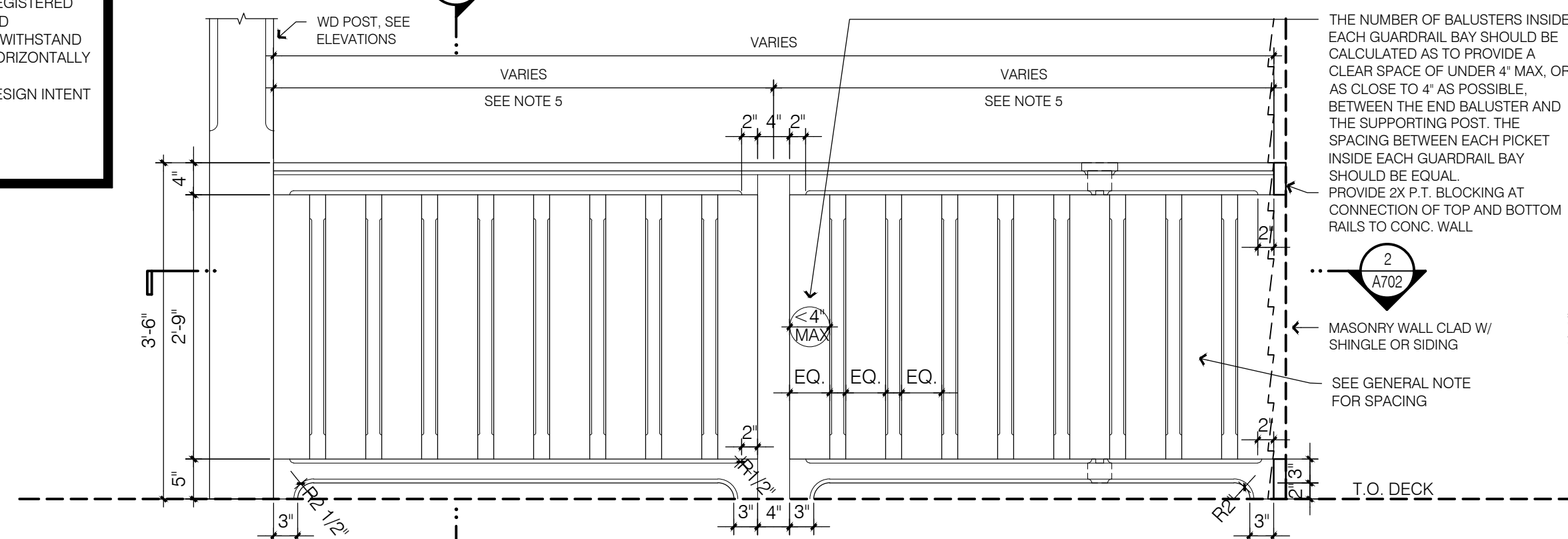
② Proposed East Elevation 1/4"

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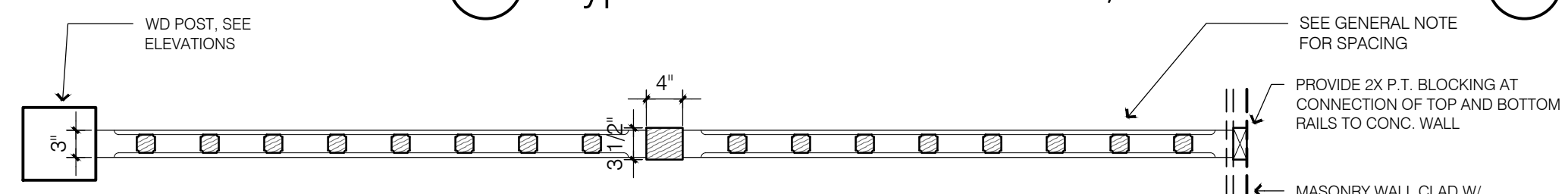
**VC vitaliniorazzini**  
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SHEET NO.  
**F-6.4**

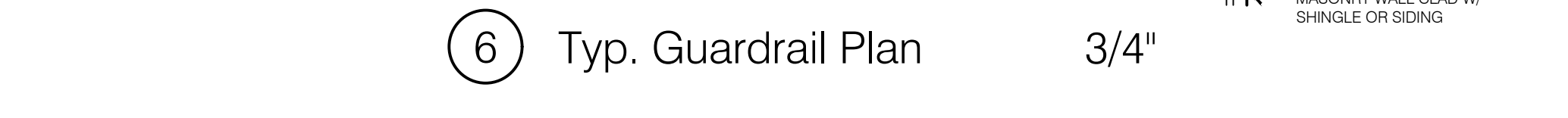
- General Notes:
1. FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE FABRICATION.
  2. VERIFY FINISH FLOOR HEIGHT PRIOR TO FABRICATION.
  3. SPACING BETWEEN PICKETS AND ANY SPACES IN THE RAILING DESIGN MUST REJECT A 4" OBJECT TO COMPLY WITH F.B.C.
  4. THE DESIGN INTENT OF THE GUARDRAILS IS TO MAXIMIZE THE SPAN BETWEEN SUPPORTS. PROVIDE INTERMEDIATE POST SUPPORT ONLY WHEN NECESSARY TO COMPLY WITH FLORIDA'S BUILDING CODES FOR GUARDRAILS.
  5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER AND TO ENSURE THAT THE DESIGN AND CONSTRUCTION OF ALL RAILING COMPONENTS WILL WITHSTAND LOADS APPLIED AT ANY POINT DOWNWARD OR HORIZONTALLY AS REQUIRED BY THE FLORIDA BUILDING CODE.
  6. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR DESIGN INTENT APPROVAL.



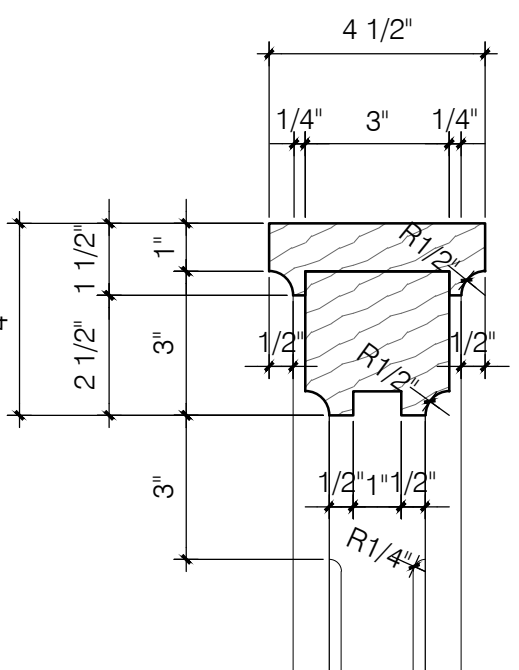
5) Typ. Guardrail Elevation 3/4"



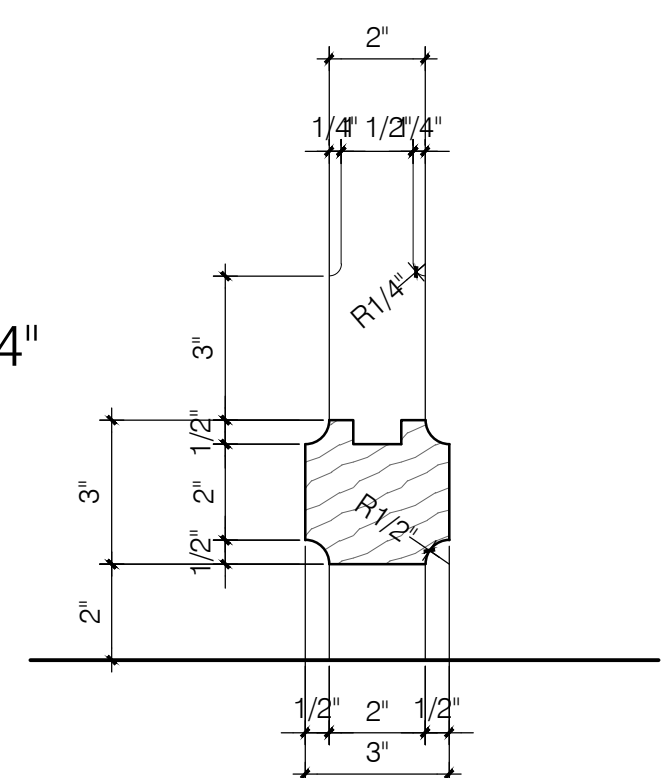
4) Typ. Guardrail & Newel Post Detail 3/4"



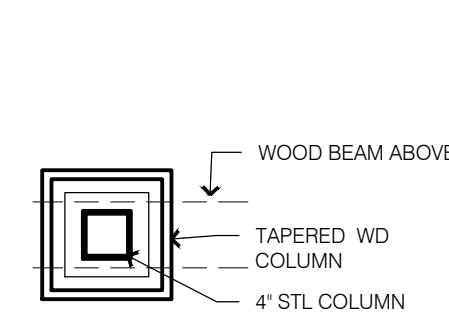
6) Typ. Guardrail Plan 3/4"



2) Top Rail Detail 3"

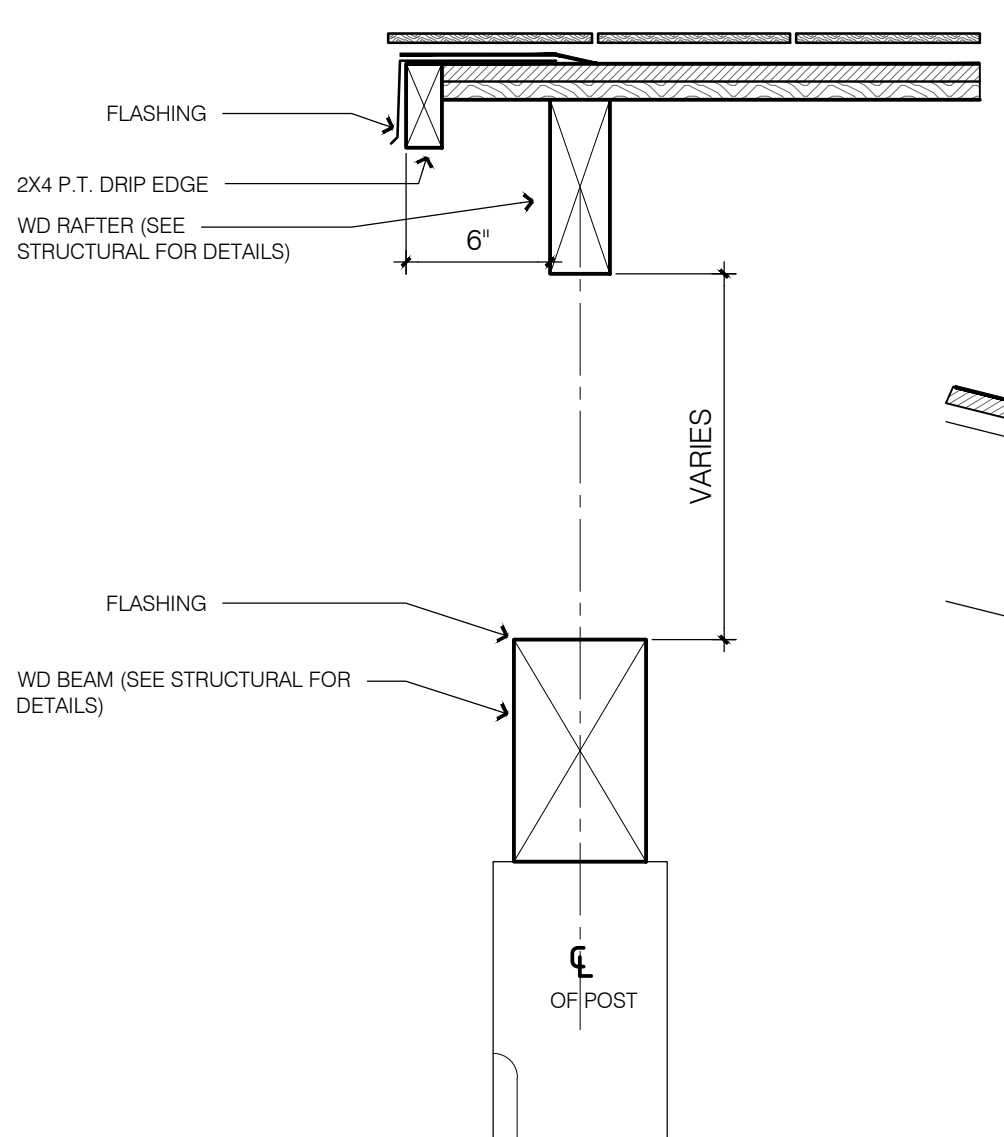
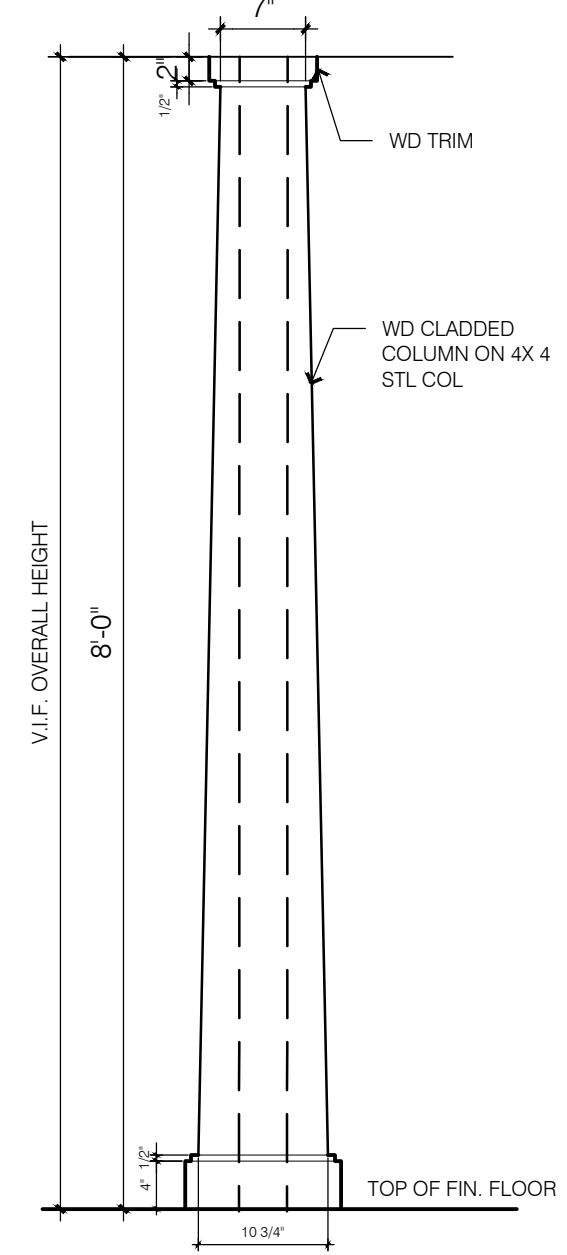


3) Bottom Rail Detail 3"

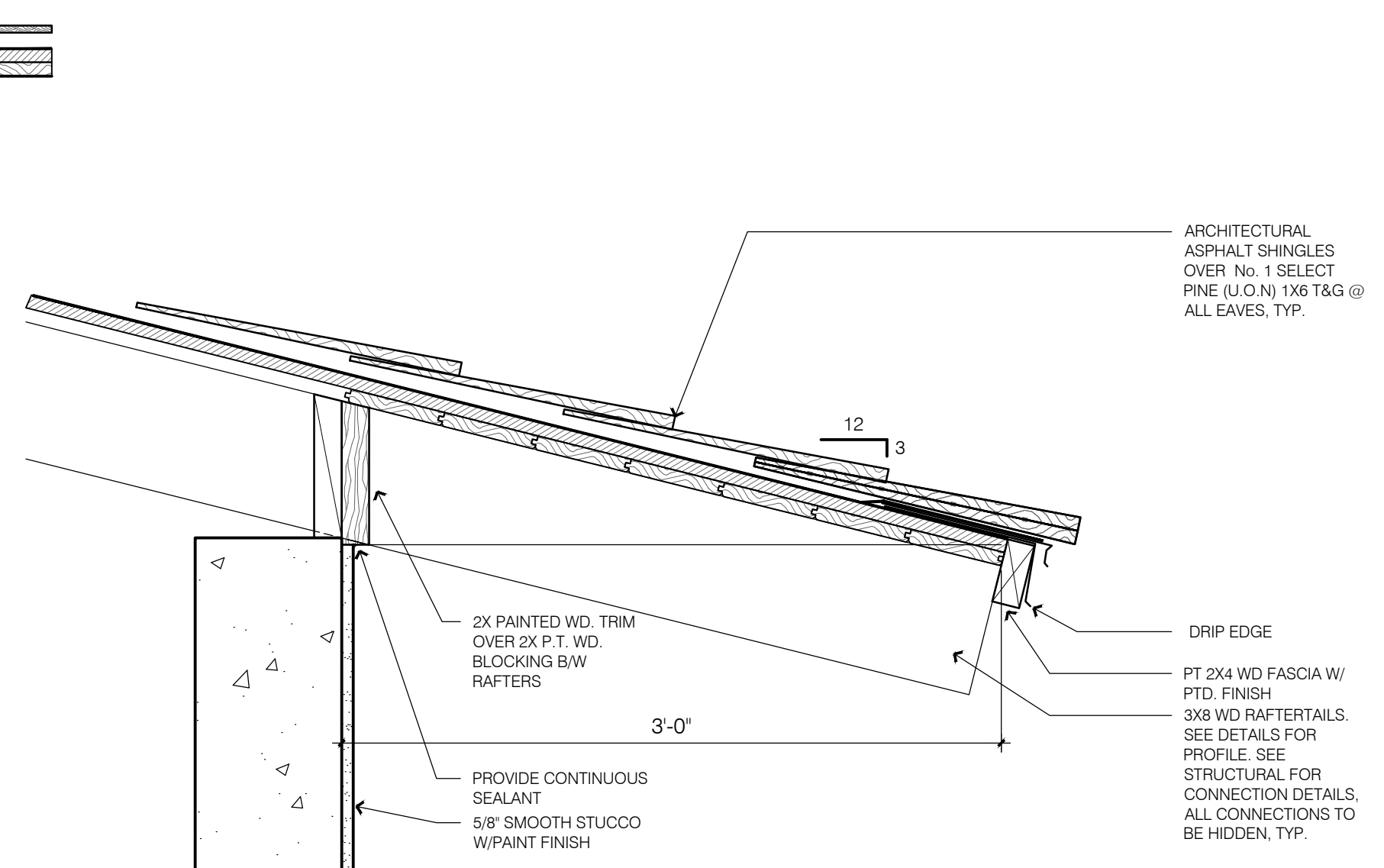


1) Wood Column Detail 3/4"

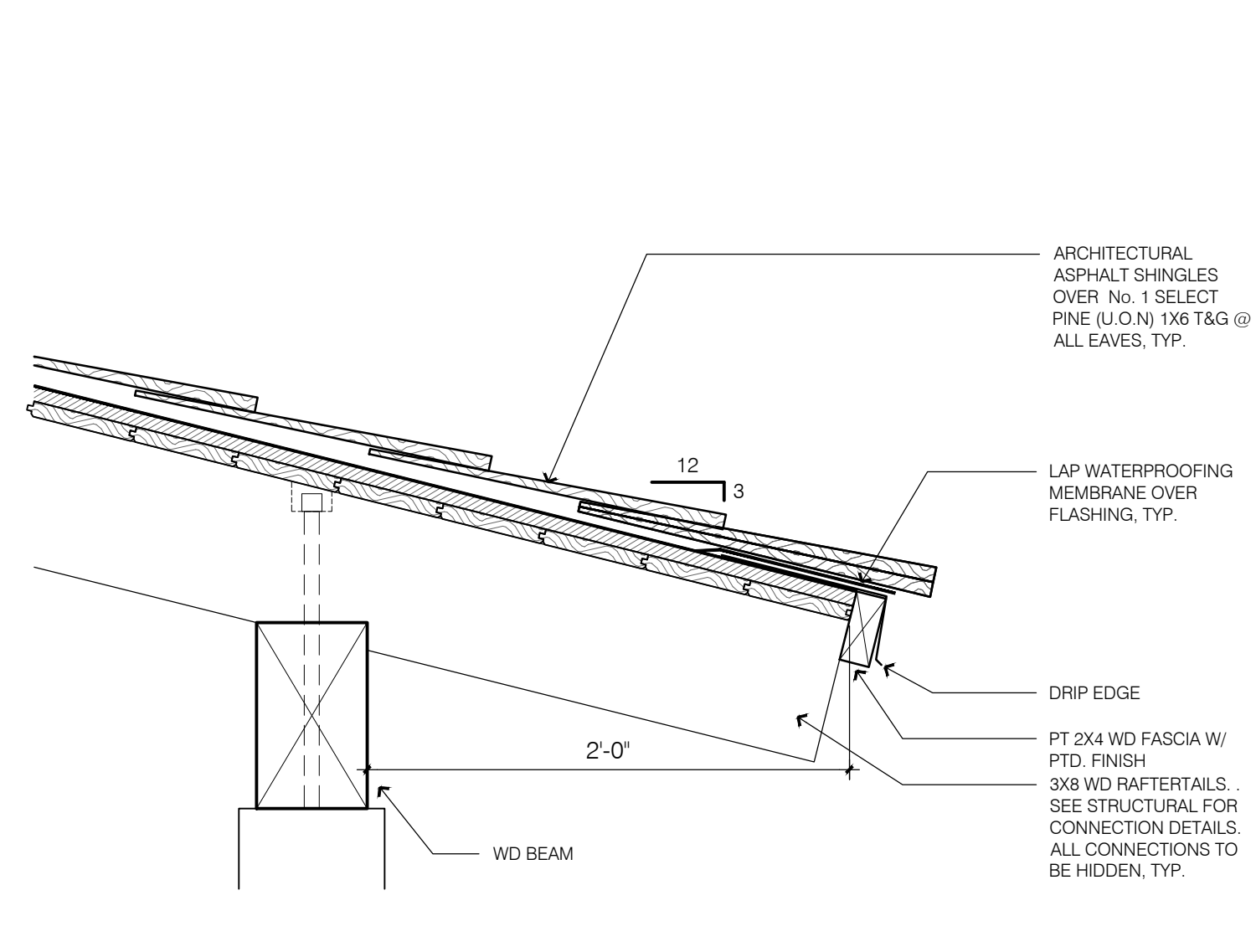
- General Notes:
1. ALL WOOD CONNECTIONS TO BE HIDDEN.
  2. BOLTED & PINNED CONNECTIONS TO BE FLUGGED W/ MATCHING WD.
  3. PLATES & BRACKETS TO BE RECESSED AND FLUGGED W/ MATCHING WD.
  4. ALL END GRAIN TO BE SEALED INCLUDING BUT NOT LIMITED TO COLUMN TOP, BEAM ENDS, BEAM SPLICES.
  5. ANY EPOXY USED FOR STRUCTURE WOOD COLUMNS OR BEAMS TO BE WOODPOXY BY ABATRON.



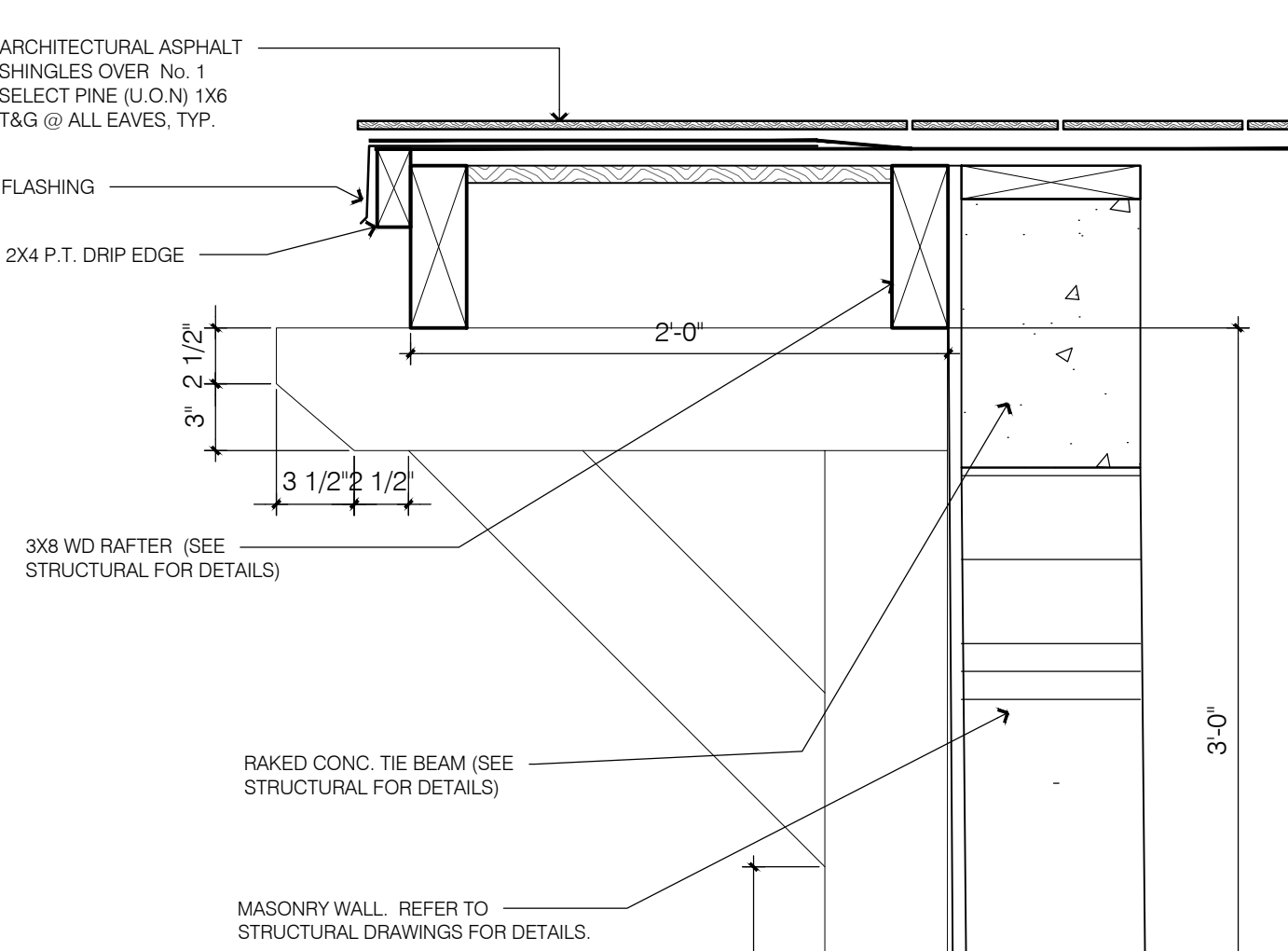
10) Gable End Detail 1-1/2"



9) Typ. Eave Detail 1-1/2"



8) Typ. Eave Detail @ Porch 1-1/2"



7) Rake Edge Bracket Detail 3/4"

- Material Selections- Colors
1. WINDOWS: SINGLE HUNG WINDOWS AND CASSEMENTS BY WINDOOR ESTATE SERIES
  2. DOORS: FRENCH DOORS BY WINDOOR ALUMINUM ESTATE SERIES COLOR WHITE
  3. ROOFINGS: ARCHITECTURAL ASPHALT SHINGLES BY GAF (OR SIMILAR) TIMBERLINE HDZ SHINGLES COLOR SLATE
  4. PAINT COLORS STUCCO HC 33 MONTGOMERY WHITE BY BENJAMIN MOORE- TRIMS, COLUMNS, FASCIA DECORATIVE WHITE 1-04 BENJAMIN MOORE

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**vitalinicorazzini**  
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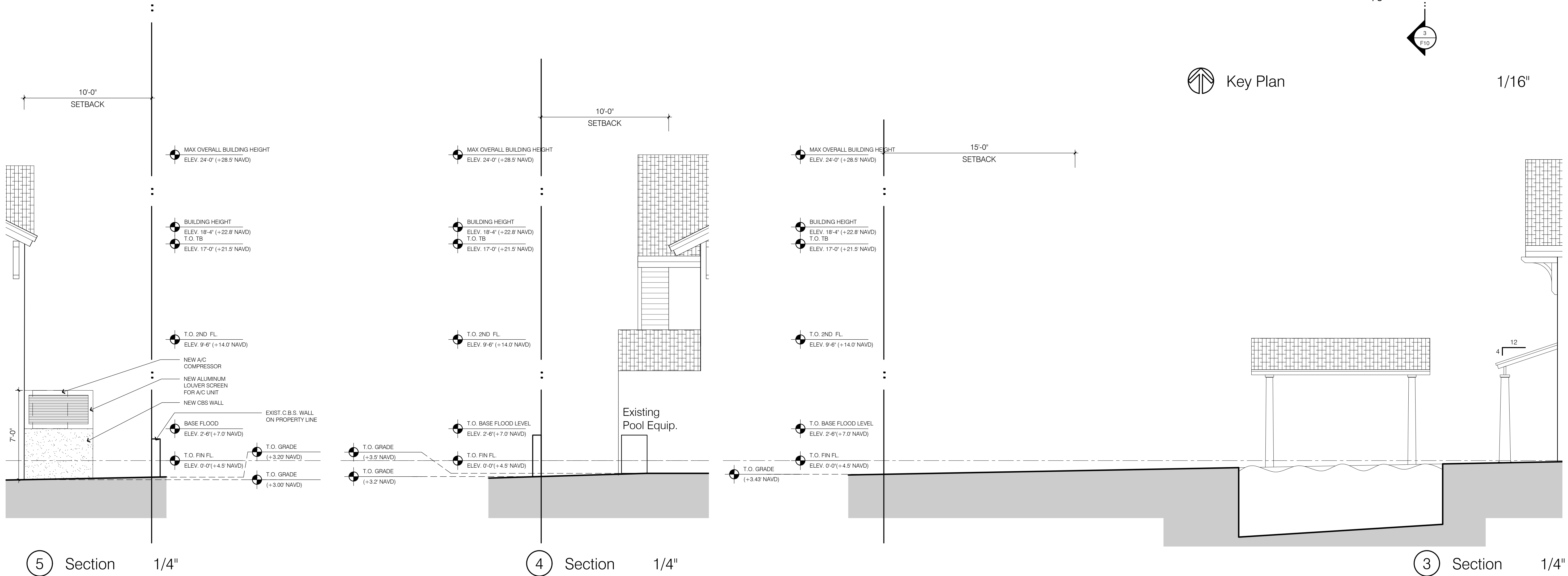
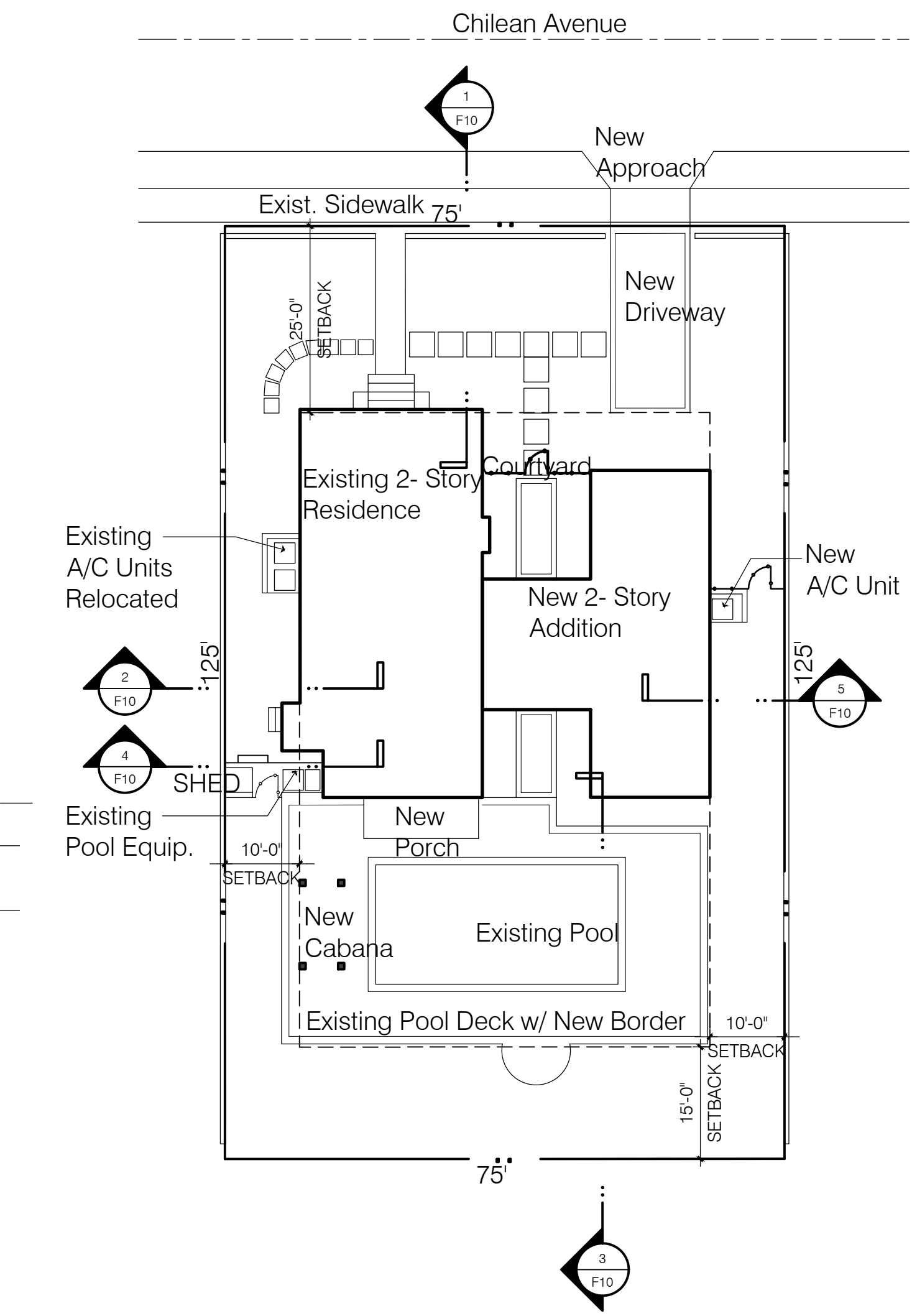
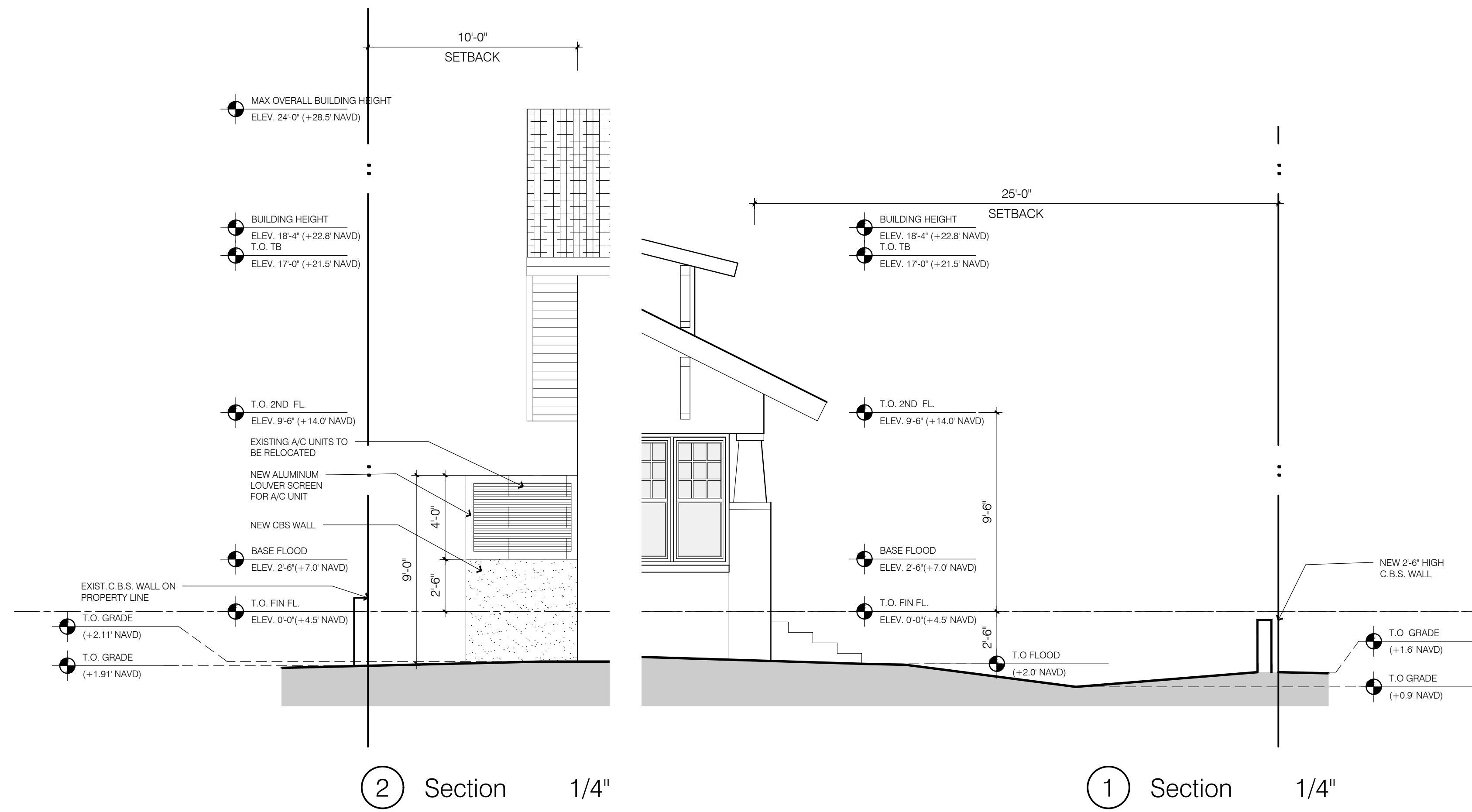




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Luigi Vitalini | AR - 13513

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 6538 S.E. Sharon Street Hobe Sound, Florida 33455

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SHEET NO.  
**F10**

SHEET PLOTTED 01/19/2023 3:59 PM



PROJECT No. 22008  
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428 Chilean Ave  
428 Chilean Ave  
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ZON: 22-121

OWNER  
  
David Mooney  
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2 Proposed North - Street View



1 Proposed North - Street View



4 Proposed South - Rear View



3 Proposed South - Rear View

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SHEET NO.  
F-11



GENERAL NOTES:

- 1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF PALM BEACH COUNTY AND NATIONAL CODES WHERE APPLICABLE.
- 2. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
- 3. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM NAVD88
- 4. THE CONTRACTOR SHALL NOTIFY IMMEDIATELY WHEN A CONFLICT BETWEEN THE DRAWING AND ACTUAL CONDITIONS ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION
- 5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR THE CONSTRUCTION OF THE WORK TO PERFORM SUCH TESTS, STUDIES, AND SURVEYS AS HE DEEMS NECESSARY TO SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS EXISTING AT THE SITE.
- 6. THE CONTRACTOR SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES TO PERMIT THE LOCATION OF EXISTING UNDERGROUND UTILITIES IN ADVANCE FOR CONSTRUCTION BY CALLING SUNSHINE STATE ONE CALL 811
- 7. CONTRACTOR SHALL HAVE A SET OF PLANS WITH CURRENT FIELD CHANGES MARKED THERE-ON AND SHALL DELIVER THESE PLANS TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
- 8. NO CONSTRUCTION ACTIVITY SHALL TAKE COMMENCE PRIOR TO OBTAINING ALL THE REQUIRED PERMITS AND APPROVALS FOR THIS PROJECT. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND COMPLY WITH APPROVED PLANS/ ALL DIMENSIONS AND ELEVATIONS SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND REQUIREMENT OF ALL PERMITTING AGENCIES.
- 9. PROPOSED BERM IS REQUIRED TO BE CONSTRUCTED OF SUITABLE FILL MATERIAL, NO MUCK OR OPEN GRADED SILICA, COMPACTED TO 92% DENSITY, AND SODDED OR STABILIZED IN AN APPROVED METHOD TO PREVENT EROSION

PRECONSTRUCTION RESPONSIBILITIES:

- 1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE PALM BEACH COUNTY ENGINEERING DIVISION, THE OWNER, THE ENGINEER AND HIMSELF AFTER OBTAINING A CONSTRUCTION PERMIT FROM THE ENGINEERING DIVISION.
- 2. THE CONTRACTOR SHALL OBTAIN A SUNSHINE CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- 3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST A SUNSHINE CERTIFICATION NUMBER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH HAVE BEEN PROPERLY LOCATED.
- 5. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, WHO WILL IN TURN NOTIFY THE CITY OF PEMBROKE PINES ENGINEERING DIVISION.

INSPECTION:

- 1. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEERING DIVISION AND THE ENGINEER OF RECORD AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE SANITARY SEWER AND WATER SYSTEM.

SHOP DRAWINGS:

- 1. ANY PRODUCT THAT IS NOT ON THIS LIST MUST BE APPROVED IN ADVANCE BY THE ENGINEER OF RECORD AND PALM BEACH COUNTY ENGINEERING DIVISION. SUCH APPROVAL REQUIRES THE SUBMISSION OF A SHOP DRAWING (SIX COPIES) FOR EACH PRODUCT. SHOP DRAWINGS WILL ALSO BE REQUIRED FOR ALL NON-STANDARD ITEMS.
- 2. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED AND SHALL BE SUBMITTED TO AND REVIEWED BY THE ENGINEER OF RECORD AND THE THE PALM BEACH COUNTY ENGINEERING DIVISION PRIOR TO ISSUANCE OF A CONSTRUCTION PERMIT.

TEMPORARY FACILITIES:

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO HIS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING CONSTRUCTION.
- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A CONSTRUCTION METER FOR ALL WATER USED ON JOB. THE COST OF ALL WATER USED FOR CLEANING, TESTING, ETC. WILL BE THE CONTRACTOR'S RESPONSIBILITY. IF WATER CANNOT BE METERED THEN IT WILL BE CALCULATED.
- 3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 4. NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE TOWN ENGINEERING DIVISION.

PROJECT CLOSEOUT:

- 1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
- 2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED BY THE ENGINEERING DIVISION OF PALM BEACH COUNTY, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUBCONTRACTORS TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THIS END, THE CONTRACTOR SHALL DO AS REQUIRED, ALL NECESSARY HIGHWAY OR DRIVEWAY, SIDEWALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- 3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, GRAVITY SEWER, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.
- 5. ALL "AS-BUILT" INFORMATION SUBMITTED TO THE ENGINEER SHALL BE SUFFICIENTLY ACCURATE, CLEAR AND LEGIBLE TO SATISFY THE ENGINEER THAT THE INFORMATION PROVIDES A TRUE REPRESENTATION OF THE IMPROVEMENTS CONSTRUCTED.
- 6. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS AND SHALL BE SIGNED BY THE CONTRACTOR.

PAVING AND DRAINAGE NOTES:

- 1. THE FULL DEPTH OF ALL EXISTING ORGANIC AND DETERIUS MATERIALS WITHIN THE RIGHT-OF-WAY AND UTILITY DRAINAGE EASEMENT SHALL BE REMOVED. NO MATERIAL OF FDOT CLASS A-5, A-7 OR A-8 SHALL BE ALLOWED.
- 2. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.10 GALLON PER SQUARE YARD. PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTION 300-1 THROUGH 300-7 OF FDOT STANDARDS SPECIFICATIONS.
- 3. PROCTORS SHALL BE PERFORMED ON ALL MATERIAL, SUBGRADE, AND BASE AND ANY SUBSEQUENT CHANGE IN MATERIALS. LIMEROCK BEARING RATIOS, SIEVES ANALYSIS, AND DENSITIES REQUIRED BY THE CONTRACTOR DOCUMENTS SHALL BE SUBMITTED TO THE CITY AND THE ENGINEER OF RECORD. THE CONTRACTOR SHALL PAY FOR ALL REQUIRED TESTING. TEST RESULTS SHALL BE SIGNED AND SEALED BY THE LABORATORY PROFESSIONAL ENGINEER REGISTER IN THE STATE OF FLORIDA.
- 4. AS-BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO ENGINEERING OF RECORD TO SHOW FINISH GRADE OF THE SUBGRADE AND ENTIRE SITE ELEVATIONS.
- 5. ALL FILL IMPORTED/ BORROW MATERIAL SHALL BE CLEAN SANDY SOIL FREE OF ROCKS, CONCRETE AND ORGANIC MATERIAL AND SHALL MEET THE FDOT STANDARDS FOR BORROWED FILL.

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OWNER

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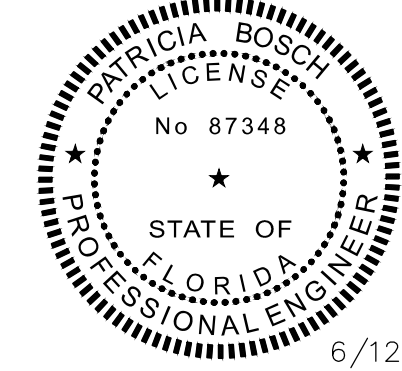
**GENERAL NOTES AND SPECIFICATIONS**

SHEET NO.

**F14.1**

Patricia Bosch  
Digitally signed by Patricia Bosch  
Date: 2023.06.12 10:10:26 -04'00'

This item has been digitally signed and sealed by PATRICIA BOSCH, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



6/12/2023

Project:

428 CHILEAN AVE  
POST DEVELOPMENT LAND  
USE AND STAGE STORAGE  
CALCULATIONS

PREPARED BY:  
DATE:

Alejandro Bosch, P.E., VMA  
2/23/2023



$$S = \left( \frac{1000}{CN} - 10 \right)$$

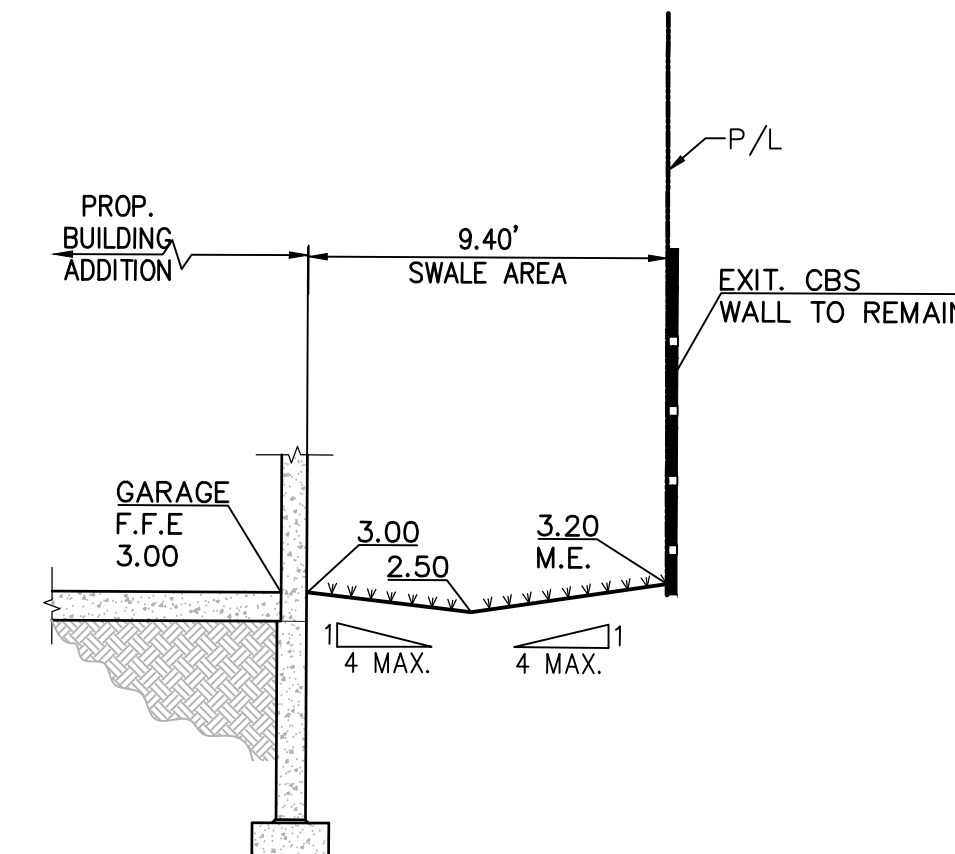
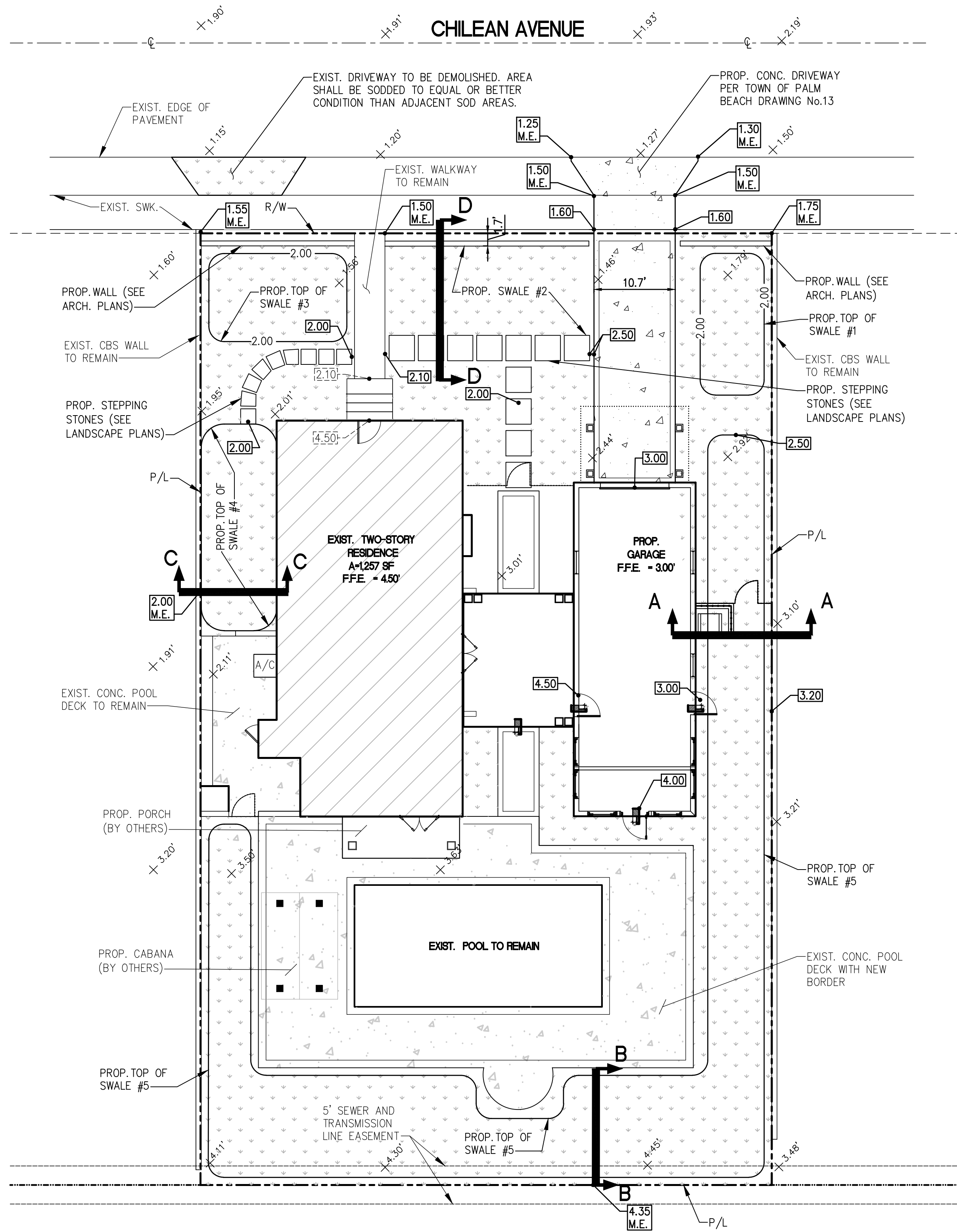
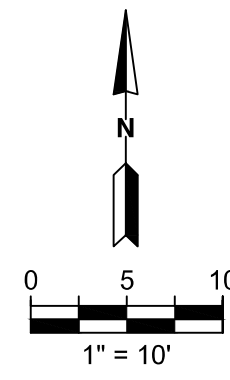
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POST DEVELOPMENT CONDITIONS

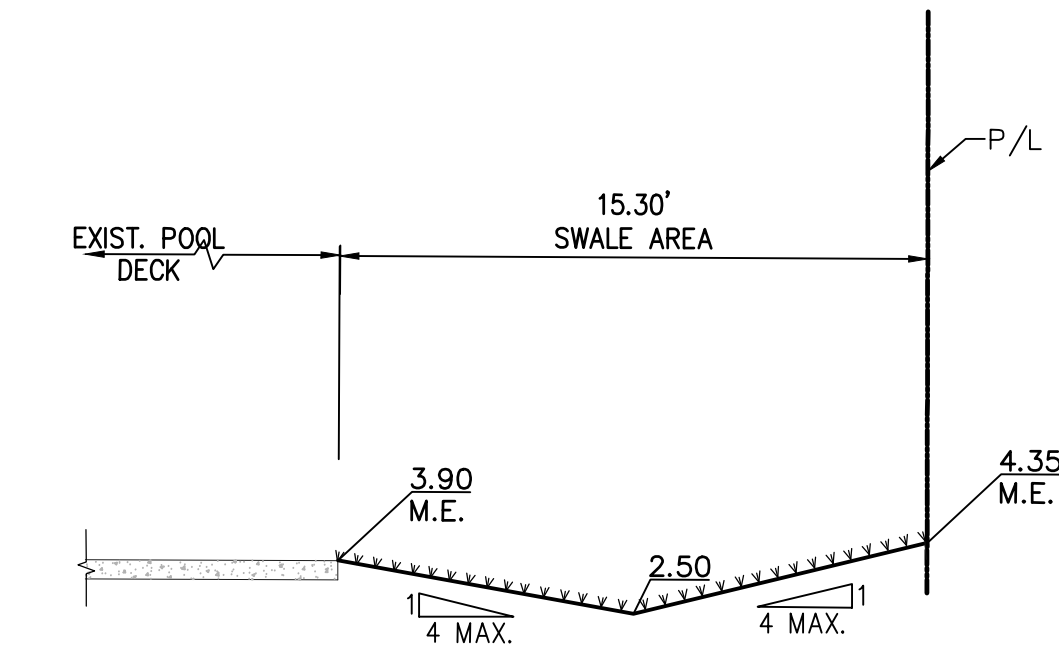
STORM EVENT	TOTAL AREA (Ac)	TOTAL IMPERVIOUS AREA (Ac)	BUILDING AREA (Ac)	PERVIOUS AREA (Ac)	CN	S	P (inches)	Q (inches)	Runoff Volume (Ac-ft)
3 YR-24 HR	0.215	0.125	0.054	0.090	90	1.05	5.00	3.93	0.07

Area (Acres)	IMPERVIOUS	PERVIOUS	BUILDING	TOTAL
	0.071	0.090	0.054	
Storage Type	L	L	None	
Start (Ft)	1.50	0.80		
End (Ft)	4.50	4.50		
Stage (Ft)	Storage (Ac-Ft)	Storage (Ac-Ft)	Storage (Ac-Ft)	Storage (Ac-Ft)
0.00	0.0000	0.0000	0.0000	0.00
0.50	0.0000	0.0000	0.0000	0.00
1.00	0.0000	0.0018	0.0000	0.00
1.50	0.0000	0.0093	0.0000	0.01
2.00	0.0030	0.0226	0.0000	0.04
2.50	0.0118	0.0417	0.0000	0.07
3.10	0.0303	0.0721	0.0000	0.14

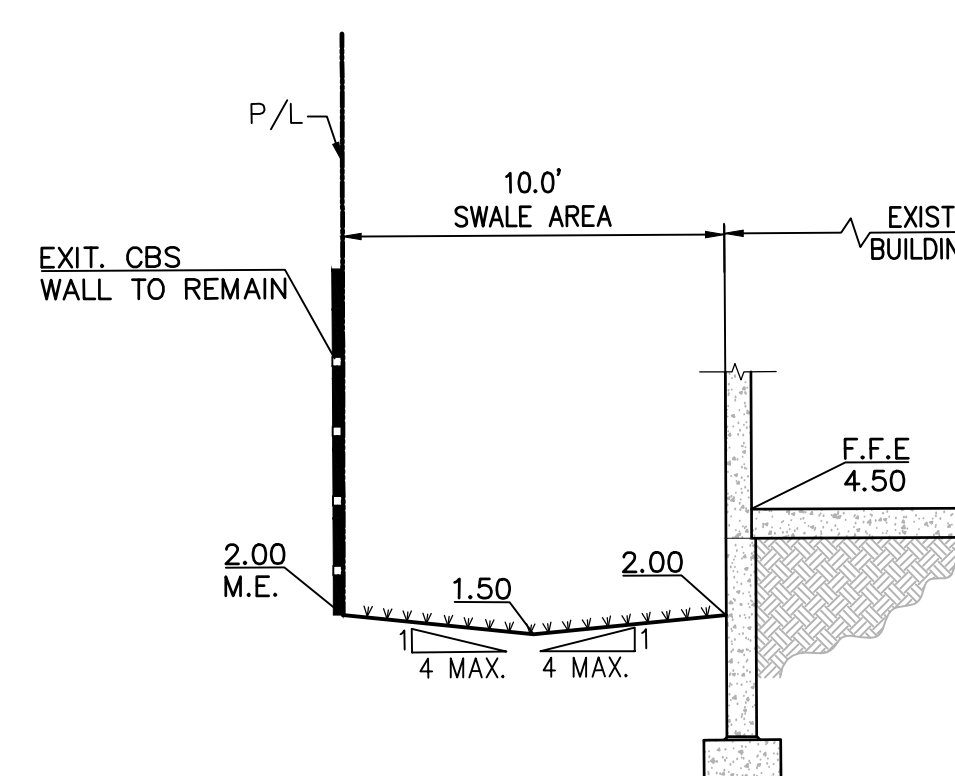
STAGE FOR THE 3 YR-24 HR STORM EVENT IN THE POST-DEVELOPMENT CONDITION IS 2.50 ft NAVD88



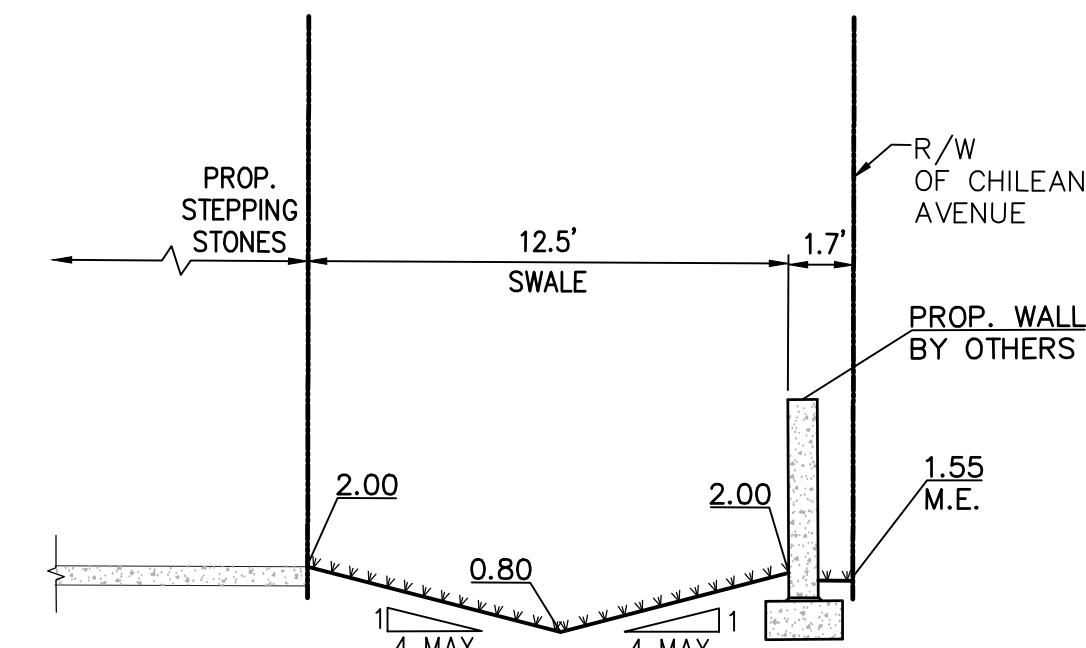
TYPICAL SECTION "A-A"  
SCALE: N.T.S.



TYPICAL SECTION "B-B"  
SCALE: N.T.S.



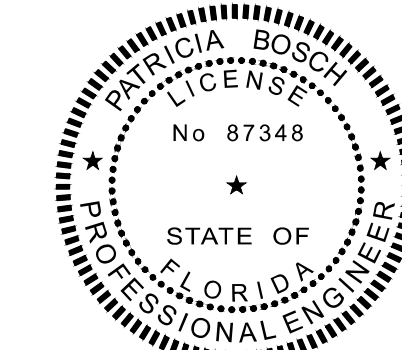
TYPICAL SECTION "C-C"  
SCALE: N.T.S.



TYPICAL SECTION "D-D"  
SCALE: N.T.S.

- LEGEND:**
- PROPOSED CONCRETE AREA
  - PROPOSED SOD AREA
  - EXISTING CONCRETE AREA
  - PROPOSED ELEVATION
  - EXISTING ELEVATION

This item has been digitally signed and sealed by PATRICIA BOSCH, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



6/12/2023

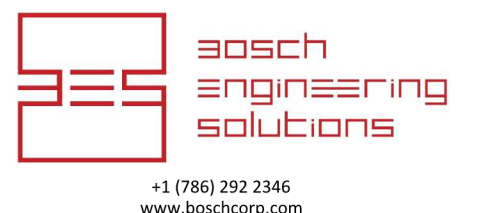
PROJECT No. 22008  
Addition to  
428 Chilean Ave  
428 Chilean Ave  
Palm Beach, FL 33480

OWNER  
David Mooney  
428 Chilean Ave  
Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22



Civil Design Engineering LLC  
+1 (786) 439-9837  
www.civildesignengineering.com



+1 (786) 292-2346  
www.boschcorp.com



300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134  
tel: 305.567.0602 | fax: 305.446.3197 |  
www.vcmiami.com FL Registration AA26001654

PAVING, GRADING, AND  
DRAINAGE PLAN

SHEET NO.

F14.2



PROJECT No. 22008  
 Addition to  
 428 Chilean Ave  
 428 Chilean Ave  
 Palm Beach, FL 33480

OWNER  
 David Mooney  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22

(SAW CUT) (FORMED-GROOVE OR PRE-MOLDED)

D (MIN.) = T/5  
 D (MAX.) = T/4

**TYPE A**  
 CONTRACTION JOINT

**TYPE B**  
 EXPANSION / ISOLATION JOINT

**TYPE C**  
 CONSTRUCTION JOINT

FILEPATH: P:\DGN\ENG SER\LAND DEVELOPMENT STANDARDS\DWG FORMAT\1000.1

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				CONCRETE JOINTS		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	1000.1
K.L.	05/23/90	J.M.K.	02/01/2018	<i>Paula Connell</i>	2/9/18	
				COUNTY ENGINEER OR DESIGNEE		

**STANDARD SECTION**

**DRIVEWAYS (RESIDENTIAL AND NON-RESIDENTIAL AREAS)**

FILEPATH: P:\DGN\ENG SER\LAND DEVELOPMENT STANDARDS\DWG FORMAT\400.1A

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				PATHWAY: CONCRETE SIDEWALK		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	400.1
K.L.	05/23/90	J.M.K.	02/01/2018	<i>Paula Connell</i>	2/9/18	
				COUNTY ENGINEER OR DESIGNEE		

**NOTES:**

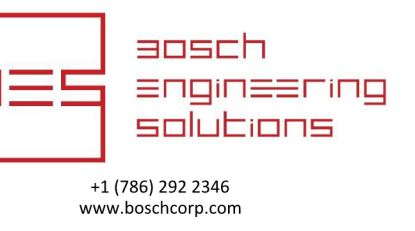
- SIDEWALKS TO BE PORTLAND CEMENT CONCRETE, MIN. 2500 P.S.I. @ 28 DAYS.
- BASE TO BE A MINIMUM 4 INCHES OF CLEAN SAND OR SANDY LOAM, FULLY COMPACTED, FULL WIDTH.
- SIDEWALKS TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE.
- MAXIMUM LONGITUDINAL SLOPE IS 1.0%
- SIDEWALK THICKNESS TO BE 6 INCHES MINIMUM IN ALL AREAS SUBJECT TO VEHICULAR TRAFFIC.

**CURB TRANSITION PROFILE**

**SECTION A-A**

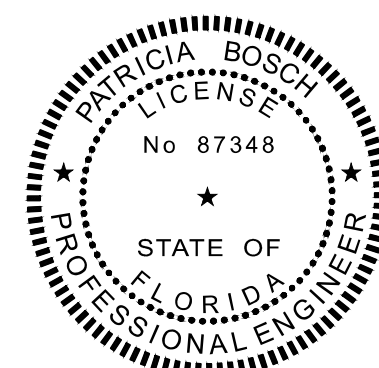
1. DRIVEWAY TO BE PORTLAND CEMENT, MIN. 3000 P.S.I. @ 28 DAYS.  
 2. BASE TO BE A MINIMUM 4" CLEAN SAND OR SANDY LOAM, FULLY COMPACTED, FULL WIDTH.  
 3. CONCRETE TO BE BROOM FINISHED WITH EVEN, DUSTLESS SURFACE.

TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT		RESIDENTIAL DRIVEWAY CURB & GUTTER SECTION (CONCRETE)	DRAWING NO. 13
REVISIONS:	DATE:	APPROVED:	EFFECTIVE:
REVISED CURB	8/29/03	<i>Jama Bower</i>	9-9-03
		TOWN ENGINEER	



Patricia Bosch  
 Digitally signed by Patricia Bosch  
 Date: 2023.06.12 10:11:04 -04'00'

This item has been digitally signed and sealed by PATRICIA BOSCH, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



PAVING DETAILS

SHEET NO.  
**F14.3**







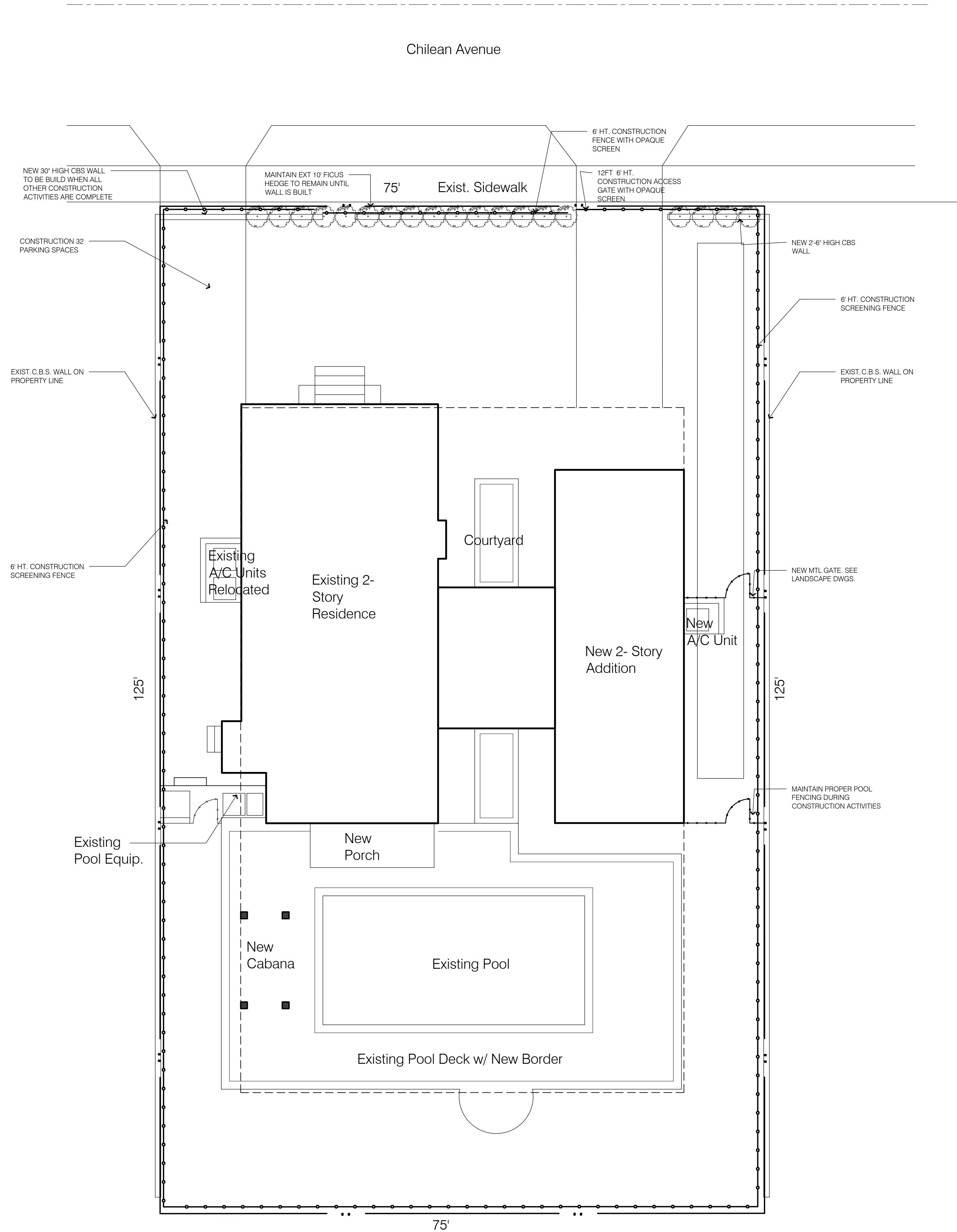
**Note:**  
 CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.

PROJECT No. 22008  
**Addition to 428 Chilean Ave**

428 Chilean Ave  
 Palm Beach, FL 33480  
 HSB: 22-012  
 ZON: 22-121

OWNER  
**David Mooney**  
 428 Chilean Ave  
 Palm Beach, FL 33480

DISTRIBUTION	DATE
OWNER'S REVIEW	04/15/22
PRELIMINARY REVIEW	04/21/22
LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23



Luigi Vitalini AR - 13513

*LA Design*  
 Landscape Architectural Design  
 6538 S.E. Sharon Street Hobe Sound, Florida 33455

**VC vitaliniorazzini**  
 ARCHITECTS  
 300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134  
 tel: 305.567.0602 | fax: 305.446.3197 |  
 www.vcmiami.com FL Registration AA26001654



Truck Logistics	
A.	Maximum truck length = 30
B.	Estimated number of deliveries generated by this project = 25

PROJECT | No. 22008

**Addition to  
428 Chilean Ave**

428 Chilean Ave  
Palm Beach, FL 33480  
HSB: 22-012  
ZON: 22-121

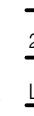
OWNER

**David Mooney**

428 Chilean Ave  
Palm Beach, FL 33480

**DISTRIBUTION | DATE**

OWNER'S REVIEW	04/15/22
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LANDMARK REVIEW	02/06/23
2ND SUBMITTAL REVISION 1	02/22/2023
LPC RESUBMITTAL	06/07/23

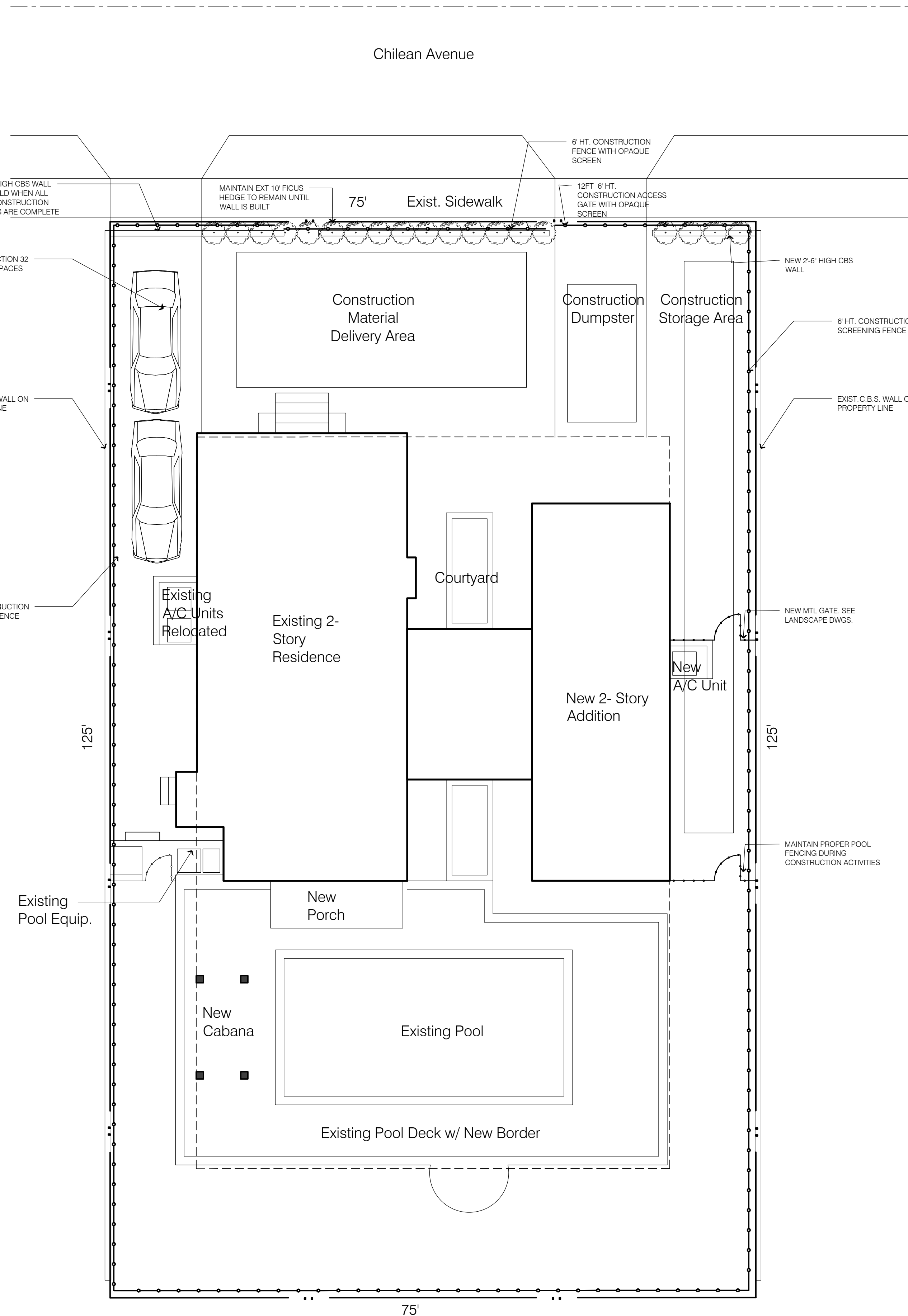


Luigi Vitalini | AR - 13513

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Landscape Architectural Design  
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**VC** vitaliniorazzini  
ARCHITECTS

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Construction Staging and Truck Logistics Plan 1/8"

SHEET PLOTTED 6/15/2023 3:42 PM