

Garage Extension For The Ford Family

210 FAIRVIEW ROAD

Palm Beach, FL 33480

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ARCHITECTURE AND DESIGN
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THE PARAMOUNT BUILDING
139 NORTH COUNTY ROAD, SUITE 20-C
PALM BEACH, FLORIDA 33480
T: 561 461 0108
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FL LIC. # AA26003943

BARTHOLEMEWPARTNERS.COM

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INTERIOR DESIGNER # ID6422
ALA # 10425933 NCARB # 87929

Revisions:

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CONSTRUCTION ADMINISTRATION: THE FORDS & ZISKAS ARCHITECTS, LLC
ARCHITECT: BARTHOLEMEW + PARTNERS
LANDSCAPE ARCHITECT: ENVIRONMENT DESIGN GROUP
CIVIL ENGINEER: GRUBER CONSULTING ENGINEERS
STRUCTURAL ENGINEER: ENGINEERING SOLUTIONS, LLC
GENERAL CONTRACTOR: ROGERS GENERAL CONTRACTING
ATTORNEY: KOCHMAN & ZISKA PLC
DATE: 02/09/2023
DRAWN BY: V. Antico
PROJECT ARCHITECT: J. Mejia

Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

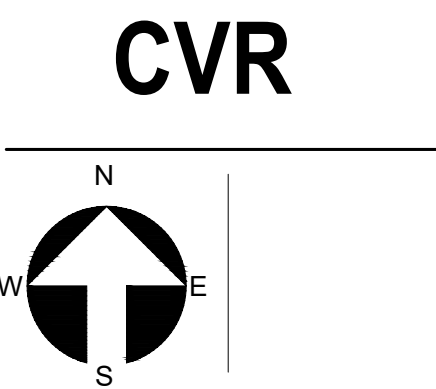
210 FAIRVIEW ROAD

Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

COVER SHEET

SHEET NUMBER



SUBJECT PROPERTY

SHEET INDEX:

- CVR - COVER SHEET
- SUR1.0 - PROPERTY SURVEY
- SUR1.1 - ZONING PLAN & LEGEND
- SUR1.2 - CUBIC CONTENT RATIO DIAGRAM
- SUR2.0 - VARIANCE DIAGRAM
- SP1.0 - VICINITY & LOCATION MAP
- SP1.1 - CONTEXT PHOTOS
- SP1.2 - ADJACENT PROPERTIES PHOTOS
- SP1.3-1.4 - SITE DIAGRAMS
- SP1.5 - STREETSCAPE ELEVATIONS
- SP2.0 - EXISTING SITE PLAN
- SP2.1 - PROPOSED SITE PLAN
- D1.0-D1.2 - DEMOLITION PLANS
- A1.0-1.2 - PROPOSED PLANS
- A2.0-A2.7 - EXISTING & PROPOSED ELEVATIONS
- A3.0 - BUILDING SECTION
- A4.0-A4.1 - ELEVATION DETAILS
- L1.0 - EXISTING CONDITION PLAN
- L1.1 - VEGETATION ACTION PLAN
- L1.2 - CONSTRUCTION STAGING PLAN
- L1.3 - TRUCKS LOGISTICS PLAN
- L2.0 - PREVIOUSLY APPROVED HARDSCAPE IMPROVEMENTS
- L2.1 - CURRENTLY PROPOSED HARDSCAPE IMPROVEMENTS
- L2.2 - SITE DATA CALCULATIONS
- L2.3 - PROPOSED GENERATOR LAYOUT & SCREENING
- L3.0 - PREVIOUSLY APPROVED LANDSCAPE PLAN
- L3.1 - CURRENTLY PROPOSED LANDSCAPE IMPROVEMENTS
- L3.2 - LANDSCAPE SCHEDULE

SCOPE OF WORK:

- EXISTING GARAGE EXTENSION OF 140 SF.
- NEW DRIVEWAY AND APRON
- NEW SITE DRAINAGE
- NEW LANDSCAPE TO MEET REQUIREMENTS

ZONING:

- VARIANCE 1: SEC. 134-893(B)(1)B: A VARIANCE FOR A WEST SIDE YARD SETBACK OF 12 $\frac{1}{2}$ ' IN LIEU OF THE 24' REQUIRED AS PART OF A ONE-STORY GARAGE ADDITION, FOR A LOT OVER 20,000 SQFT. IN THE R-B ZONING DISTRICT.
- VARIANCE 2: SEC. 134-893(B)(5)A: A VARIANCE FOR A NORTH FRONT YARD SETBACK OF 18' IN LIEU OF THE 20' REQUIRED AS PART OF A ONE-STORY GARAGE ADDITION, FOR A BUILDING WITH A 15'+ REAR YARD SETBACK.

ARCOM PRESENTATION SET

05.16.2023

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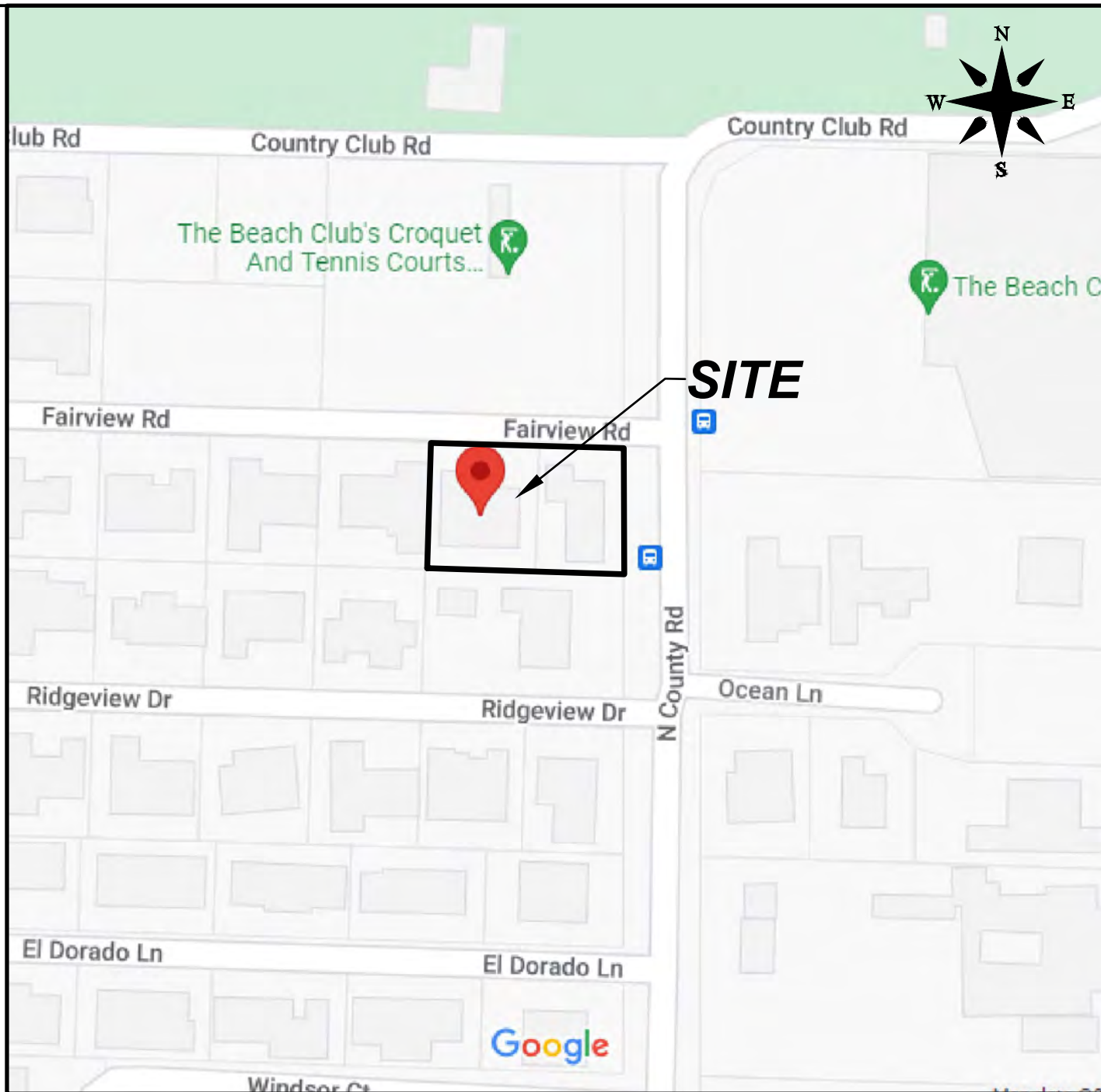
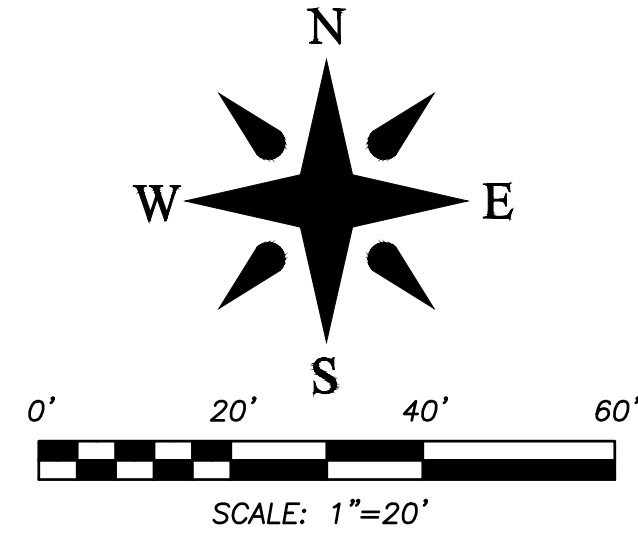
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ARC-23-080
ZON-23-065

Boundary Survey For:
AARON W FORD

LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
ASPH. = ASPHALT
B.F.P. = BACKFLOW PREVENTOR
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.C.D.A. = DOUBLE CHECK DETECTOR ASSEMBLY
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DW. = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT. = EASEMENT
F.D.C. = FIRE DEPARTMENT CONNECTION
F.F. = FINISHED FLOOR
FND. = FOUND
GEN. = GENERATOR
I.D. = INSIDE DIAMETER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
MIN. = MINIMUM
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
O/H. = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S. = OFFSET
P. = PLAT DATUM
(P) = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C.P. = PERMANENT CONTROL POINT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/E. = POOL EQUIPMENT
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PSM. = FLAGSTONES
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R.P.Z. = REDUCED PRESSURE ZONE
R/W. = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D. = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
S/W. = SIDEWALK
T.O.B. = TOP OF BANK
TH. = THRESHOLD
T.O.W. = TOP OF WALL
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C. = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.F. = WOOD FENCE
YD. = YARD DRAIN
Δ = BASELINE
Δ = CENTERLINE
Δ = CENTRAL ANGLE/Delta
■ = CONCRETE MONUMENT FOUND (AS NOTED)
■ = CONCRETE MONUMENT SET (LB #4569)
● = ROD & CAP FOUND (AS NOTED)
○ = 5/8" IRON ROD & CAP SET (LB #4569)
○ = IRON PIPE FOUND (AS NOTED)
○ = IRON ROD FOUND (AS NOTED)
● = NAIL FOUND (AS NOTED)
● = NAIL & DISK FOUND (AS NOTED)
● = MAG NAIL & DISK SET (LB #4569)
● = PROPERTY LINE
● = UTILITY POLE
● = FIRE HYDRANT
● = WATER METER
● = WATER VALVE
● = LIGHT POLE



VICINITY SKETCH
(NOT TO SCALE)

Boundary Survey For:
AARON W FORD

This survey is made specifically and only for the following parties for the purpose of a permit on the surveyed property.

AARON W FORD

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
210 Fairview Rd
Palm Beach, FL 33480

LEGAL DESCRIPTION:
Lots 45, 46, 47, and 48, **MARK RAFALSKY TRACT**, a subdivision of the town of Palm Beach, Florida according to the Plat thereof recorded in the Official of the Clerk of the Circuit court in and for Palm Beach County, Florida in Plat Book 11, Page 51, excepting therefrom the Right-of-Way for Palm Beach Avenue (County Road) as shown on the Right-of-Way Map recorded in the State and County Road Plat Book 1, Page 17, Palm Beach County Records (being the Easterly 31 feet of Lot 45)

FLOOD ZONE:
This property is located in Flood Zone AE (EL 6) according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0581F, dated 10/05/2017.

NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I **HEREBY ATTEST** that the survey shown hereon meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

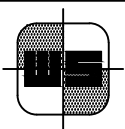
DATE OF LAST FIELD SURVEY: 10/01/2022

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

REVISIONS:

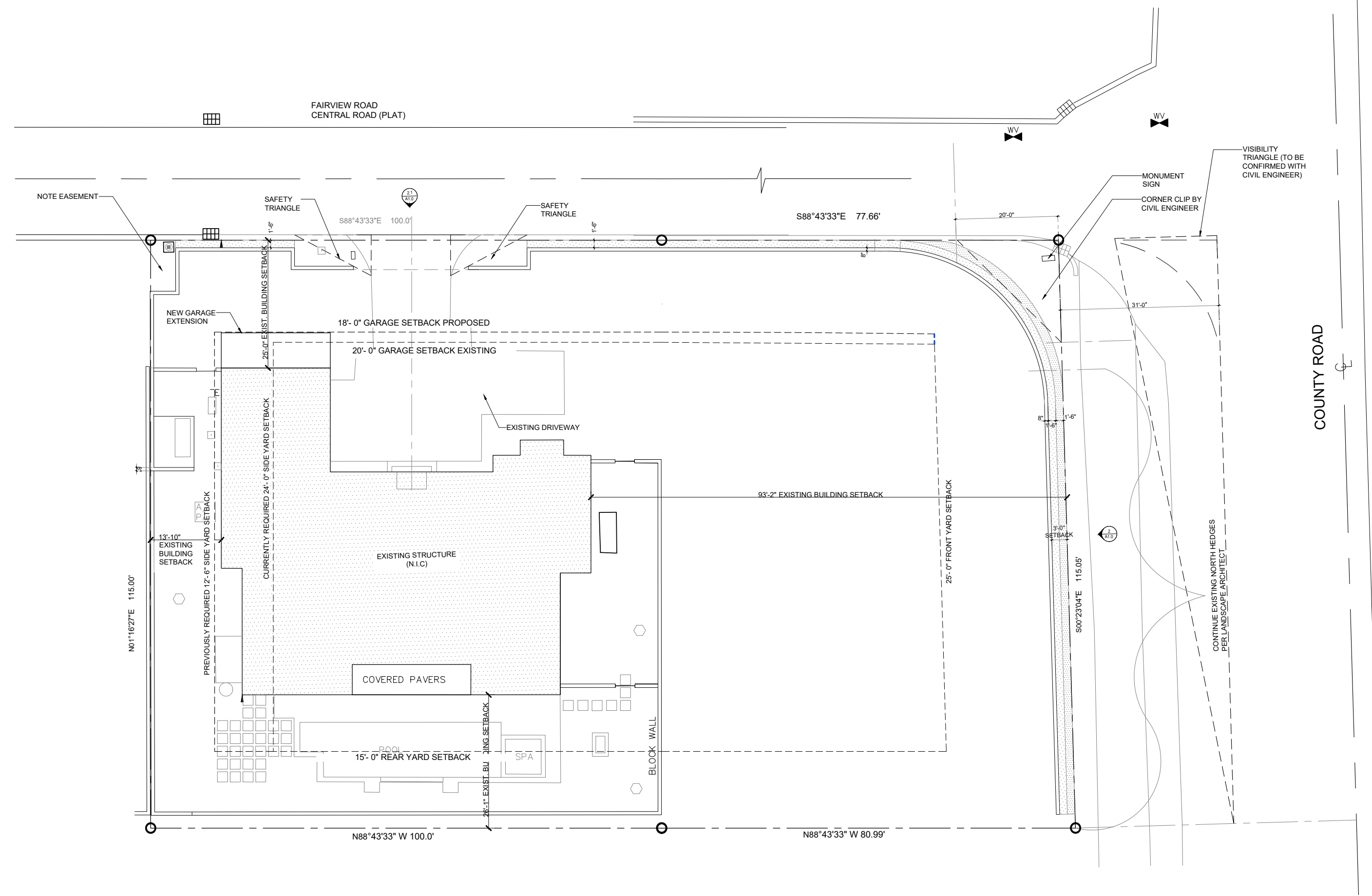
Boundary Survey For:

AARON W FORD

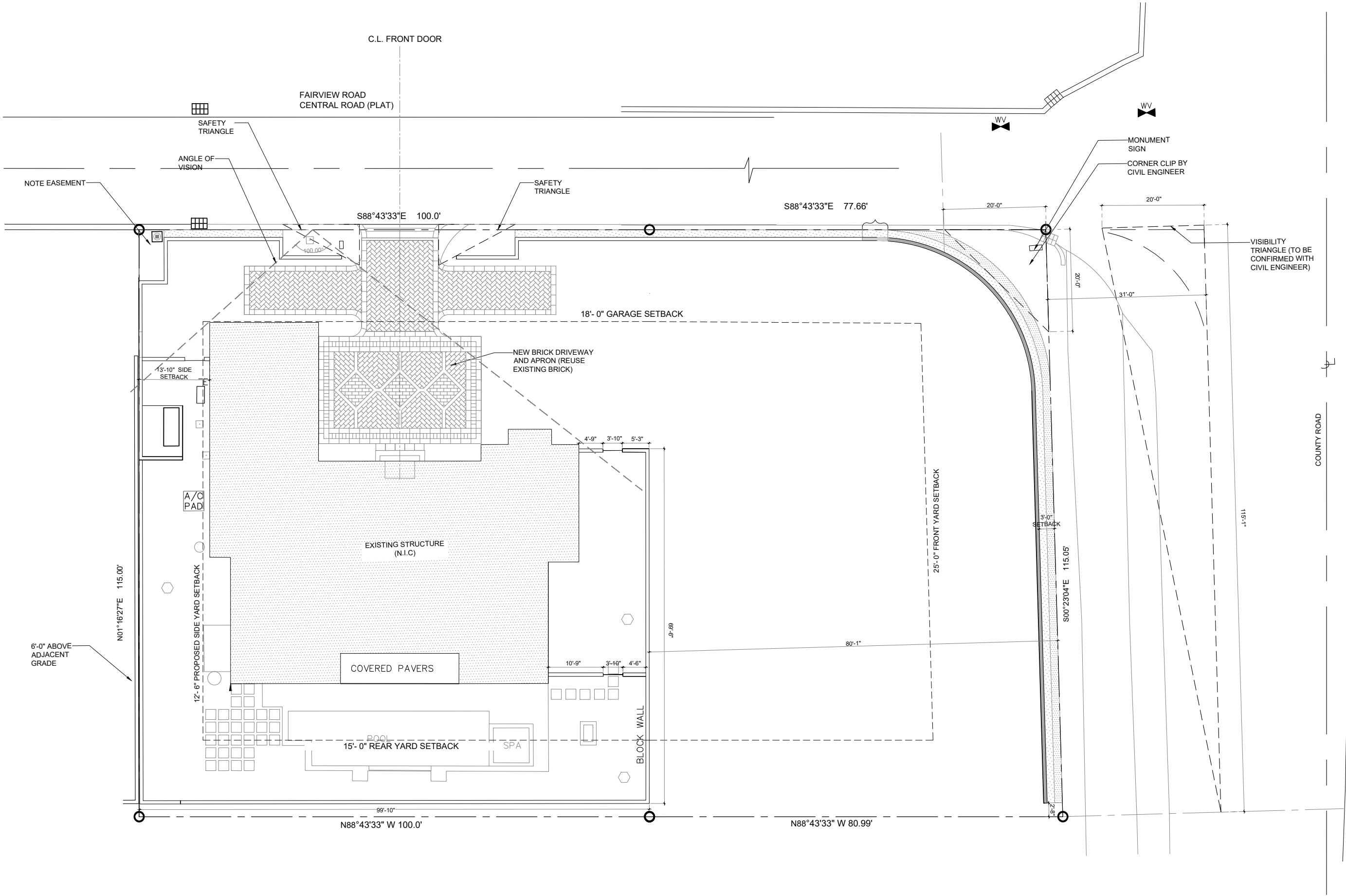


WALLACE SURVEYING
CORP. LICENSED BUSINESS # 4599
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 840-4551

FIELD:	M.D.	JOB No.:	22-1458	F.B.:	PB339 PG. 49-51
OFFICE:	D.R.	DATE:	10/01/2022	DWG. No.:	22-1458-1
C'K'D.:	C.W.	REF.:	22-1458.dwg	SHEET:	1 OF 1



EXISTING SITE PLAN
SCALE: 3/32" = 1'



PROPOSED SITE PLAN
SCALE: 3/32" = 1'



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	210 FAIRVIEW ROAD		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Structure Type:	SINGLE FAMILY RESIDENCE		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	10,000 SF MIN	20,815 SF	N/C
6	Lot Depth	100'	115'- 0"	N/C
7	Lot Width	100'	177.66' 181.0'	N/C
8	Lot Coverage (Sq Ft and %)	30% - 6,244 SF	15.8% - 3,294 SF	16.5% - 3,439 SF
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl., Accessory Structures, etc)	N/A	4,545 SF	4,690 SF
10	Cubic Content Ratio (CCR) (R-B ONLY)	3.89 CCR- 81,301 CF	43,177 CF	44,634 CF
11	*Front Yard Setback (Ft.)	25'-0"	25'- 0"	18'-0"
12	* Side Yard Setback (1st Story) (Ft.)	12'- 6"	13'- 10"	N/C
13	* Side Yard Setback (2nd Story) (Ft.)	15'- 0"	34'- 6"	N/C
14	*Rear Yard Setback (Ft.)	10' 0"	25'-5"	N/C
15	Angle of Vision (Deg.)	100	100	N/C
16	Building Height (Ft.)	22'- 0"	19'- 10"	N/C
17	Overall Building Height (Ft.)	30'- 0"	27'- 0"	N/C
18	Crown of Road (COR) (NAVD)	N/A	2.78 C-O-R (LOW FAIRVIEW ROAD) 4.96 C-O-R (LOW COUNTY ROAD)	N/C
19	Max. Amount of Fill Added to Site (Ft.)	N/A	N/A	N/A
20	Finished Floor Elev. (FFE)(NAVD)	7.0' NAVD	11.1' NAVD	N/C
21	Zero Datum for point of meas. (NAVD)	N/A	N/A	N/C
22	FEMA Flood Zone Designation	N/A	ZONE AE	N/C
23	Base Flood Elevation (BFE)(NAVD)	6'- 0" BFE NAVD	6'- 0" BFE NAVD	N/C
24	Landscape Open Space (LOS) (Sq Ft and %)	50% - 10,407.5 SF	71.1% - 14,809 SF	70.8% 14,755 SF
25	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
26	Front Yard LOS (Sq Ft and %)	40% - 1,776.6 SF	85.8% - 3,813 SF	85.8% - 3,813SF
27	**Native Plant Species %	Please refer to separate landscape legend.		

* Indicate each yard area with cardinal direction (N,S,E,W) If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table If value is not changing, enter N/C

REV BF 20220304

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AIA # 30425933 NCARB # 87929

Revisions:

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Project Manager: J. Mejia

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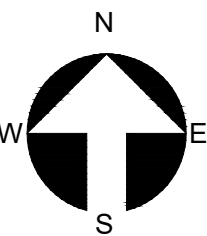
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SHEET NAME

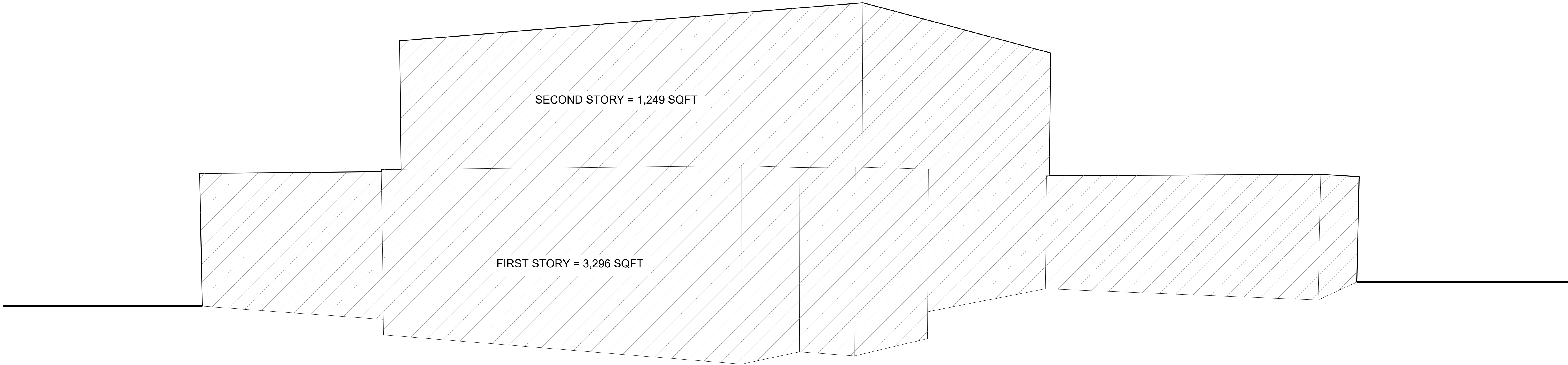
ZONING PLAN

SHEET NUMBER

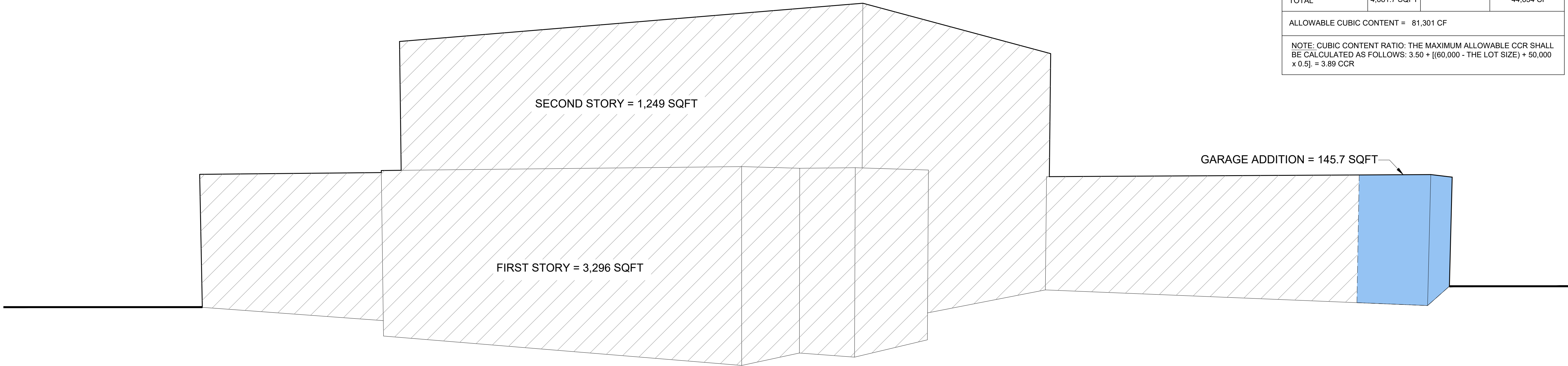
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ARC-23-080
ZON-23-065



EXISTING CUBIC CONTENT			
AREA	SQFT	HEIGHT	CUBIC
FIRST STORY	3,296 SQFT	9.5	33,379 CF
SECOND STORY	1,240 SQFT	9.5	11,241 CF
GARAGE ADDITION	145.7 SQFT	10	1,470 CF
TOTAL	4,681.7 SQFT		44,634 CF
ALLOWABLE CUBIC CONTENT = 81,301 CF			
NOTE: CUBIC CONTENT RATIO: THE MAXIMUM ALLOWABLE CCR SHALL BE CALCULATED AS FOLLOWS: 3.50 + [(60,000 - THE LOT SIZE) + 50,000 x 0.5]. = 3.89 CCR			



PROJECT DATA

LOCATION ADDRESS: 233 VIA LINDA
MUNICIPALITY: PALM BEACH
PARCEL CONTROL NUMBER: 50434310070000050
HOUSE FOOT PRINT: 3,036.94 SF
ACRES: 0.24 ACRE
AREA OF LOT: 10,243 S.F.
PROPERTY USE: 0100 - SINGLE FAMILY
ZONING: R-B - LOW DENSITY RESIDENTIAL (50-PALM BEACH)

MUNICODE PALM BEACH

MINIMUM SETBACKS FOR PRINCIPAL BUILDING (ONE STORY)
FRONT: 25'-0", HOWEVER THE FRONT YARD SETBACK MAY BE REDUCED TO A MINIMUM OF 20 FEET, OR PORTION THEREOF, PROVIDED THE REQUIRED REAR YARD SETBACK FOR THE FIRST STORY IS INCREASED BY THE AMOUNT OF REDUCTION IN THE FRONT YARD.

REAR: 25'-0" MINIMUM 10'-0"
SIDE: 12'-6"

REAR PERGOLA SETBACK: 5'-0"

MAXIMUM OVERALL HEIGHT FOR TWO STORY BUILDING: 25 FEET OVERALL. PROVIDED UNITY OF TITLE DEED RESTRICTION IS FURNISHED PROHIBITING ANY DIVISION OF THE LOT WHICH WOULD LEAVE LESS THAN 20,000 SQUARE FEET

MAXIMUM LOT COVERAGE FOR TWO-STORY BUILDING: 30 PERCENT.

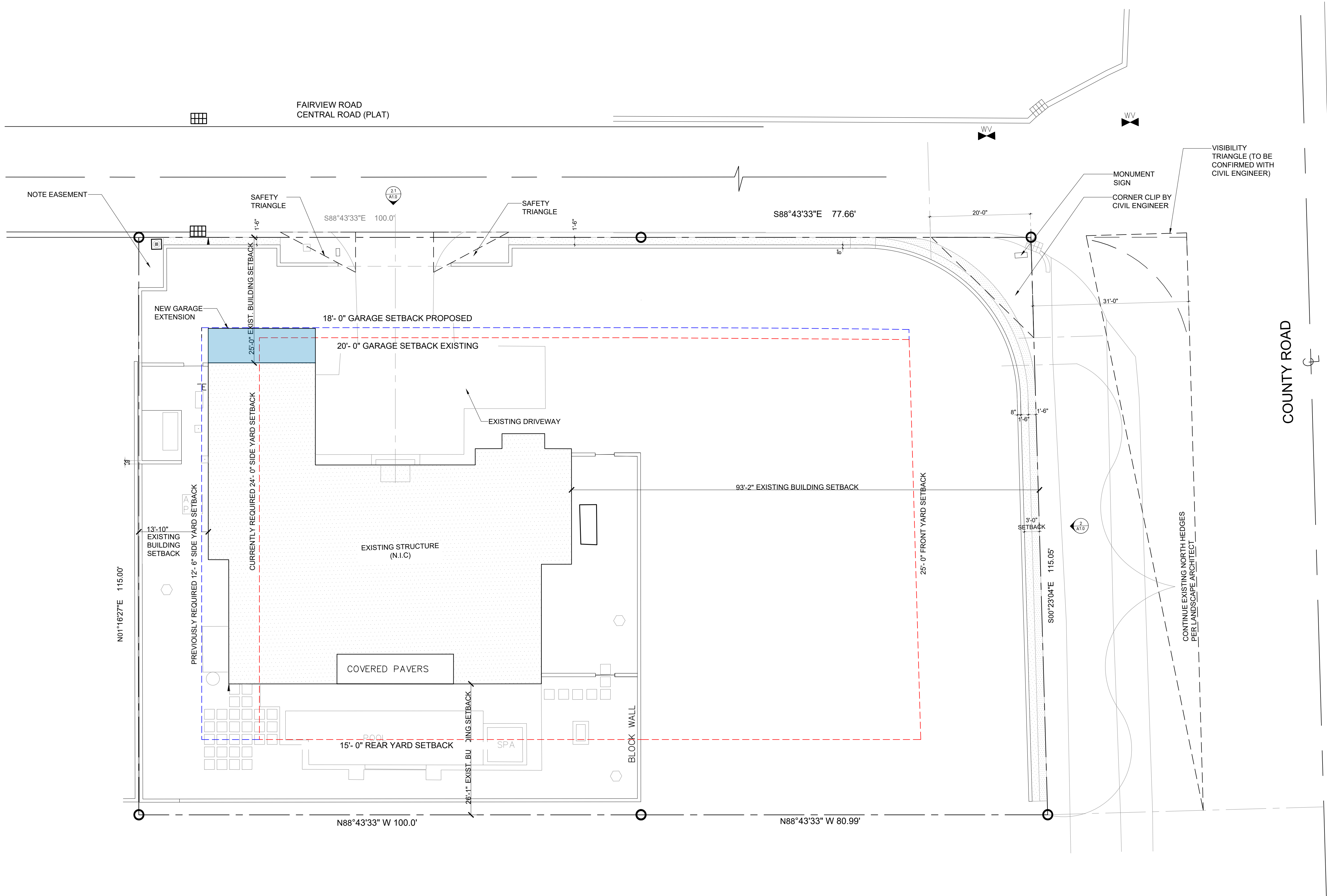
ANGLE OF VISION: THE BUILDING ANGLE OF VISION (FRONT SETBACK) FOR ONE OR TWO-STORY BUILDINGS IS 100 DEGREES.

LANDSCAPE OPEN SPACE: 45 PERCENT, OF WHICH 50 PERCENT OF THAT PERCENTAGE IS REQUIRED TO BE PERIMETER LANDSCAPING WITHIN TEN FEET OF THE PROPERTY LINE. ADDITIONALLY, NOT LESS THAN 40 PERCENT OF THE REQUIRED FRONT YARD MUST BE LANDSCAPED OPEN SPACE IN THE R-B DISTRICT.

CUBIC CONTENT RATIO: THE MAXIMUM ALLOWABLE CCR SHALL BE CALCULATED AS FOLLOWS: $3.50 + [(60,000 - \text{THE LOT SIZE}) \times 0.5]$

MINIMUM SETBACKS FOR PRINCIPAL BUILDING (SECOND STORY)
FRONT: 30'-0", HOWEVER THE FRONT YARD SETBACK MAY BE REDUCED TO A MINIMUM OF 25 FEET, OR PORTION THEREOF, PROVIDED THE REQUIRED REAR YARD SETBACK FOR THE FIRST AND SECOND STORY IS INCREASED BY THE AMOUNT OF REDUCTION IN THE FRONT YARD.

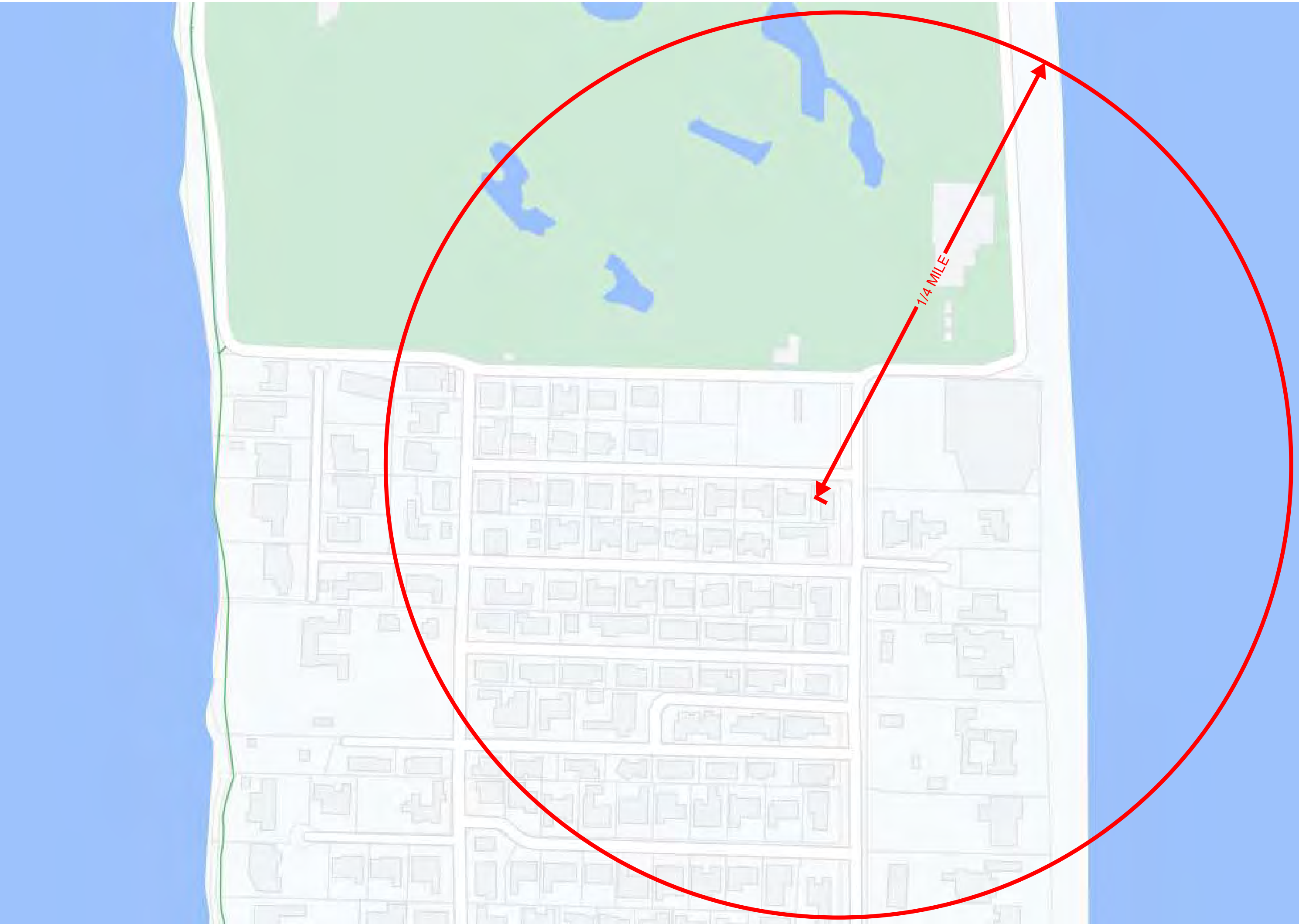
REAR: 25'-0" MINIMUM 15'-0"
SIDE: 15'-0"



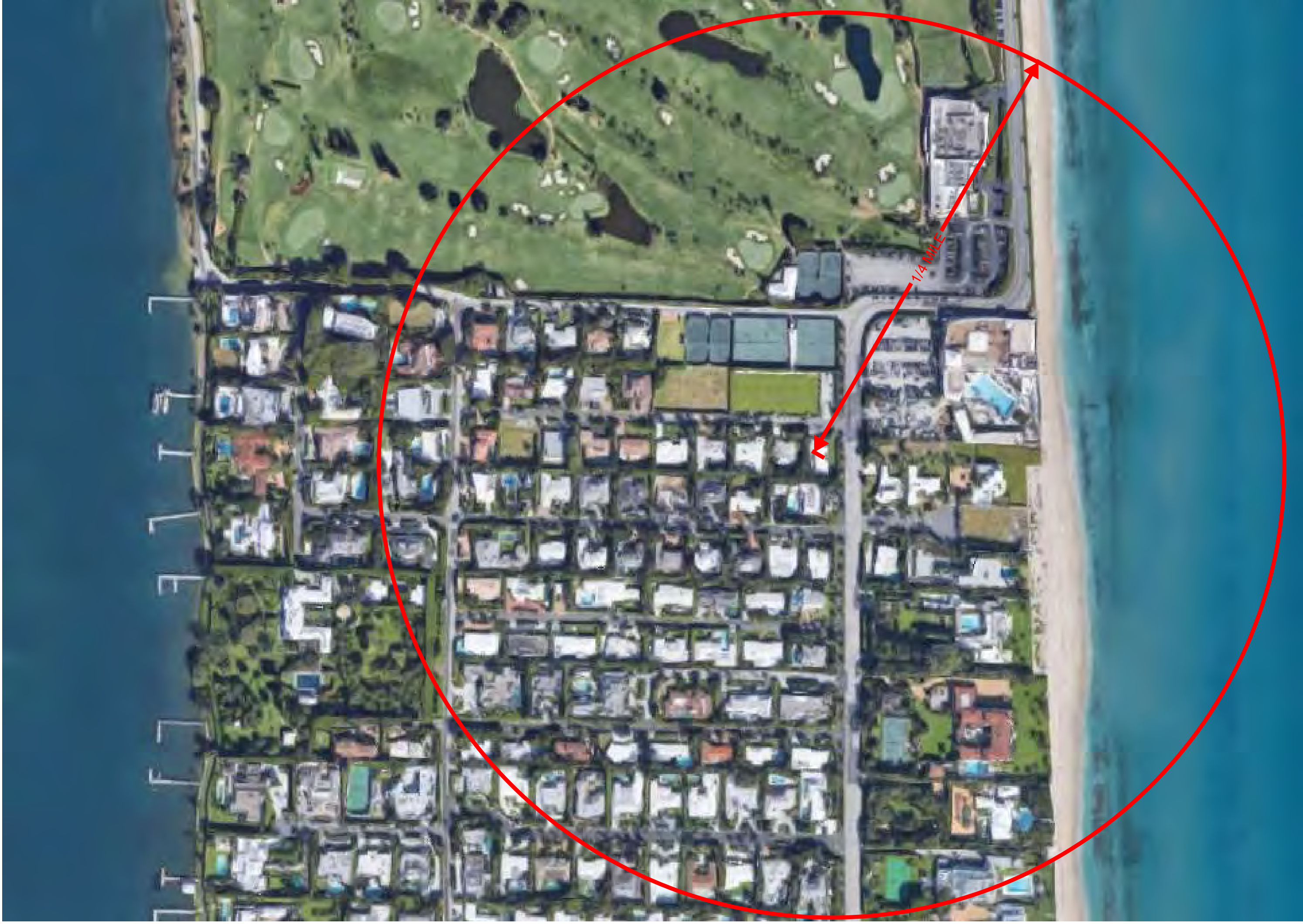
VARIANCE DIAGRAM

SCALE: 3/32" = 1'

ARC-23-080
ZON-23-065



VICINITY LOCATION MAP



LOCATION MAP

ARC-23-080
ZON-23-065

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AIA # 0425933 NCARB # 87929

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Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Manager: J. Meija

210 FAIRVIEW ROAD

Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

VICINITY &
LOCATION MAP

SHEET NUMBER

SP1.0



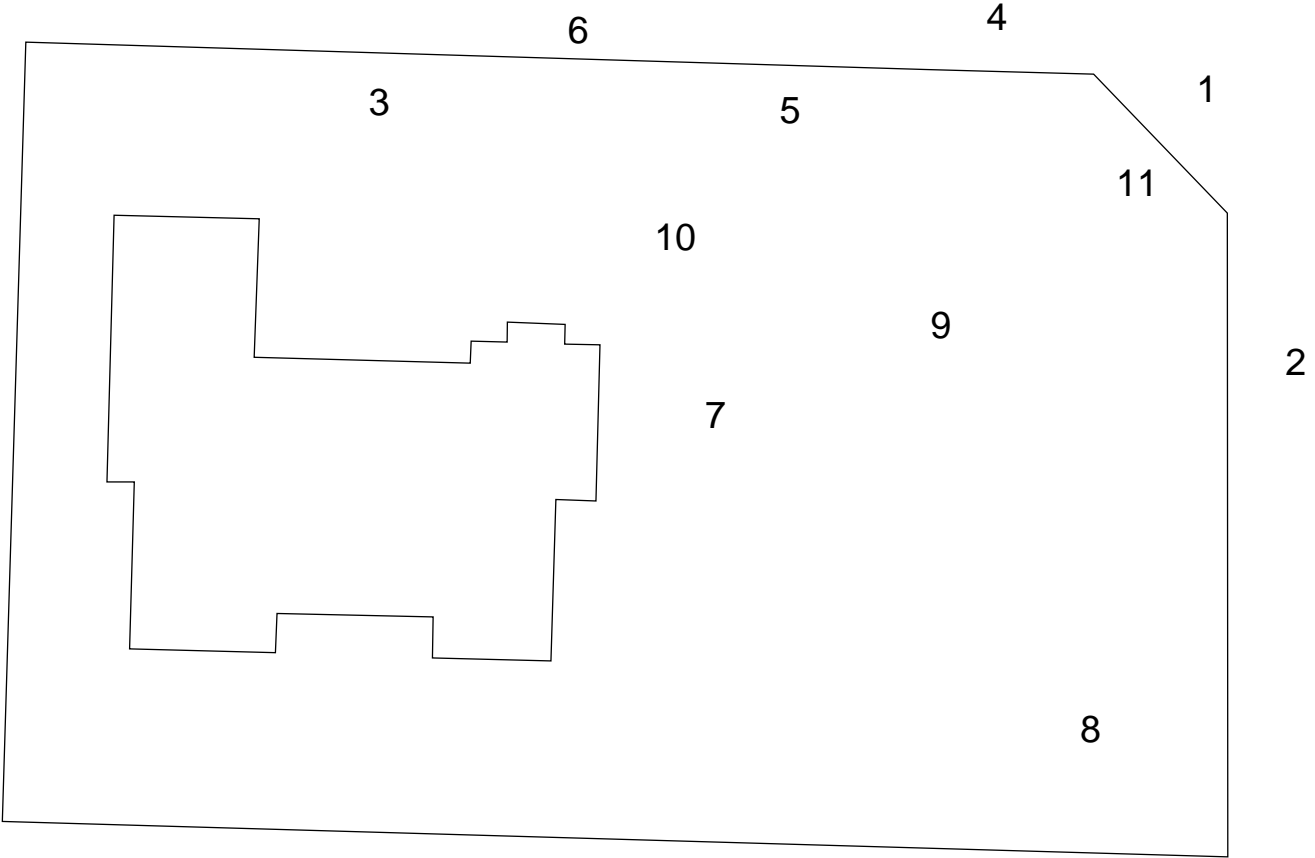
1



2



3



KEY PLAN



4



5



6



7



8



9



10



11

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Date: 02/09/2023
Drawn by: V. Antico
Project Manager: J. Mejia

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Project Address:
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PALM BEACH, FL 33480

SHEET NAME

CONTEXT PHOTOS

SHEET NUMBER

SP1.1

ARC-23-080
ZON-23-065



210 FAIRVIEW ROAD
(PROJECT LOCATION)



220 FAIRVIEW ROAD



226 FAIRVIEW ROAD



236 FAIRVIEW ROAD



246 FAIRVIEW ROAD



256 FAIRVIEW ROAD



258 FAIRVIEW ROAD



228 COUNTRY CLUB ROAD



241 FAIRVIEW ROAD



249 FAIRVIEW ROAD



257 FAIRVIEW ROAD



265 FAIRVIEW ROAD

ARC-23-080
ZON-23-065

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Date: 02/09/2023
Drawn by: V. Antico
Project Manager: J. Mejia

210 FAIRVIEW ROAD

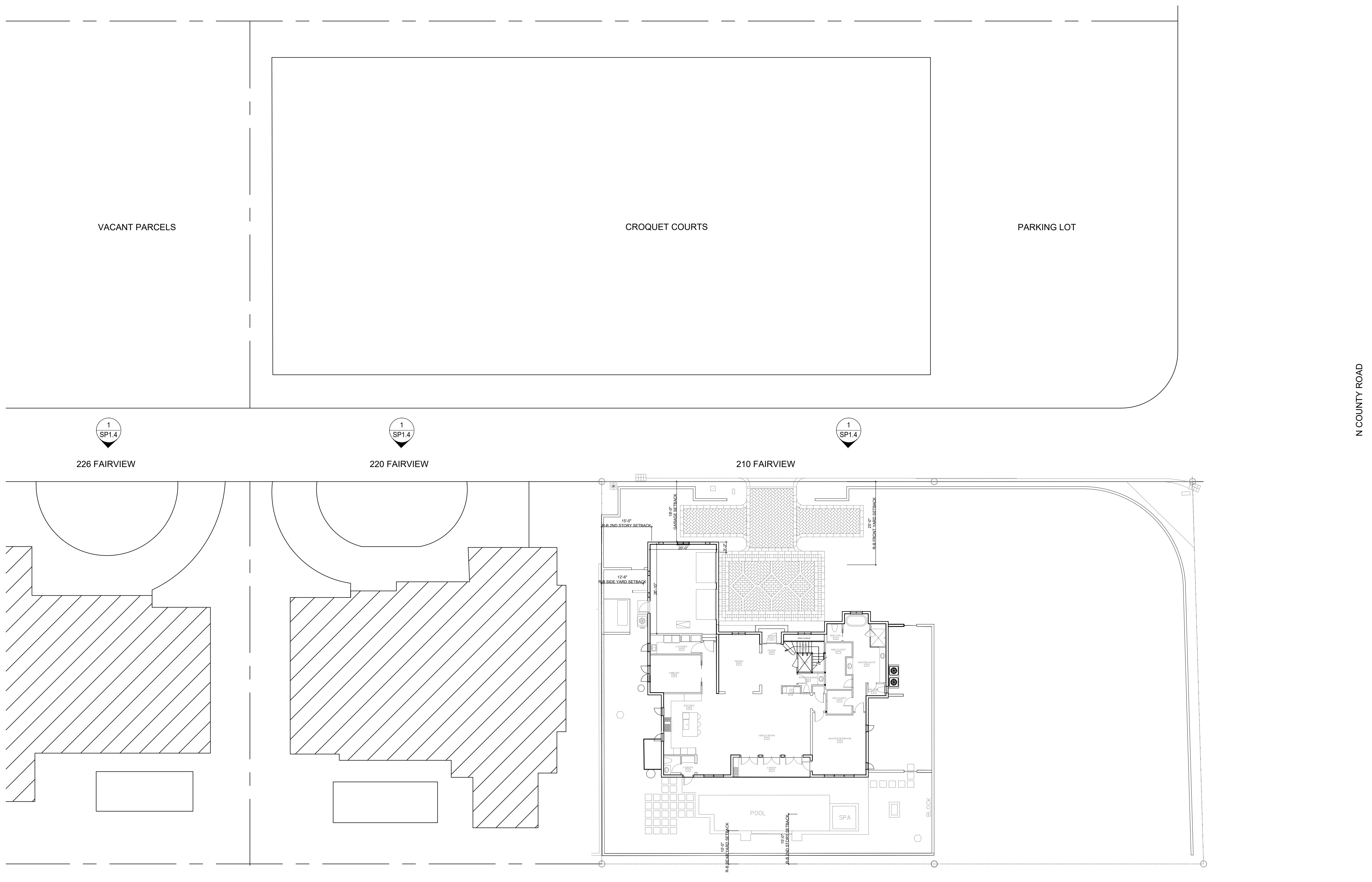
Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NUMBER

ADJACENT PROPERTIES
PHOTOS

SHEET NUMBER

SP1.2



NEIGHBORHOOD ANALYSIS

SCALE: 1/16" = 1'

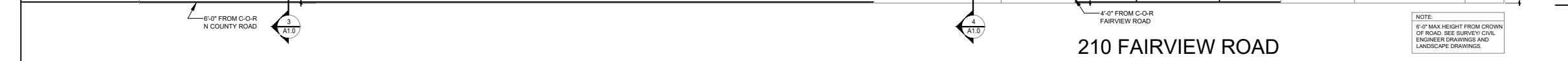
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CROQUET COURTS

PARKING LOT

SITE DIAGRAMS

ARC-23-080
ZON-23-065

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Date: 06/23/2022
Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

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PALM BEACH, FL 33480

SHEET NAME

SITE DIAGRAMS

SHEET NUMBER _____

SP1.4

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Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

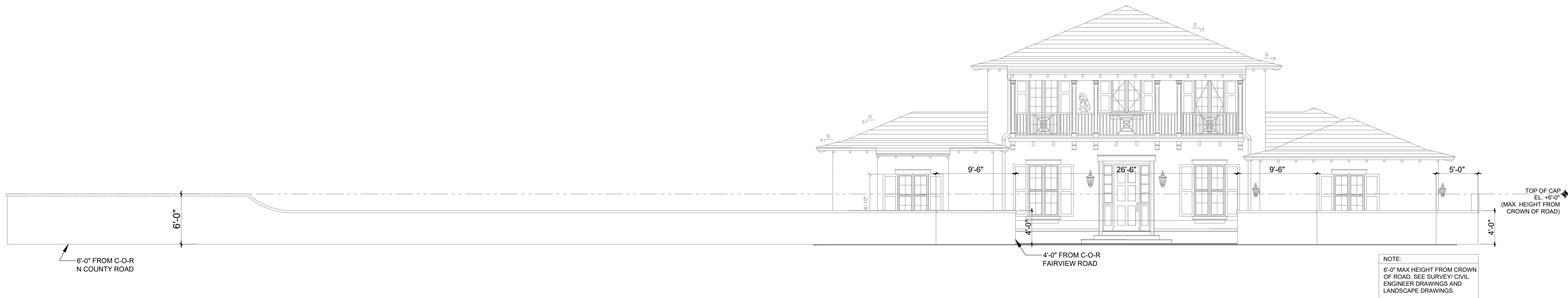
Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

STREETSCAPE
ELEVATIONS

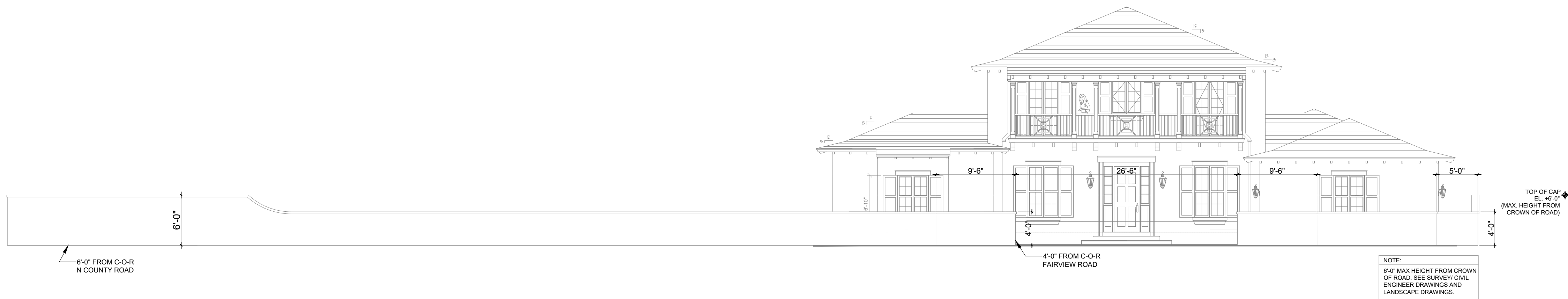
SHEET NUMBER

SP1.5



STREETSCAPE EXISTING ELEVATION

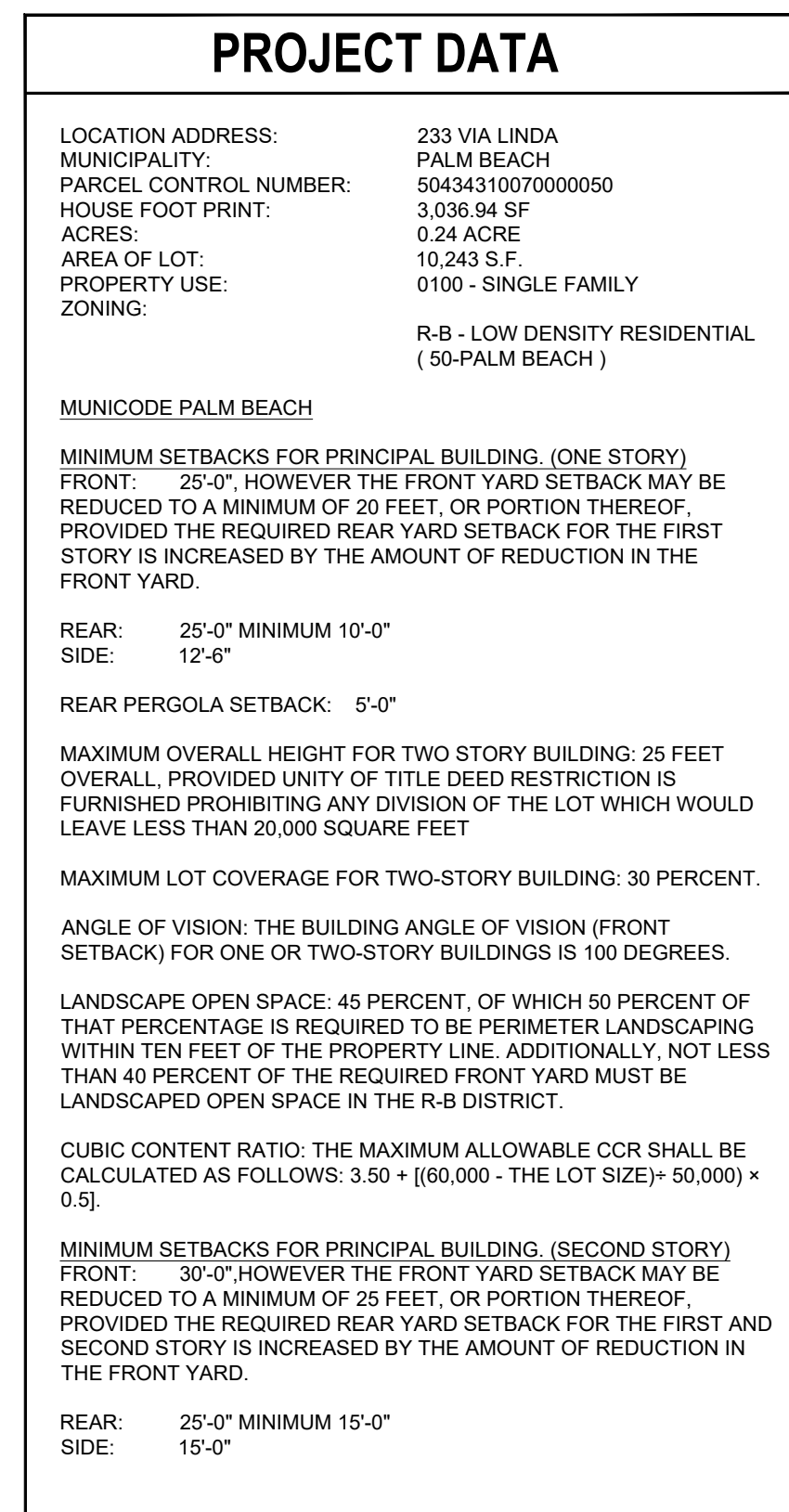
SCALE: 1/8" = 1'



STREETSCAPE PROPOSED ELEVATION

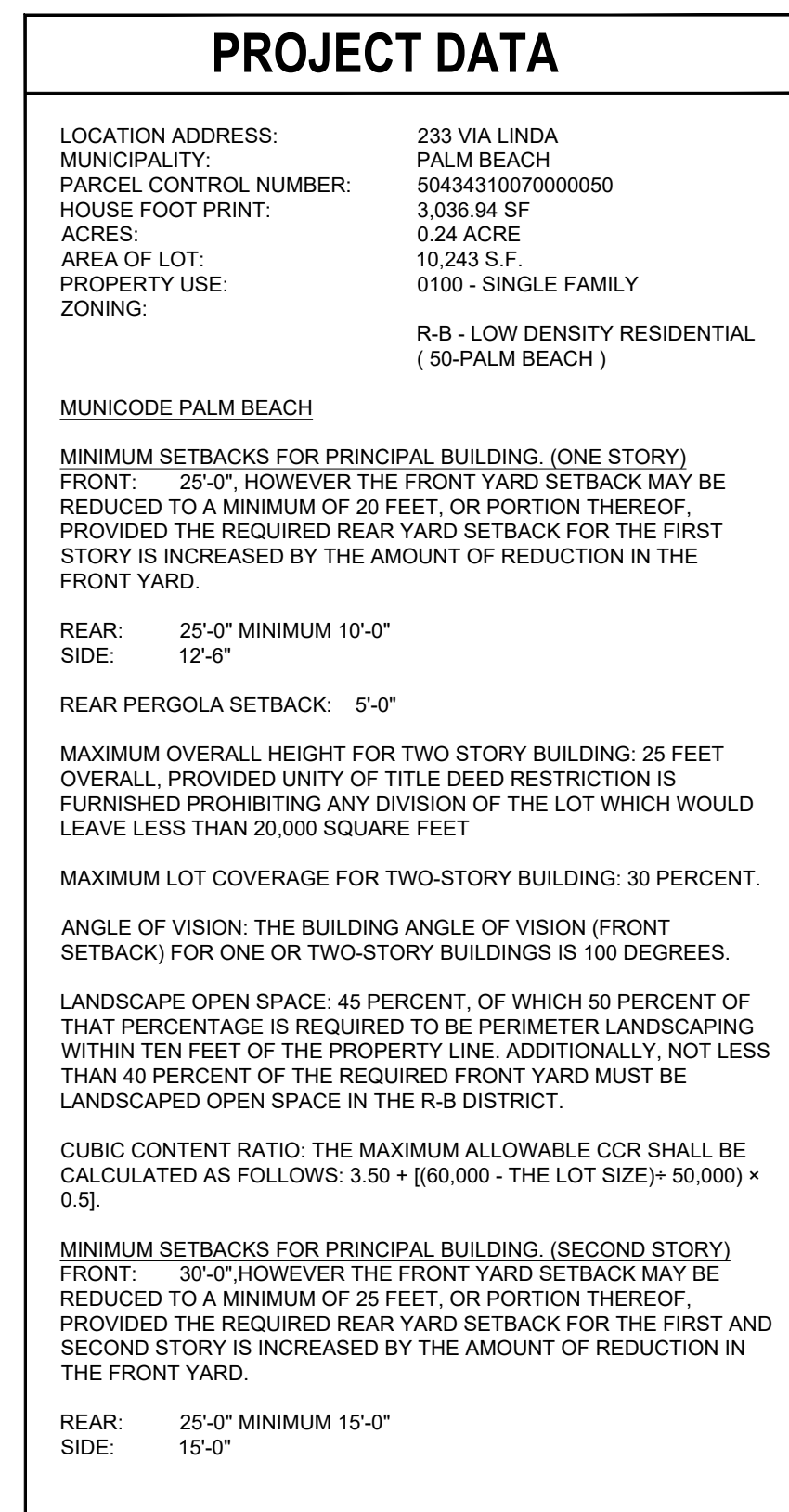
SCALE: 1/8" = 1'

ARC-23-080
ZON-23-065



EXISTING SITE PLAN
SCALE: 3/32" = 1'

ARC-23-080
ZON-23-065



ARC-23-080
ZON-23-065

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project no: 22 05 132

Project NO. 22.03.132
Date: 02/09/2023

Course by: V. Antioch

Project Architect: J. Mejia

10 FAIRVIEW ROAD

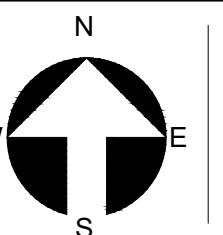
Project Address:
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SHEET NAME

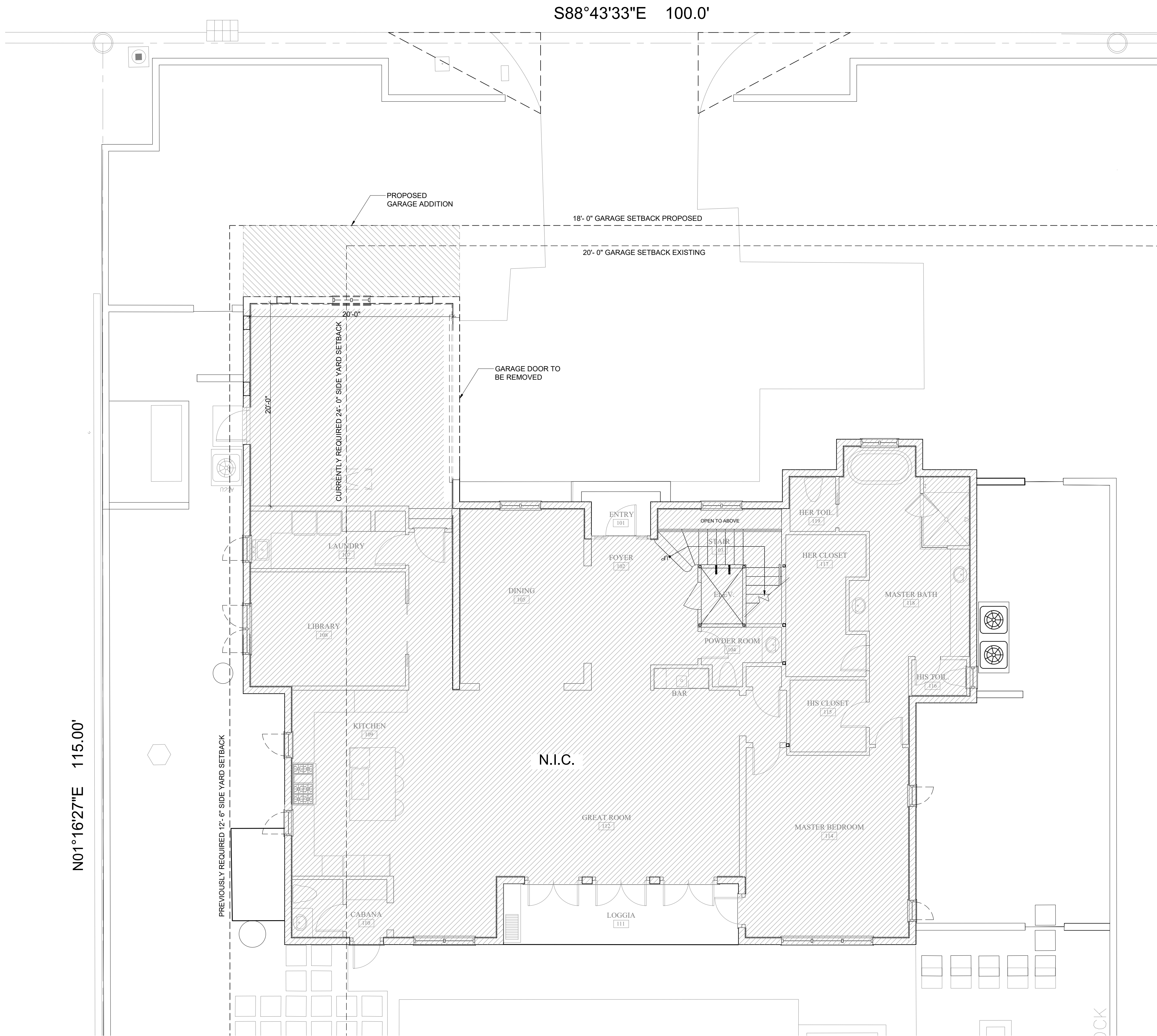
DEMOLITION FLOOR PLAN

SHEET NUMBER

D1.0



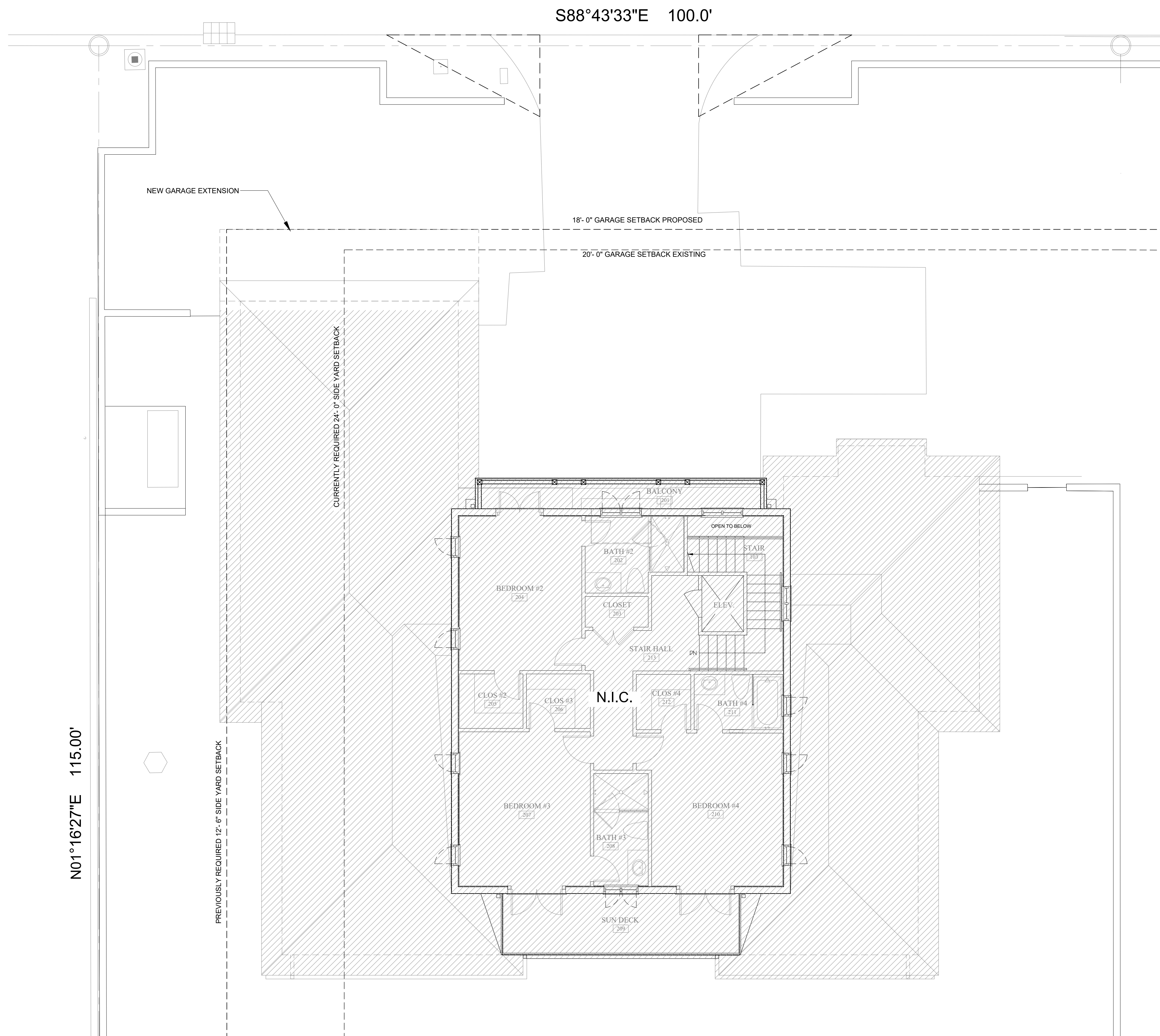
ARC-23-080
ZON-23-065



DEMO FLOOR PLAN

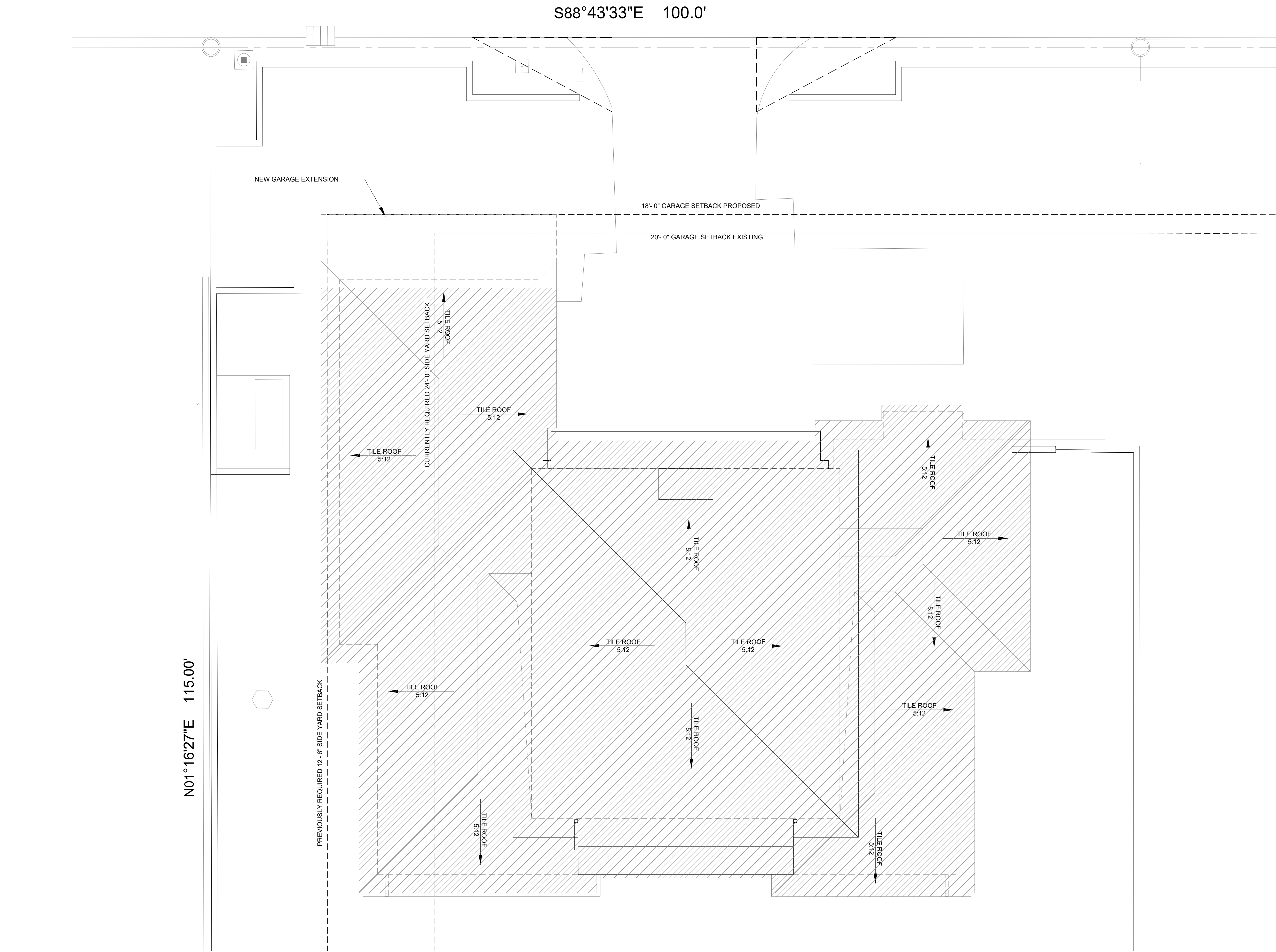
SCALE: 3/16" = 1'

Clock



DEMO SECOND FLOOR PLAN
SCALE: 3/16" = 1'

ARC-23-080
ZON-23-065



DEMO ROOF PLAN
SCALE: 3/32" = 1'

ARC-23-080
ZON-23-065

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Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

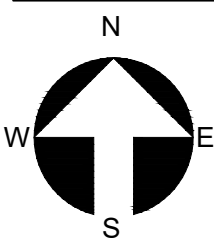
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SHEET NAME

DEMOLITION ROOF PLAN

SHEET NUMBER

D1.2



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Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

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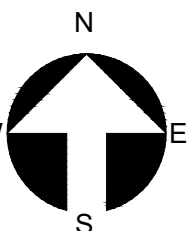
Project Address:
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SHEET NAME

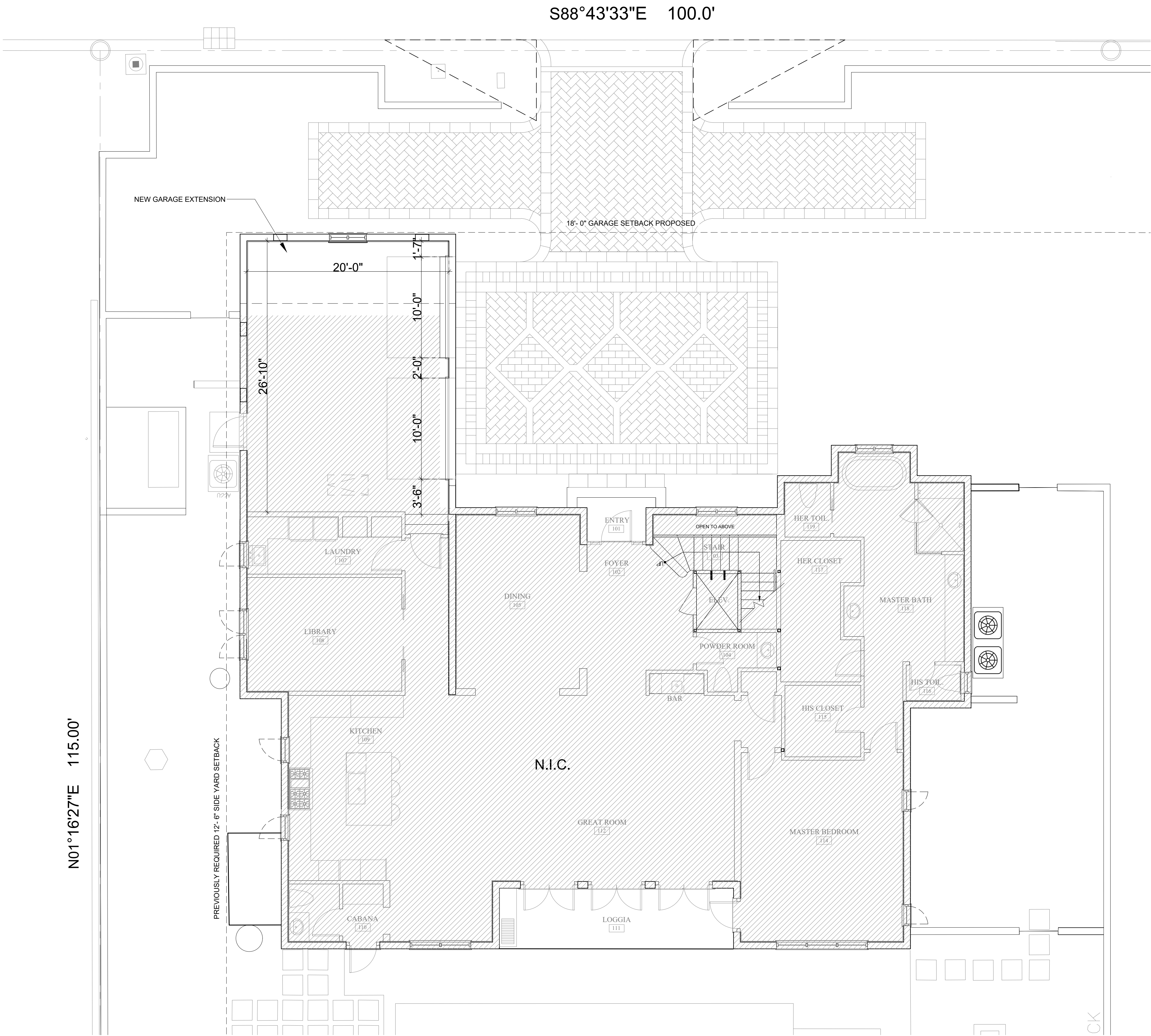
PROPOSED FIRST FLOOR PLAN

SHEET NUMBER

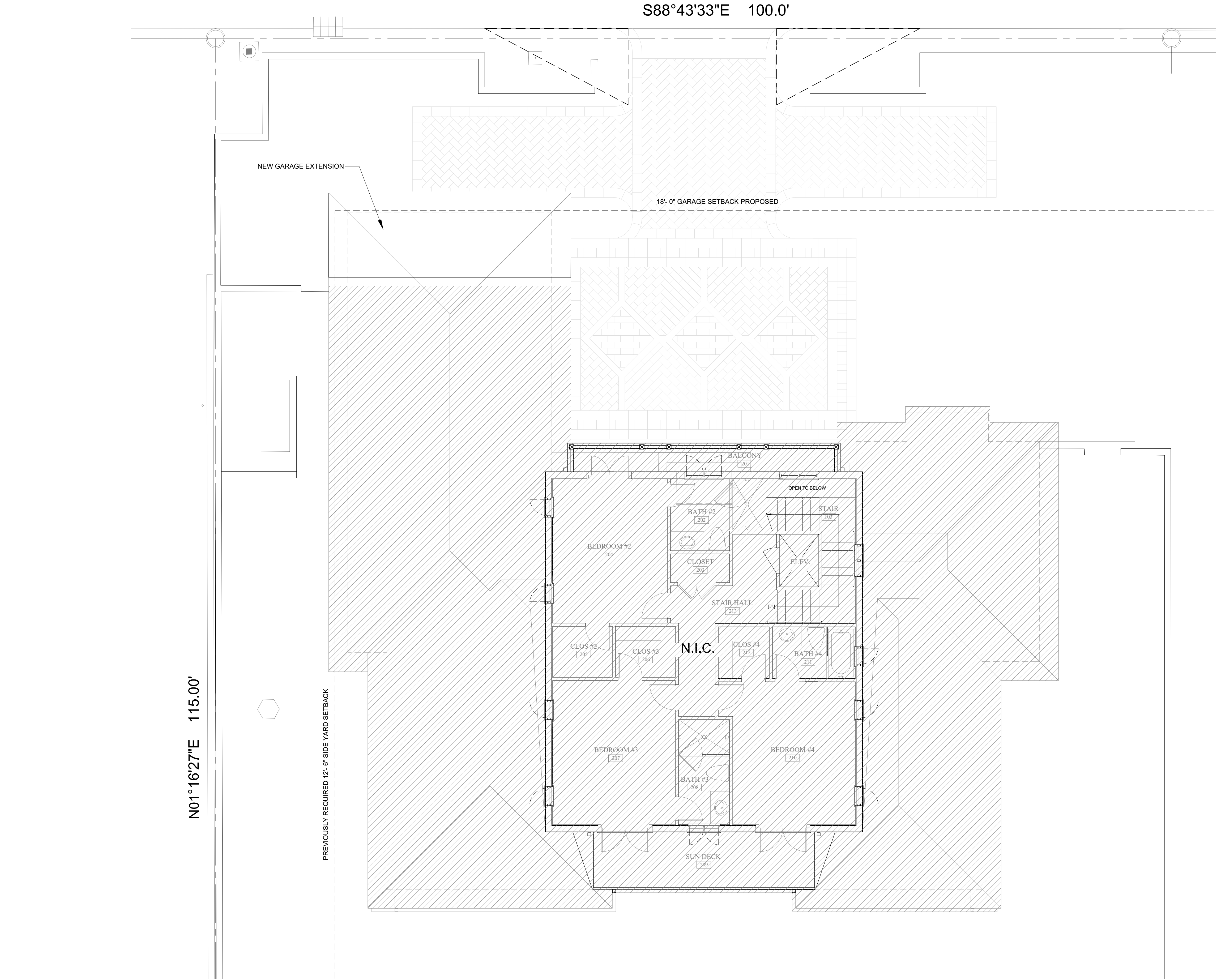
A1.0



ARC-23-080
ZON-23-065



EXISTING SITE PLAN
SCALE: 3/16" = 1'



PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'

ARC-23-080
ZON-23-065

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Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

PROPOSED SECOND
FLOOR PLAN

SHEET NUMBER

A1.1

N
W E
S

Architectural site plan showing a proposed new garage extension and a previously required 12' 6" side yard setback. The plan includes a central building with a complex roof structure, a new garage extension to the left, and a 18'-0" garage setback proposed. The plan also shows a previously required 12' 6" side yard setback. The plan is oriented with North at the top, indicated by a north arrow pointing towards the top-left. The plan includes various annotations such as "NEW GARAGE EXTENSION", "18'-0" GARAGE SETBACK PROPOSED", "PREVIOUSLY REQUIRED 12' 6" SIDE YARD SETBACK", and "TILE ROOF 5:12".

SCALE: 3/32" = 1'

ARC-23-080
ZON-23-065





DEMO NORTH ELEVATION

SCALE: 1/4" = 1'



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'



SCALE: 1/4" = 1'



SCALE: 1/4" = 1'

ARC-23-080
ZON-23-065







EXISTING NORTH COLORED ELEVATION
SCALE: 1/4" = 1'



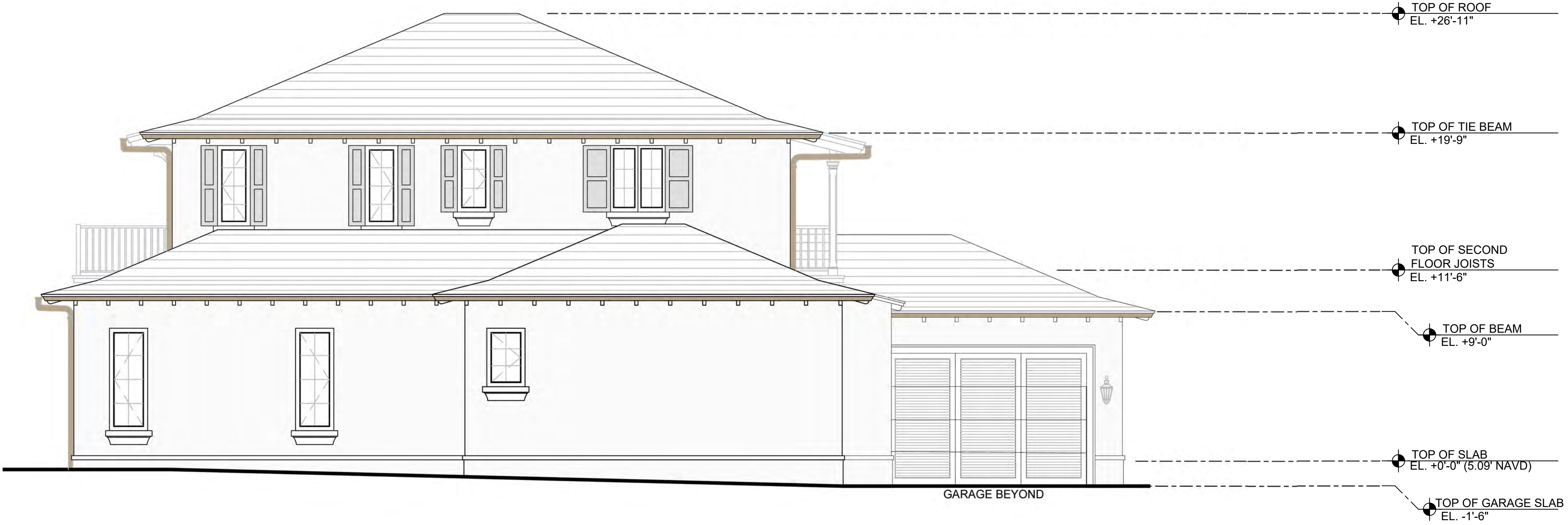
PROPOSED NORTH COLORED ELEVATION
SCALE: 1/4" = 1'



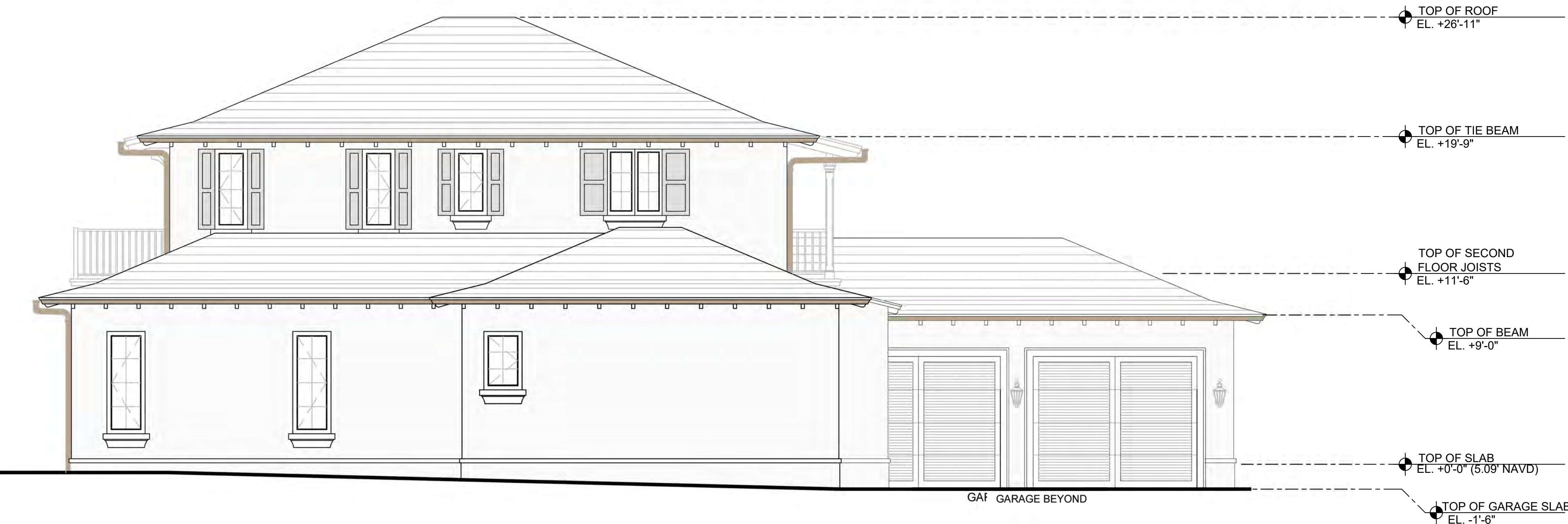
EXISTING SOUTH COLORED ELEVATION
SCALE: 1/4" = 1'



PROPOSED SOUTH COLORED ELEVATION
SCALE: 1/4" = 1'



EXISTING WEST COLORED ELEVATION
SCALE: 1/4" = 1'



PROPOSED WEST COLORED ELEVATION
SCALE: 1/4" = 1'





Revisions:

Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

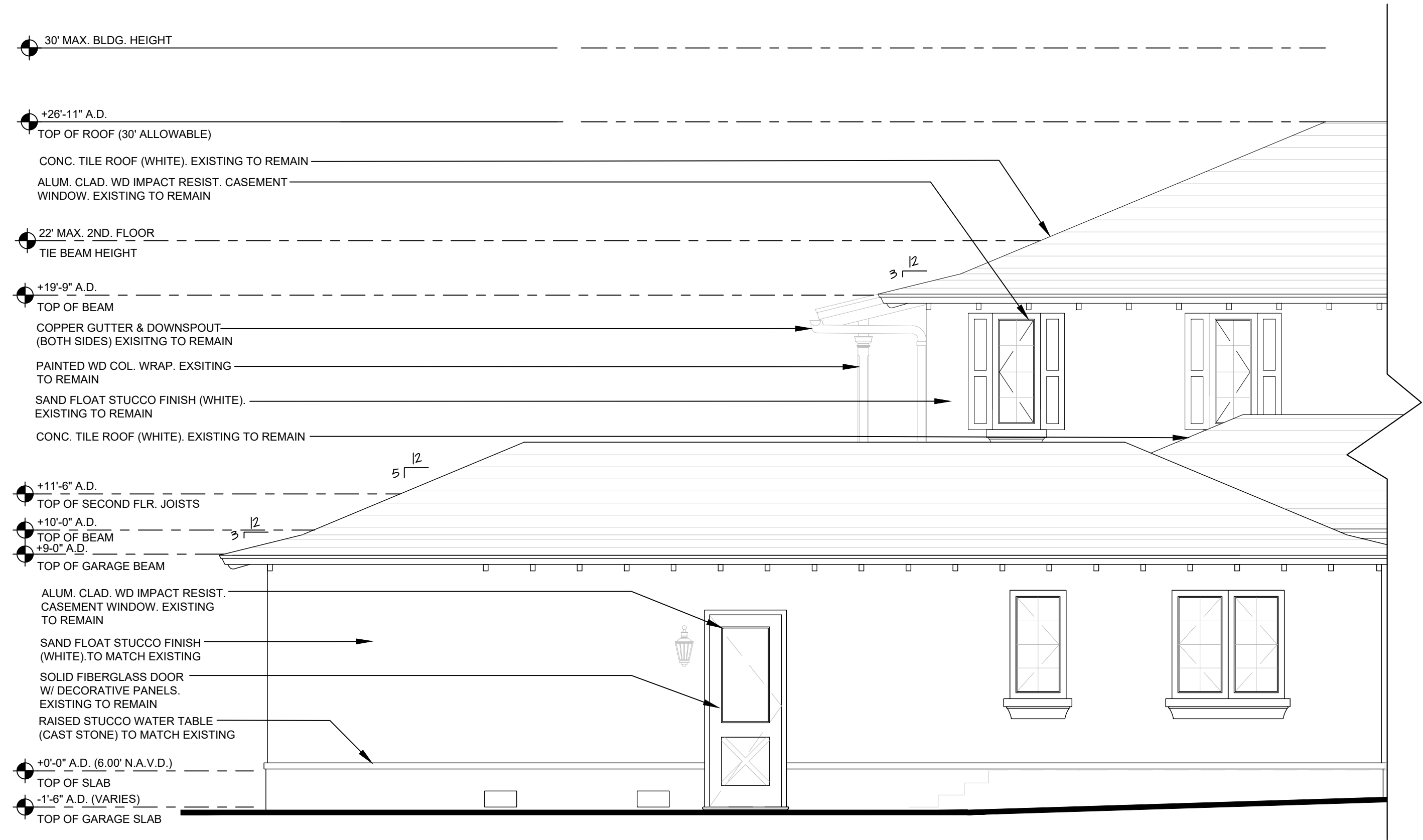
BUILDING SECTION

SHEET NUMBER _____

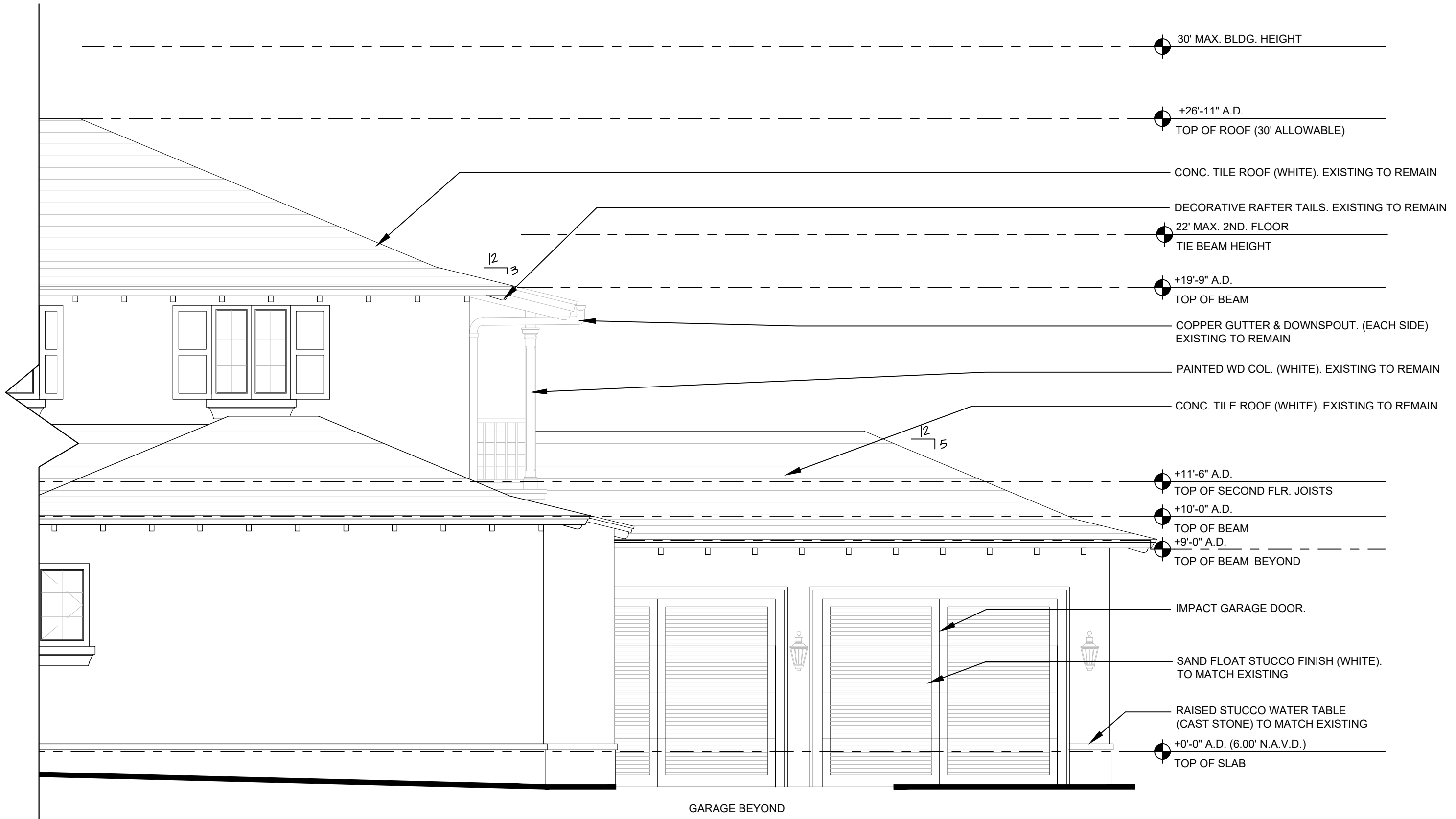
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ARC-23-080
ZON-23-065

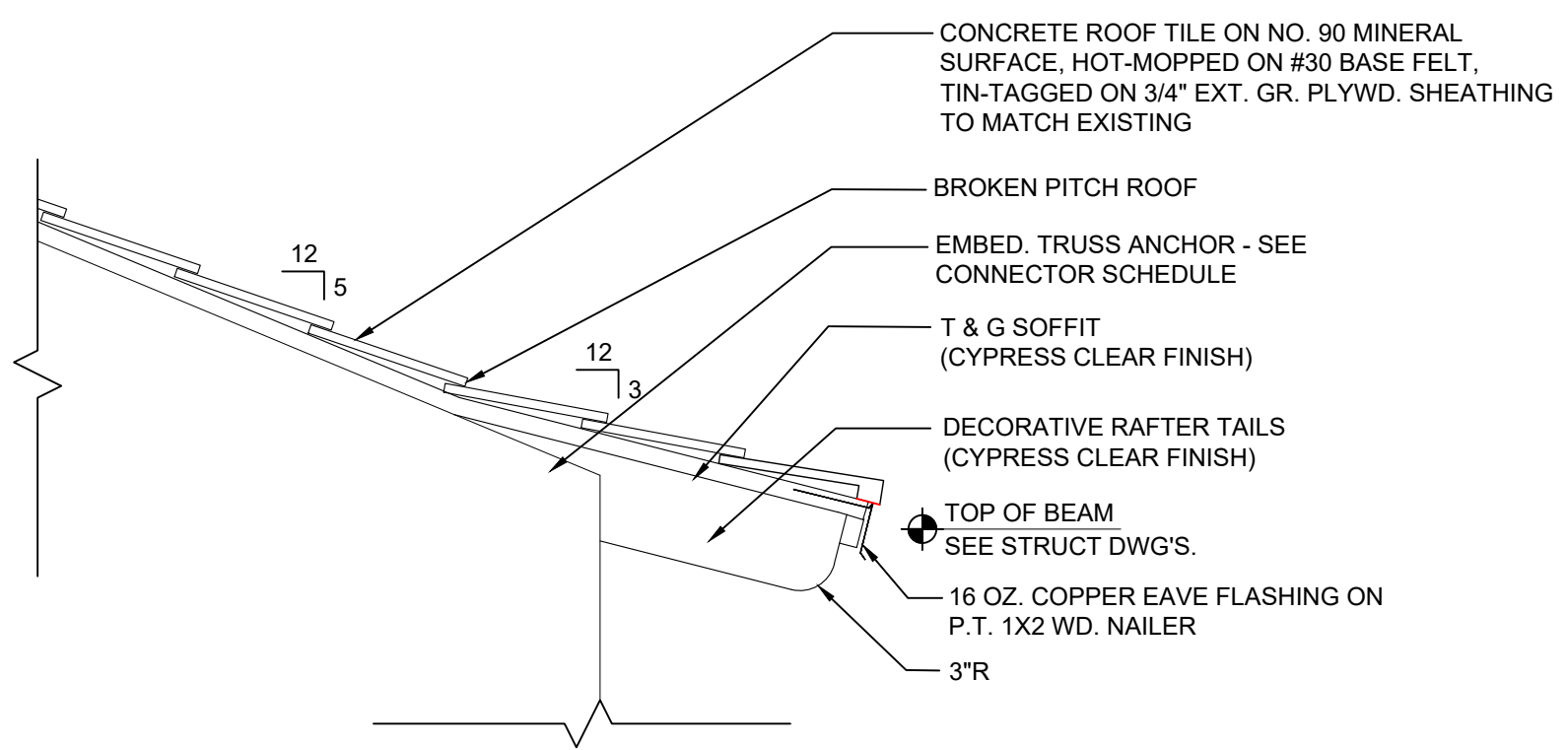




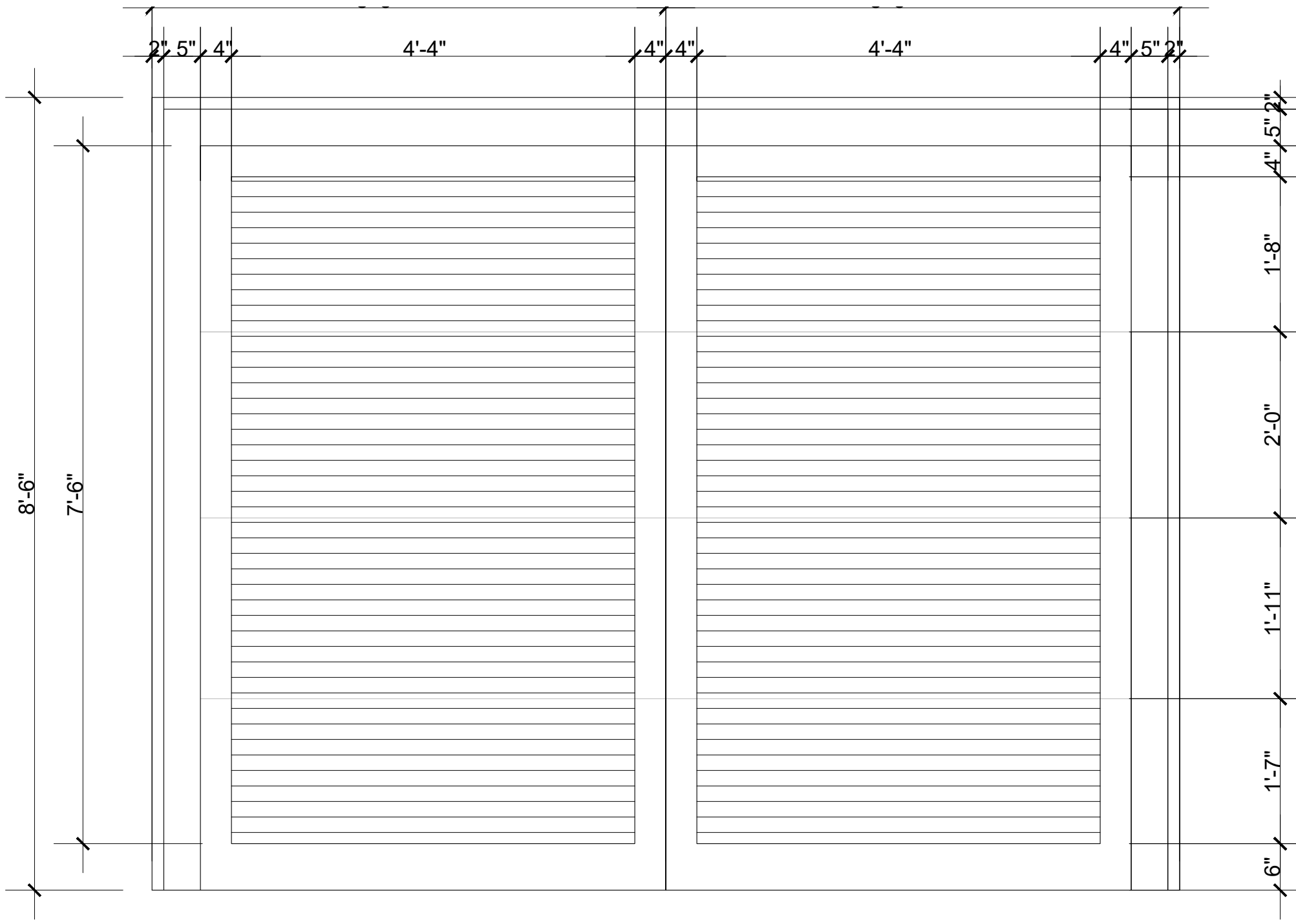
WEST ELEVATION DETAIL
SCALE: 1/4" = 1'



EAST ELEVATION DETAIL
SCALE: 1/4" = 1'



SOFFIT & OUTLOOKERS DETAIL
SCALE: 3/4" = 1'



LOUVERED GARAGE DOOR DETAIL
SCALE: 3/4" = 1'



EXISTING GARAGE
SCALE: N.T.S.



PROPOSED GARAGE ADDITION
SCALE: N.T.S.

ARC-23-080
ZON-23-065

Bartholemew
+ Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PARAMOUNT BUILDING
130 NORTH COUNTY ROAD, SUITE 20-C
PALM BEACH, FLORIDA 33400
T: 561 461 0106
F: 561 461 0106
FL LIC. # AA260003943
BARTHOLEMEEPARTNERS.COM

CONSULTANTS

ENVIRONMENT DESIGN GROUP
LANDSCAPE ARCHITECT
130 N COUNTY ROAD, SUITE 20-B
PALM BEACH, FL 33400
PHONE: 561-652-4600
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM

GRUBER CONSULTING ENGINEERS
CIVIL ENGINEER
2575 MERCER AVE
WEST PALM BEACH, FL 33401
PHONE: 561-313-2641
E-MAIL: CHAD@GRUBERENGINEERS.COM

ENGINEERING SOLUTIONS, LLC
STRUCTURAL ENGINEER
170 NE 2ND ST, P.O. BOX #1737,
BOCA RATON, FL 33433
PHONE: 561-696-5552
E-MAIL: TRENT@ES-ENGINEERS.COM

KYLE B FANT ARCHITECT # AR92655
INTERIOR DESIGNER # ID6422
ALA # 50425933 NCARB # 87929

Revisions:

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B. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
C. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
D. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
E. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
F. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
G. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
H. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
I. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
J. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
K. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
L. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
M. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
N. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
O. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
P. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
Q. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
R. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
S. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
T. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
U. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
V. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
W. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
X. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
Y. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.
Z. BARTHOLEMEE + PARTNERS IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

PRPOSED RENDERINGS

SHEET NUMBER

A5.0



EXISTING FRONT RENDERING
SCALE: N.T.S.



PROPOSED FRONT RENDERING
SCALE: N.T.S.

ARC-23-080
ZON-23-065

Bartholemew + Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PARAMOUNT BUILDING
130 NORTH COUNTY ROAD, SUITE 20-C
PALM BEACH, FLORIDA 33400
T: 561 461 0106
F: 561 461 0106
FL LIC. # AA26003943
BARTHOLEMEWPARTNERS.COM

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LANDSCAPE ARCHITECT
130 N COUNTY ROAD, SUITE 20-B
PALM BEACH, FL 33400
PHONE: 561-452-4600
E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM

GRUBER CONSULTING ENGINEERS
CIVIL ENGINEER
2675 MERCER AVE
WEST PALM BEACH, FL 33401
PHONE: 561-313-2841
E-MAIL: CHAD@GRUBERENGINEERS.COM

ENGINEERING SOLUTIONS, LLC
STRUCTURAL ENGINEER
170 NE 2ND ST, P.O. BOX #1737,
BOCA RATON, FL 33433
PHONE: 561-696-5552
E-MAIL: TRENT@ES-ENGINEERS.COM

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # ID6422
ALA # 0425933 NCARB # 57629

Revisions:

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Project no: 22.05.132
Date: 02/09/2023
Drawn by: V. Antico
Project Architect: J. Mejia

210 FAIRVIEW ROAD

Project Address:
210 FAIRVIEW ROAD
PALM BEACH, FL 33480

SHEET NAME

PRPOSED RENDERINGS

SHEET NUMBER

A5.0

48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.

SUNSHINE AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
office@gruberengineers.com

Project Information				
Project No.	2017-0015	Issue Date	02/12/2017	Scale
Scale	1"8" = 1'-0"	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading & Drainage Plan For:

Proposed Renovation

Palm Beach, Florida

210 Fairview Road

Revisions

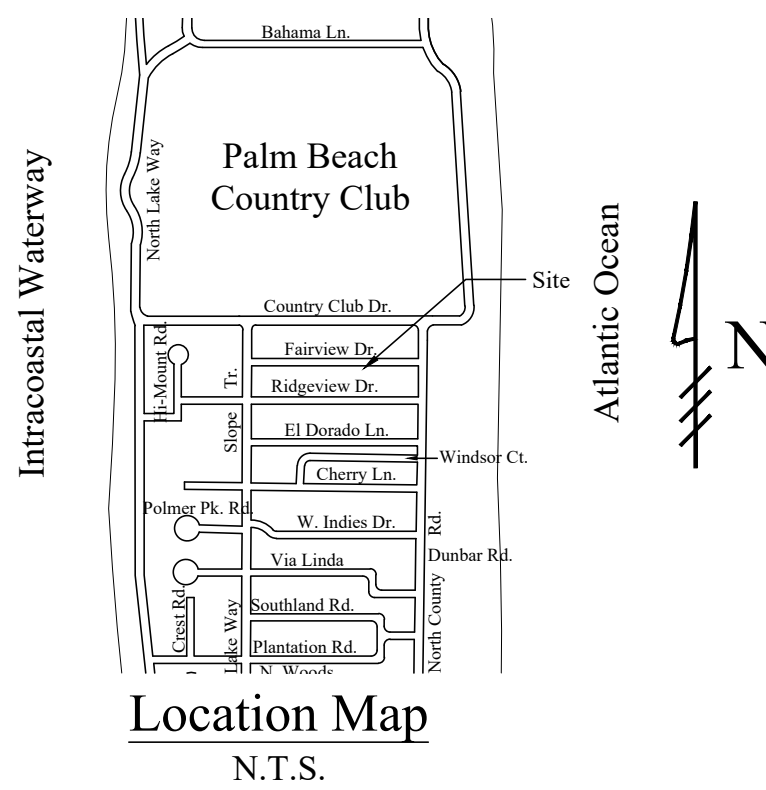
1	03/06/2017	
2	11/27/2017	
3	12/14/2017	
4	01/09/2018	
5	03/07/2019	
6	06/20/2020	
7	01/19/2021	
8	05/16/2023	
9		
10		

Chad M. Gruber

FL P.E. No. 57466

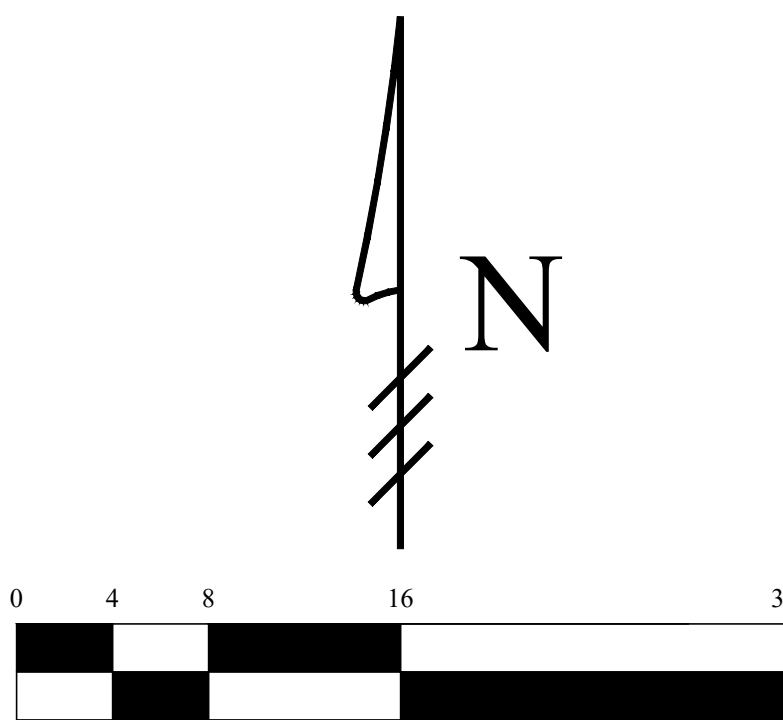
Sheet No.

C-1



Legend

- 5.7 +
6.00
- EXISTING ELEVATION PER
PM SURVEYING (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN
WITH BAFFLE



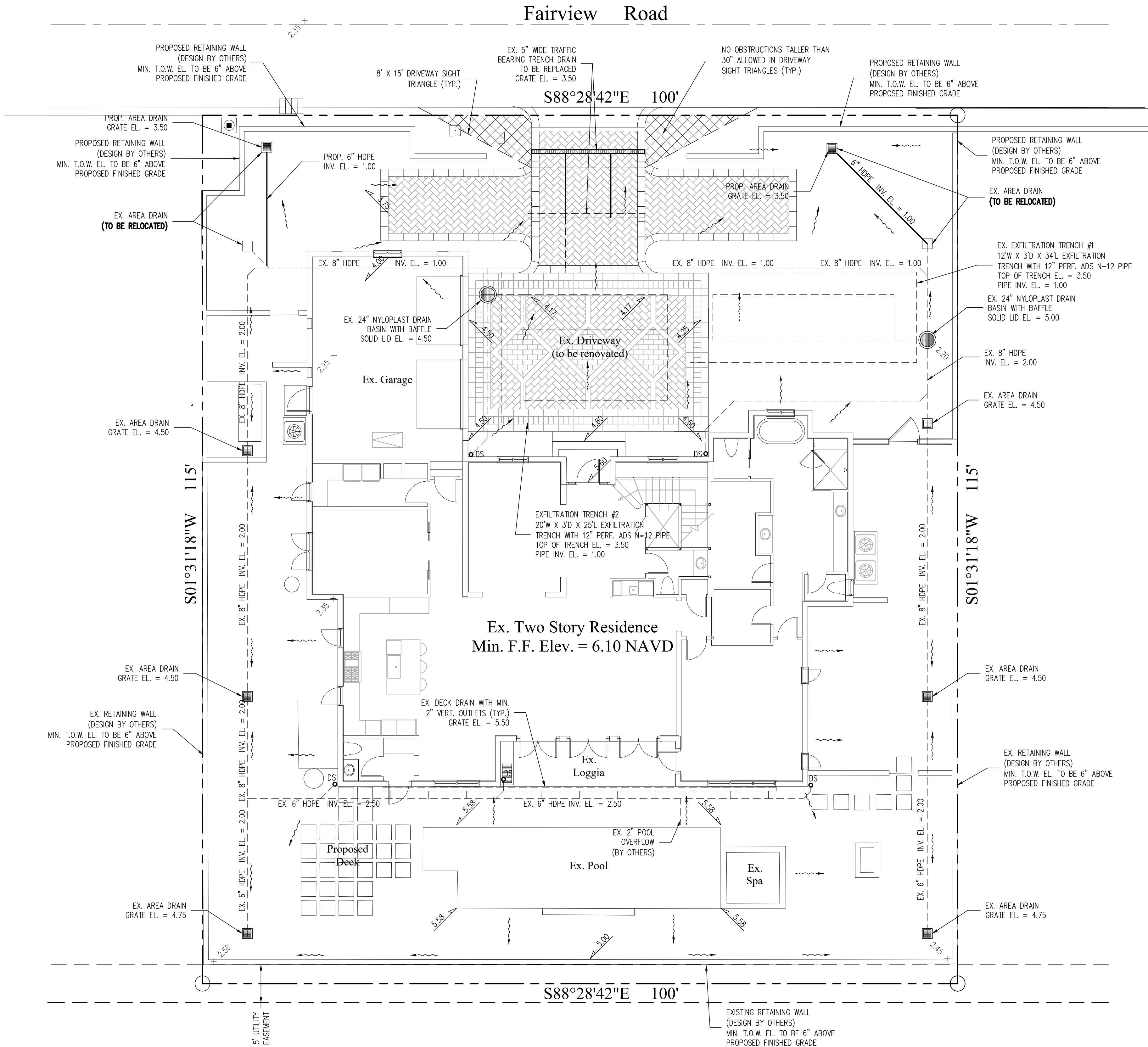
Scale: 1/8" = 1'-0"

- 1 03/06/17 UPDATE PLAN BACKGROUND; REVISE
PROPOSED GRADING AND DRAINAGE;
REVISE CALCULATIONS
- 2 11/27/17 UPDATE PLAN FOR BUILDING PERMIT
SUBMITTAL
- 3 12/14/17 REVISE ELEVATION DATUM TO
NAVD-88; REVISE PROPOSED
GRADING AND DRAINAGE TO ADDRESS
TOWN OF PALM BEACH COMMENTS
- 4 01/09/18 REVISE PERIMETER WALLS TO BE
NEW RETAINING WALLS
- 5 03/07/19 UPDATE PLAN WITH AS-BUILT
DRAINAGE CONFIGURATION
- 6 06/20/20 UPDATE PLAN BACKGROUND; REVISE
PROPOSED GRADING AND DRAINAGE;
REVISE CALCULATIONS
- 7 01/19/21 UPDATE PLAN BACKGROUND; REVISE
PROPOSED GRADING AND DRAINAGE;
REVISE CALCULATIONS
- 8 05/16/23 UPDATE PLAN BACKGROUND; REVISE
PROPOSED GRADING AND DRAINAGE

Plan Background from Hardscape Plan by
Environment Design Group Received 4/27/23

ARC-23-_____

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STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 11,500 sq.ft.

Drainage Area Impervious Surface
(ex. residence, pool, renovated driveway, deck) = 6,247 sq.ft.

Drainage Area Pervious Surface = 5,253 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q=CiA)

where:

C = 1.0 (impervious surface)

C = 0.2 (pervious surface)

i = 2 in/hr

Impervious Surface Runoff Volume:

1.0 x 2 in/hr x 6,247 sq.ft. x 1 ft./12 in. = 1,042 cu.ft.

Pervious Runoff Volume:

0.2 x 2 in/hr x 5,253 sq.ft. x 1 ft./12 in. = 176 cu.ft.

Total Volume to be Retained = 1,218 cu.ft.

C. EXISTING EXFILTRATION TRENCH SIZING

Exfiltration Trench #1

L	=	Total Length of Trench Provided	=	34	ft
W	=	Trench Width	=	12	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	2.00	ft
DU	=	Un-Saturated Trench Depth	=	2.00	ft
DS	=	Saturated Trench Depth	=	1.00	ft
V	=	Volume Treated	=	609	cu.ft.

Exfiltration Trench #2

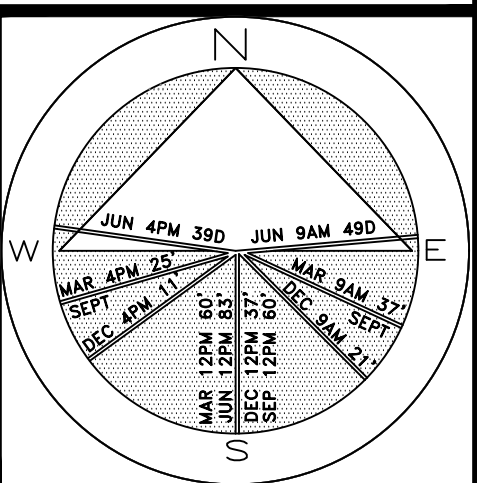
L	=	Total Length of Trench Provided	=	25	ft
W	=	Trench Width	=	20	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	2.00	ft
DU	=	Un-Saturated Trench Depth	=	2.00	ft
DS	=	Saturated Trench Depth	=	1.00	ft
V	=	Volume Treated	=	722	cu.ft.

Total Volume Retained in Exfiltration Trenches = 1,331 cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Contractor to investigate condition of existing sewer service prior to building permit submittal. If existing service is cast iron or in poor condition, service will be replaced to main per Town of Palm Beach standards.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Video inspection of storm drainage system required prior to installation of sod.

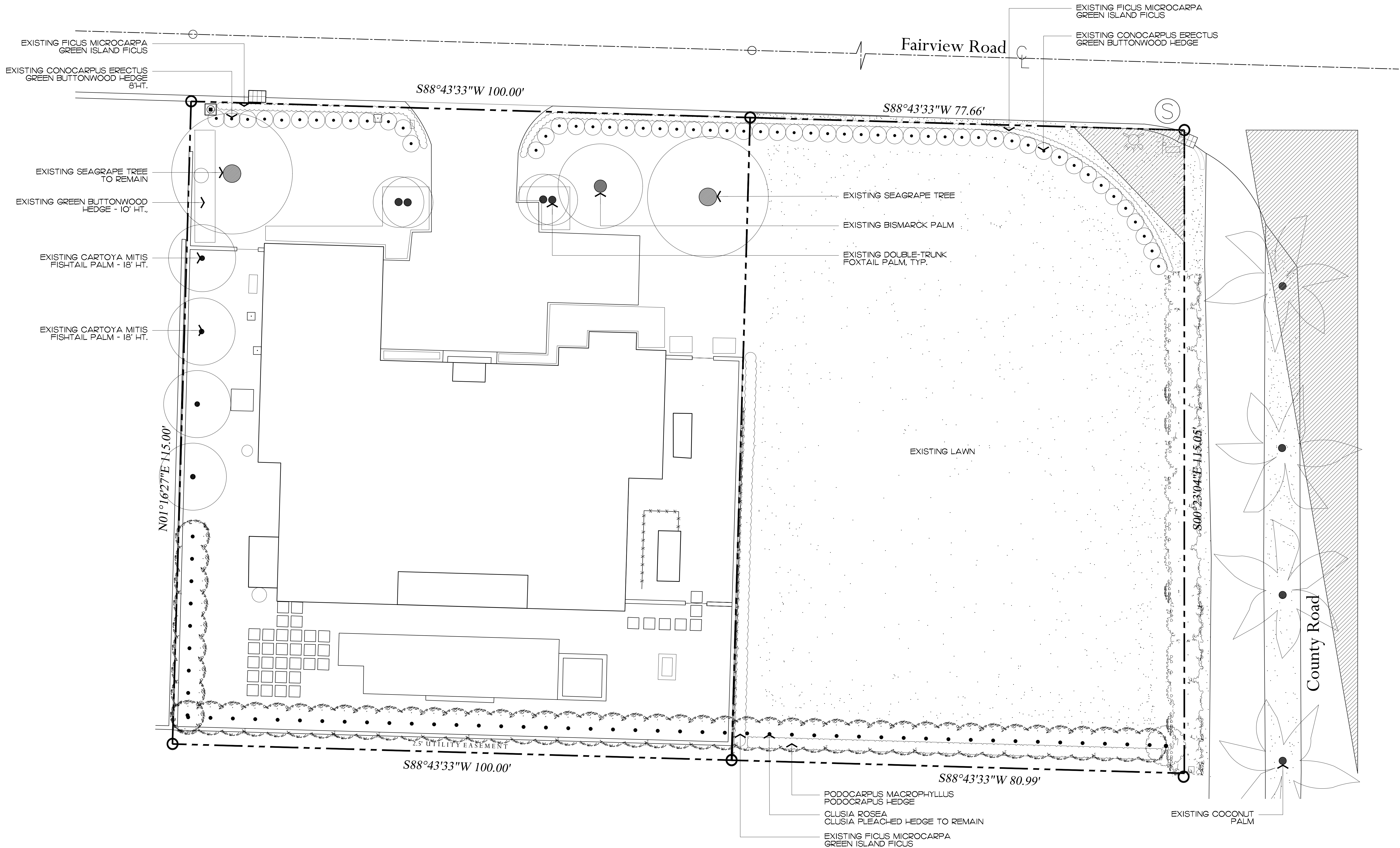
Private Residence
210 Fairview Rd
Palm Beach



JOB NUMBER: # 22168.00 LA
DRAWN BY: Jean Twomey
DATE: 02.27.2023

SHEET L1.0

64 sq. ft.
AREA IN SQ. FT.



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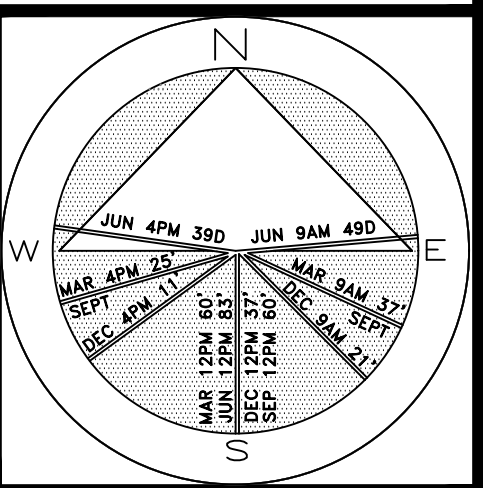
48 HOURS BEFORE DIGGING
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1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Existing Conditions Plan

SCALE IN FEET 0' 8' 16' 24'

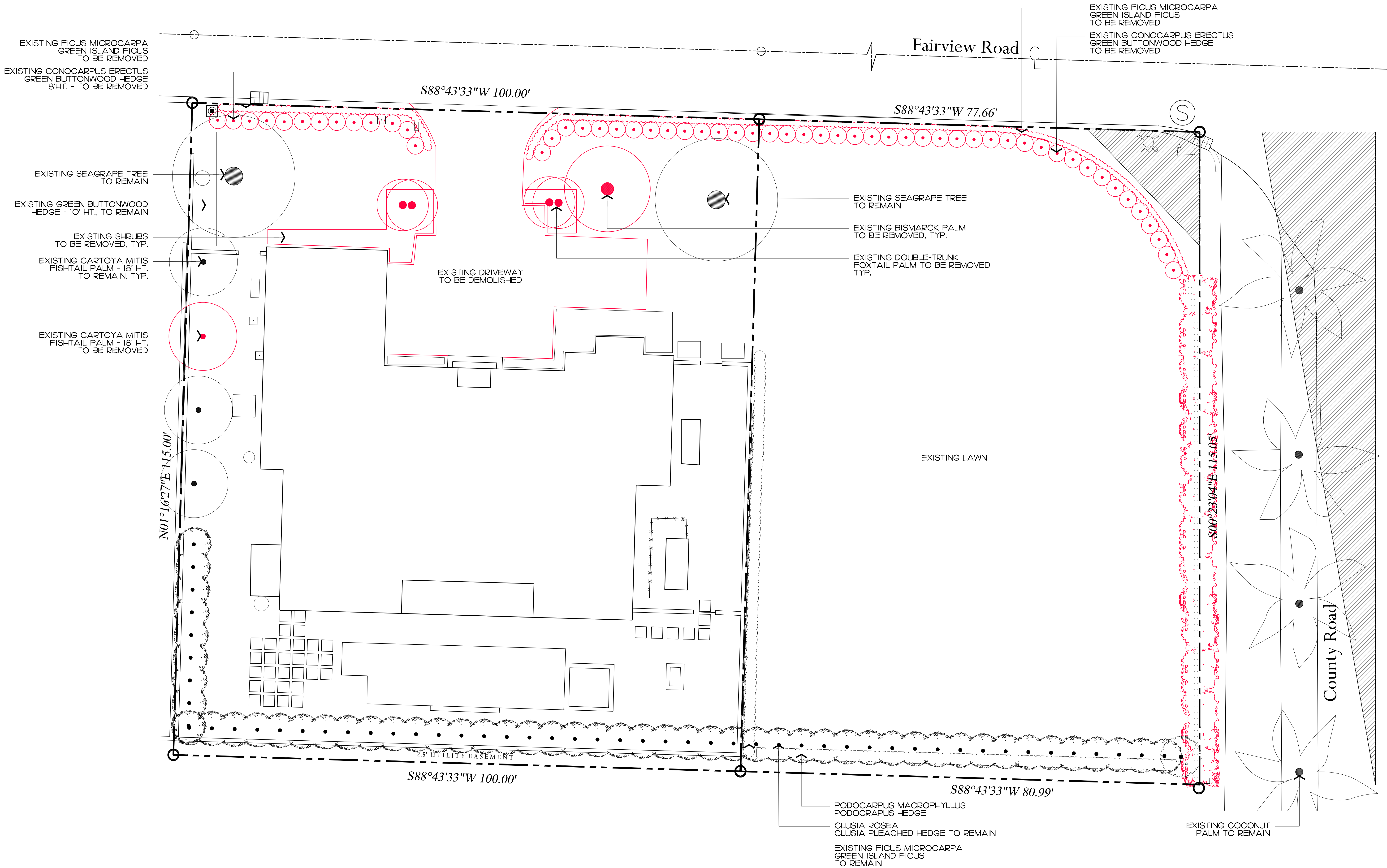
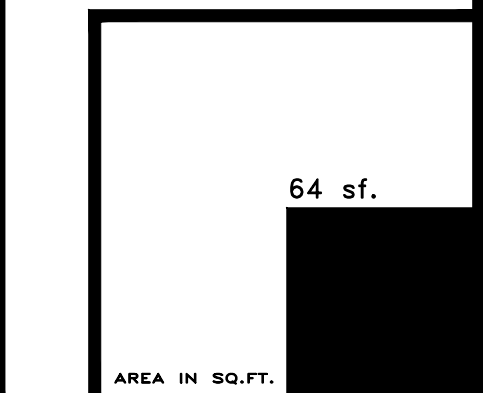
ARC-23-049

Private Residence
210 Fairview Road
Palm Beach



JOB NUMBER: # 22168.00 LA
DRAWN BY: Jean Twomey
DATE: 02.27.2023

SHEET L1.1

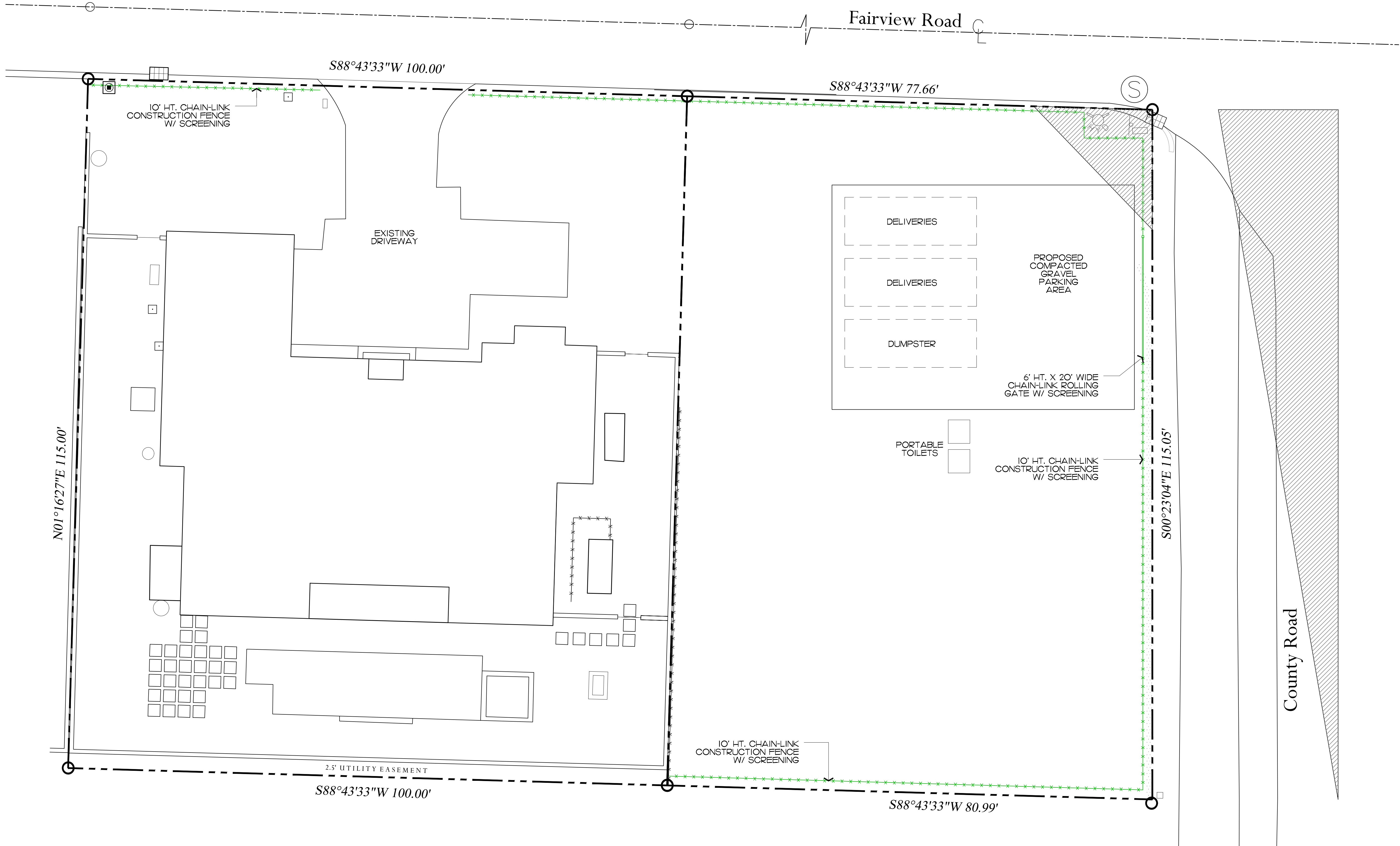


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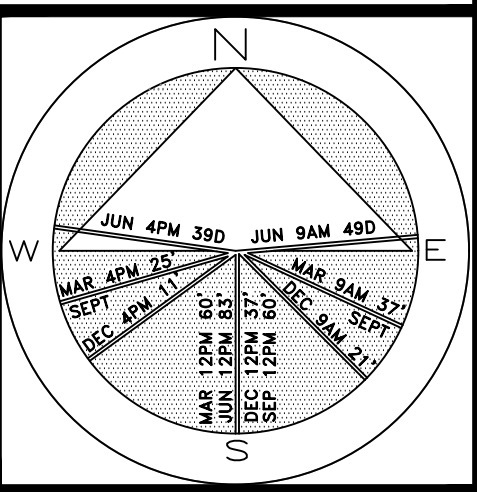
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ARC-23-049
Vegetation Action Plan
SCALE IN FEET 0' 8' 16' 24'



Private Residence
210 Fairview Road
Palm Beach



JOB NUMBER: # 22168.00 LA
DRAWN BY: /Nick Pastor
DATE: 02.27.2023

NOTE:
PERIMETER SHRUBS WILL BE REMOVED WHEN NECESSARY FOR SITE UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING CONSTRUCTION.

2022
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2022
DISCLAIMER:
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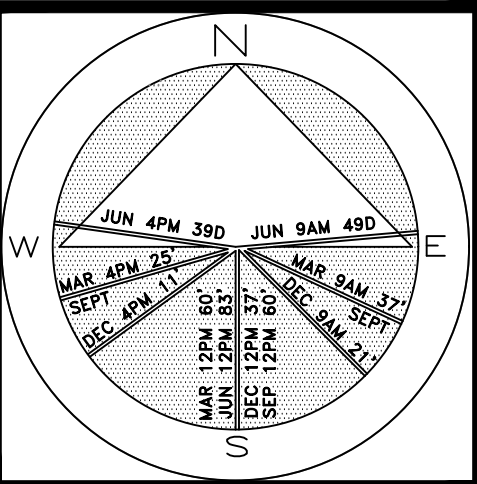
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SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

ARC-23-049
Construction Staging Plan
SCALE IN FEET 0' 8' 16' 24'

SHEET L1.2
64 sf.
AREA IN SQ. FT.

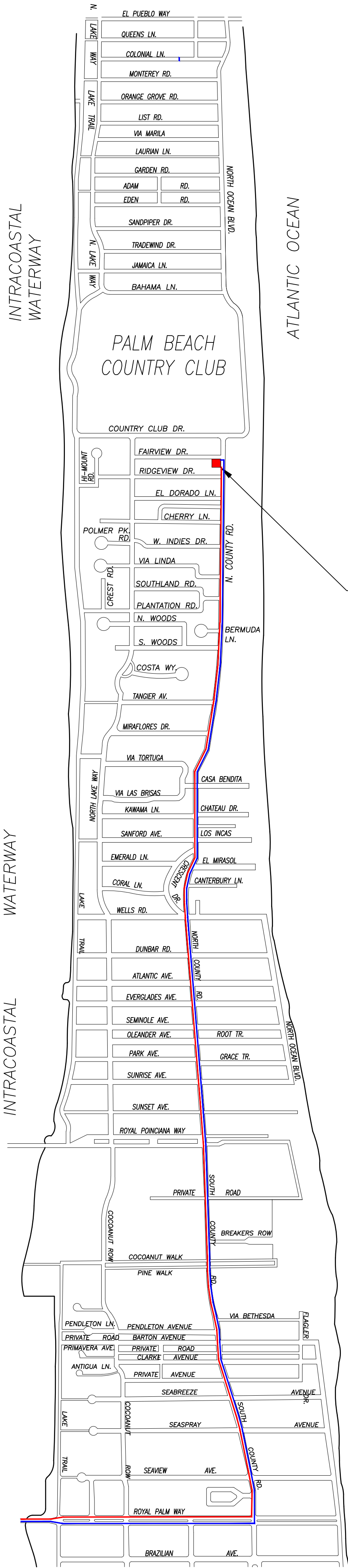
Private Residence
210 Fairview Road
Palm Beach

A
D
I
R
O
L
F



JOB NUMBER: # 22168.00 LA
DRAWN BY: Nick Pastor
DATE: 02.27.2023

SHEET L1.3



SITE:
210 Fairview Road
Town of Palm Beach

1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

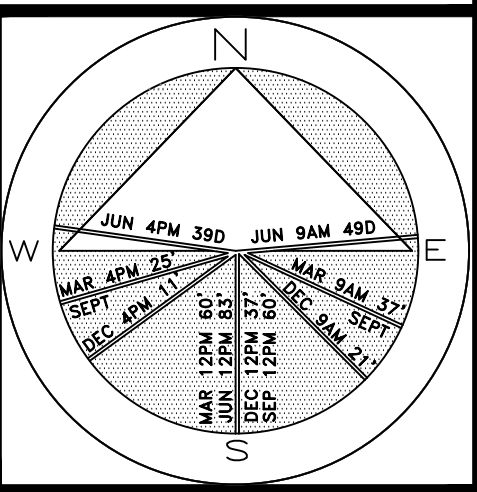
SCHEDULE:

MONTH 1: DEMOLITION AND INSTALLATION
(30 DAYS)

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

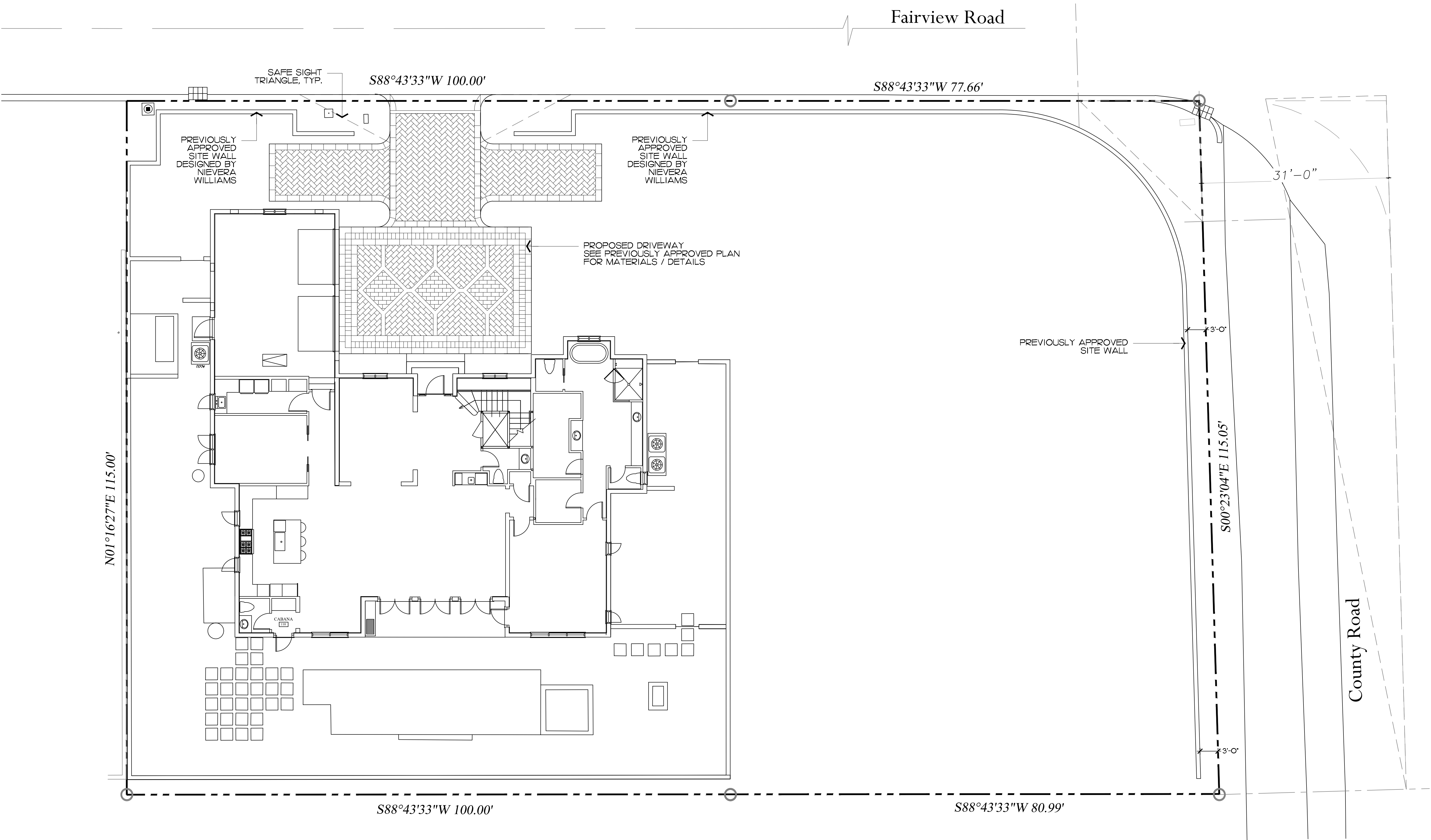
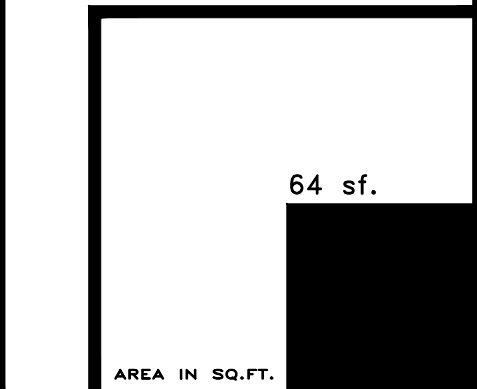
- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

Private Residence
210 Fairview Road
Palm Beach



JOB NUMBER: # 22168.00 LA
DRAWN BY: Alex Eugrui
DATE: 04.13.2023

SHEET L2.0



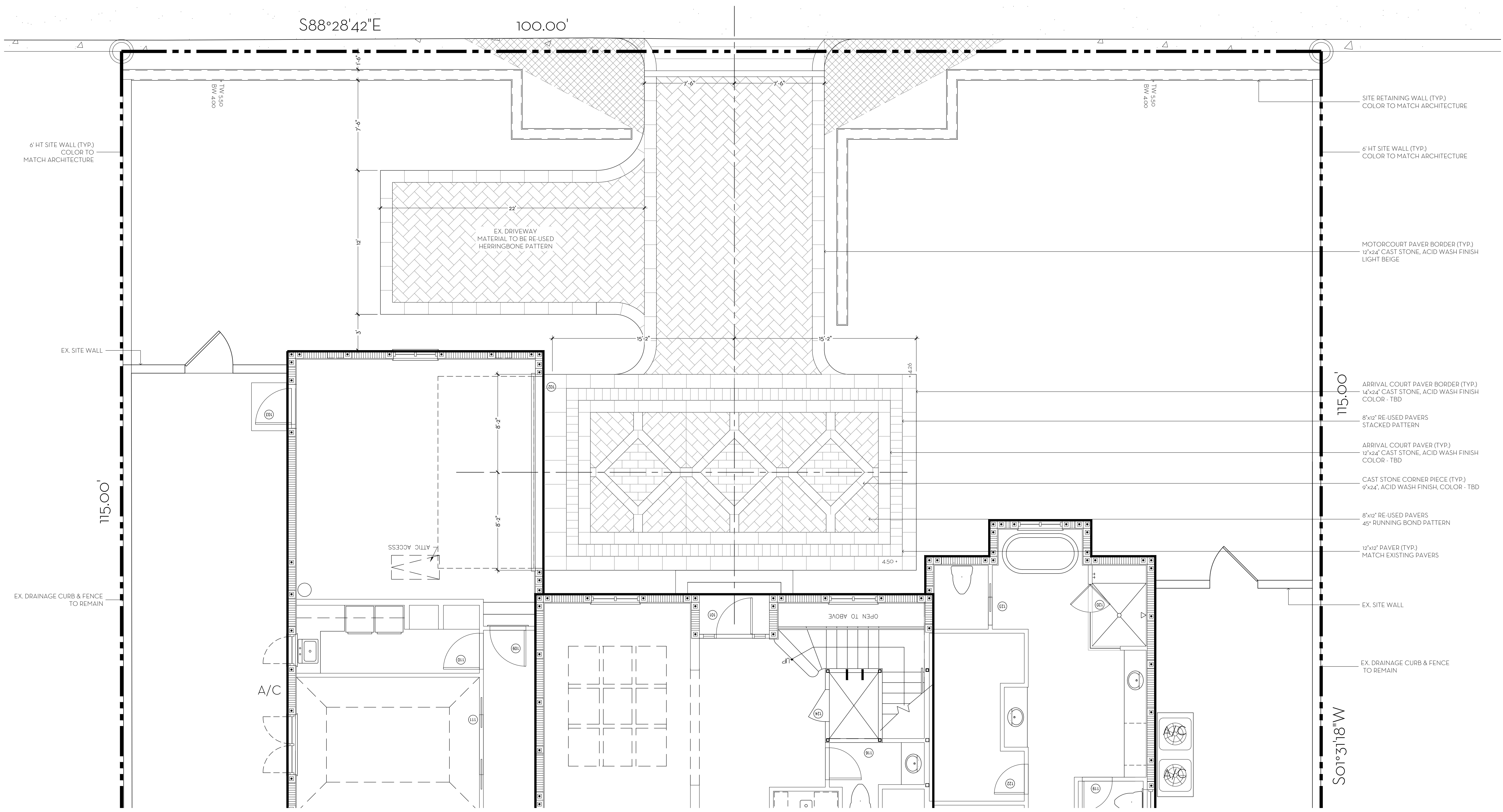
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CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Currently Proposed Hardscape Improvements

ARC-23-049

SCALE IN FEET 0' 8' 16' 24'

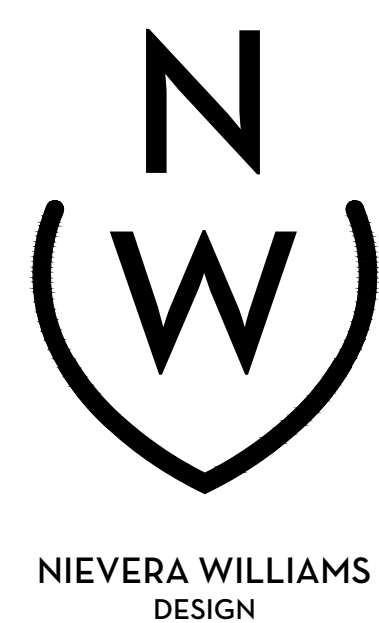
OVERALL R-B SITE CALCULATIONS:			FRONT SETBACK SITE CALCULATIONS:			10' PERIMETER SITE CALCULATIONS:		
SITE AREA =	11,500	SQ FT 100%	25' SETBACK AREA =	2,500	SQ FT 100%	PERIMETER AREA =	3,900	SQ FT
MINIMUM LANDSCAPE:			MINIMUM LANDSCAPE:			MINIMUM LANDSCAPE:		
REQUIRED =	5,175	SQ FT 45%	REQUIRED =	1,000	SQ FT 40%	REQUIRED =	1,000	SQ FT 40%
EXISTING =	5,733	SQ FT 49.8%	EXISTING =	2,026	SQ FT 81%	EXISTING =	3,688	SQ FT 94.6%
PROPOSED =	5,253	SQ FT 45.7%	PROPOSED =	1,744	SQ FT 69.8%	PROPOSED =	3,445	SQ FT 89.9%



PREVIOUSLY APPROVED

MARIO F. NIEVERA
State of Florida
Landscape Architect
Registration No.
6666856

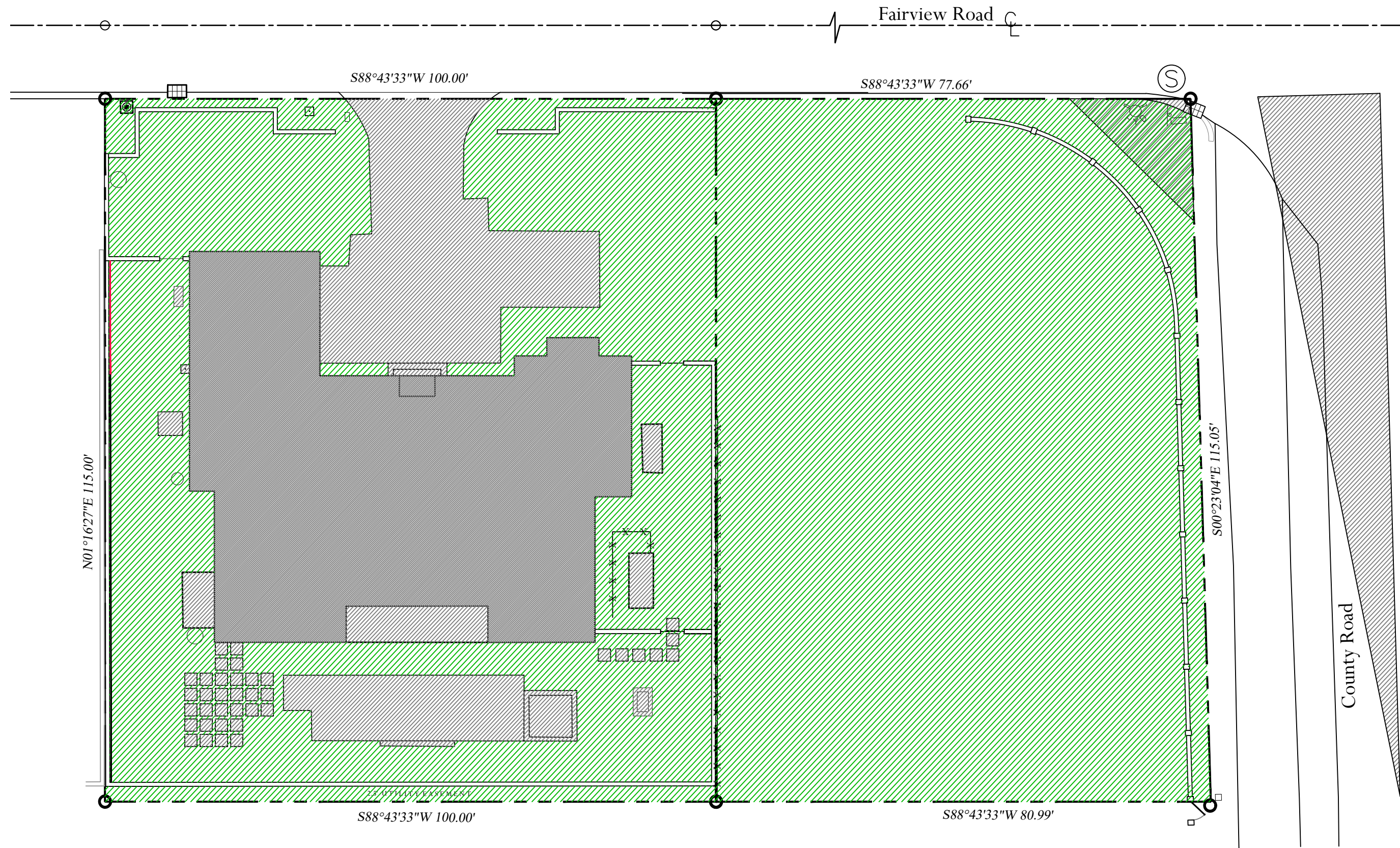
HARDSCAPE PLAN
FORD RESIDENCE
210 FAIRVIEW ROAD, PALM BEACH, FLORIDA



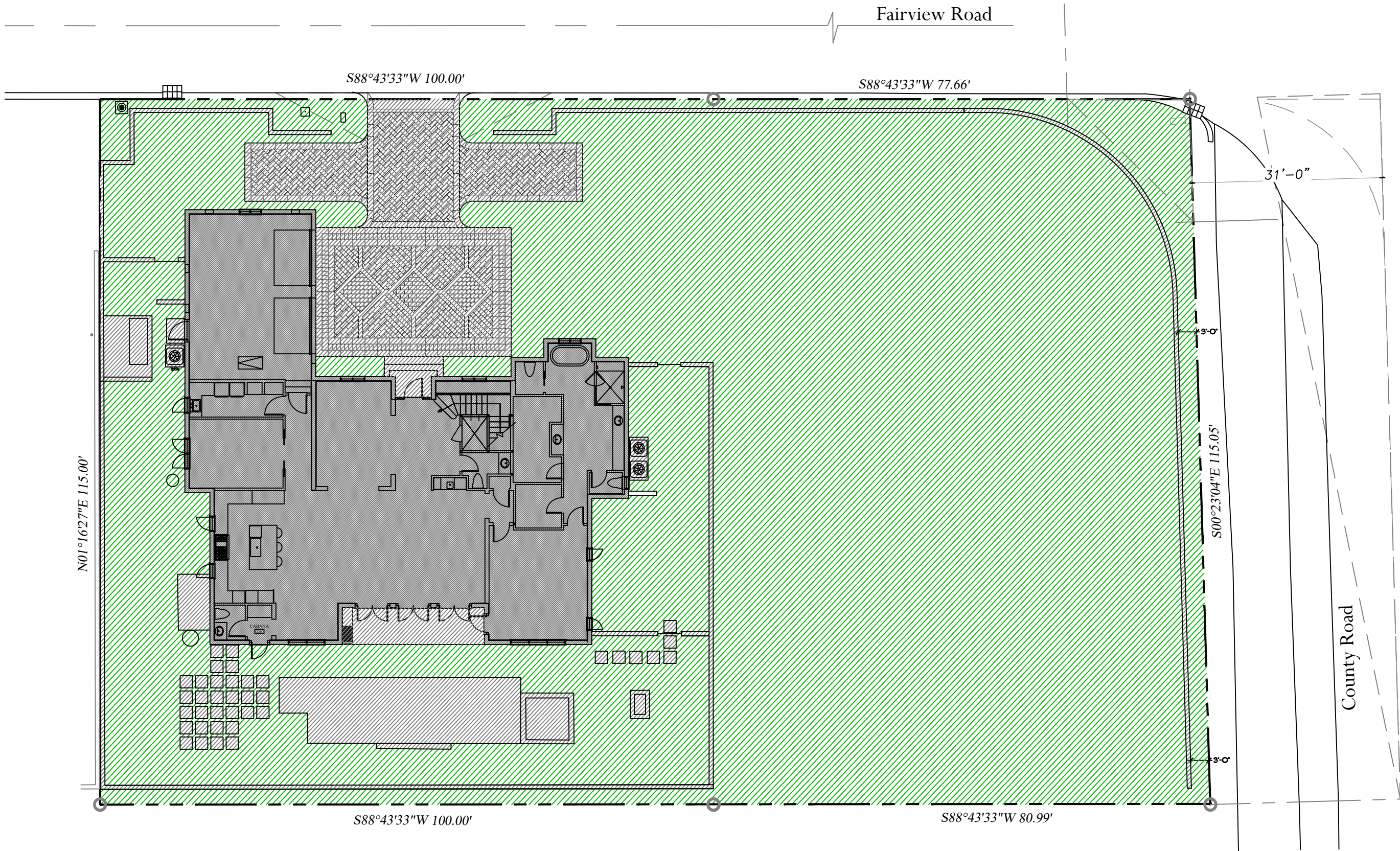
223 Sunset Avenue
Suite 150
Palm Beach, Florida 33480
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

L1
B-009-2021



Existing Conditions



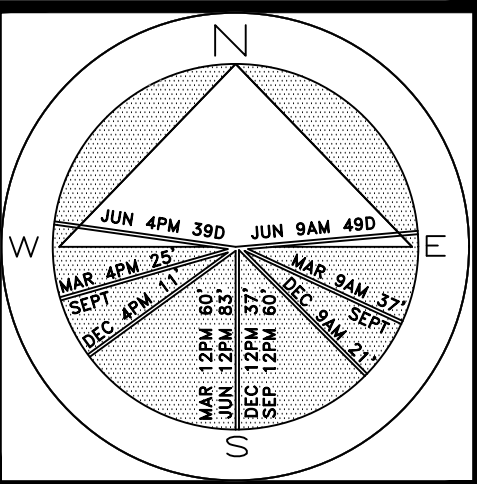
Currently Proposed Site Plan

Legend

- BUILDING FOOTPRINT
- HARDSCAPE
- LANDSCAPE - OPEN SPACE

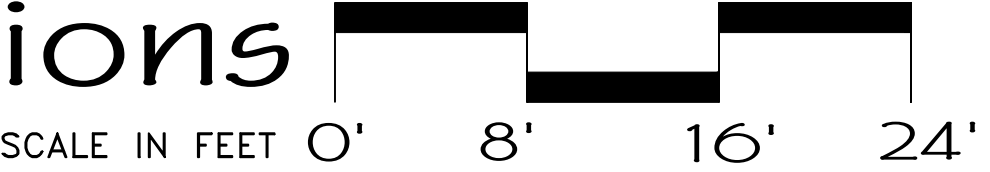
Proposed Site Data

DESCRIPTION	REQUIRED		EXISTING		CURRENTLY PROPOSED	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL		R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		20,815 S.F.		20,815 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	9,366.75 S.F.	71.1%	14,809 S.F.	70.3%	14,639 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,776.6 S.F.	85.8%	3,813 S.F.	81.7%	3,631 S.F.



JOB NUMBER: # 22168.00 LA
DRAWN BY: Jean Twomey
DATE: 04.23.2023

SHEET L2.1



Trees & Palms

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CLUSIA ROSEA CLUSIA TREE	2	16' HT., 8' CT.	YES
	THRINAX RADIATA FLORIDA THATCH PALM	2	30" HT., 18" O.C.	YES
TOTAL: NATIVE SPECIES:		4 4 (100%)		

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
+	CONOCARPUS ERECTUS GREEN BUTTONWOOD	90	8' OA, 36" OC, FTB, TO FORM HEDGE	YES
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	100	36" HT., 18" O.C.	NO
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	58	15 GAL, TRELLIS, TO FORM DIAMONDS ON WIRE ESPALIER	NO
	PODOCARPUS SPP. PODCARPUS PRINGLES	9	TOPIARY SPHERES - VARYING SIZES	NO
TOTAL: NATIVE SPECIES:		257 90 (35%)		

Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	FICUS MICROCARPA 'GREEN ISLAND' GREEN ISLAND FICUS	280	3 GAL, 12" OC	NO
	PHYLA NODIFLORA FROG FRUIT	300	1 GAL., 12" OC	YES
TOTAL: NATIVE SPECIES:		580 300 (51.7%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

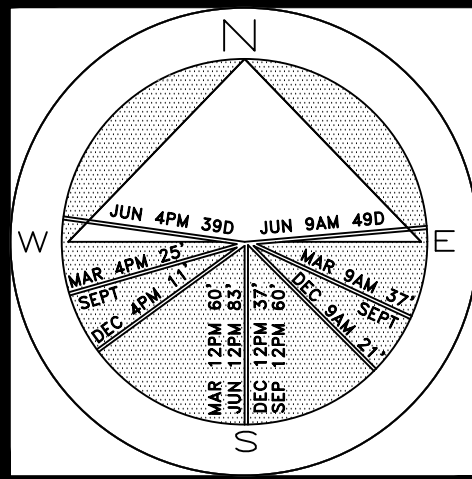
ENVIRONMENT
DESIGN
GROUP

139 North County Road 5420-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, MIA, RLA #6666784
Dustin@environmentdesigngroup.com

Private Residence
210 Fairview Road
Palm Beach



JOB NUMBER: # 22168.00 LA
DRAWN BY: Alex Eugrli
DATE: 04.13.2023
05.16.2023

SHEET L3.1

64 sf.

AREA IN SQ.FT.

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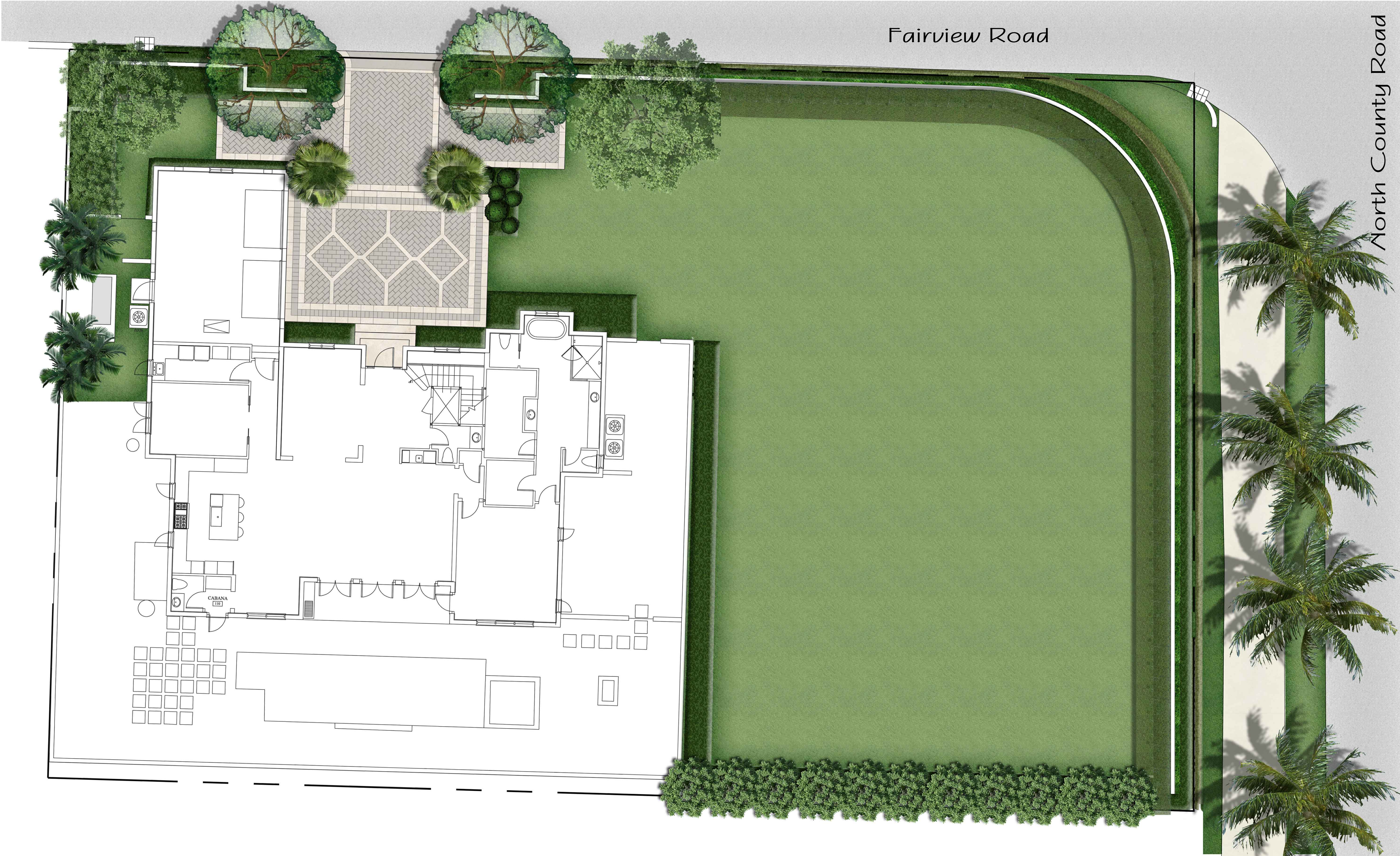
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DISCLAIMER: 2023

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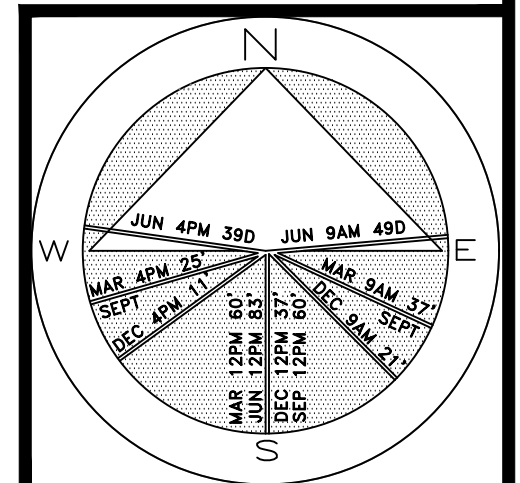
Landscape Schedule



Fairview Road

North County Road

Private Residence
210 Fairview Road
Palm Beach



JOB NUMBER: # 22168.00 LA
DRAWN BY: Jean Twomey
DATE: 03.14.2023
05.16.2023

SHEET L3.2

ARC# 22-175
Rendered Landscape Plan

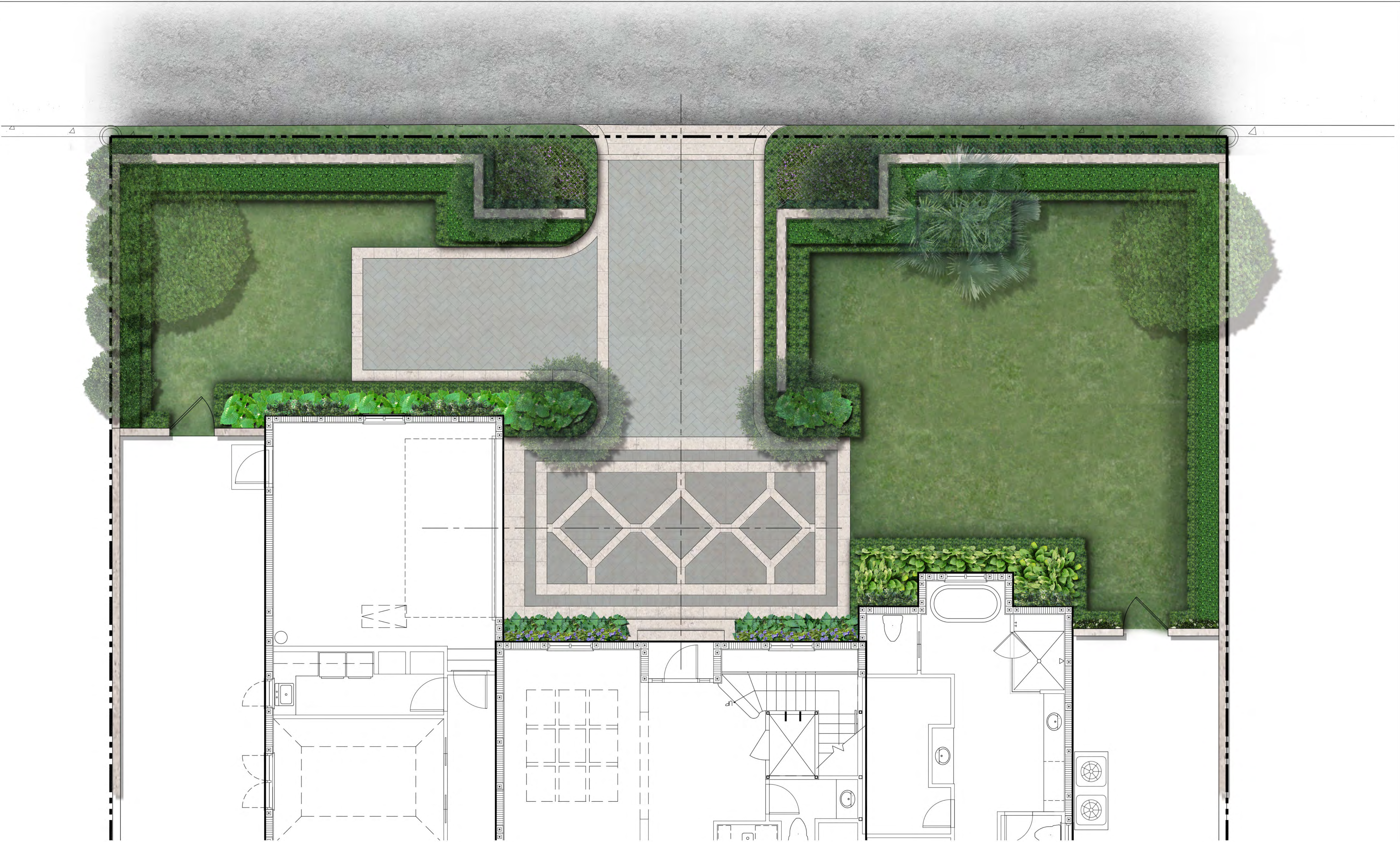
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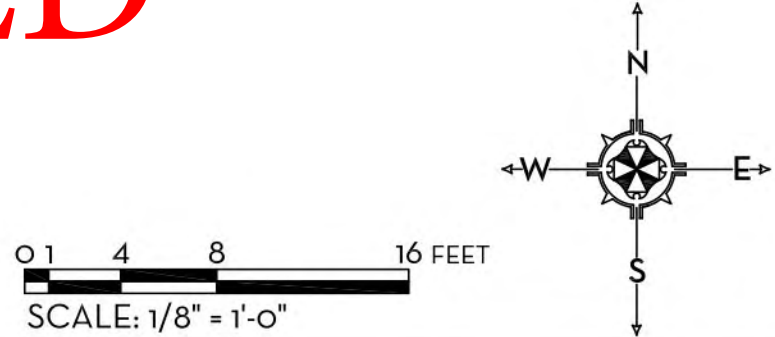
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PREVIOUSLY APPROVED



MARIO F. NIEVERA
State of Florida
Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
FORD RESIDENCE
210 FAIRVIEW ROAD, PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

19 JAN 2021



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L1
B-009-2021

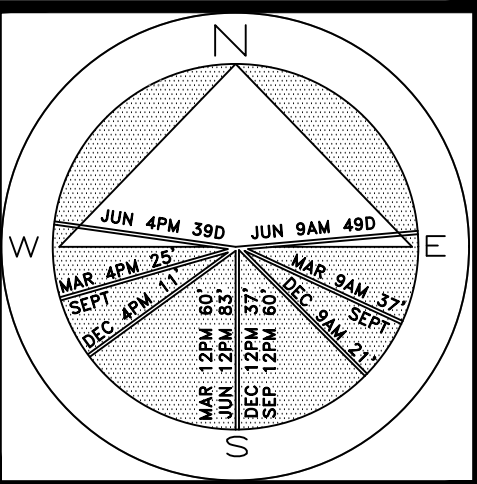


North / Front Elevation



East Elevation

Private Residence
210 Fairview Road
Palm Beach



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05.16.2023

SHEET L4.0