

Scope of Work

- Addition of 18'-0" x 9'-9" (174 S.F.) pergola.
- Portion of existing site wall along south property line, to be demolished down to 6" Drainage Curb and replaced with chain-link fence.
- Portion of existing site wall to be raised 6" in height to sufficiently screen existing generator.
- Minor modifications to landscape buffer along south property line.



RECEIVED
By yfigueroa at 9:55 am, May 09, 2023

Design Team/Consultants

Landscape Architects
ENVIRONMENT DESIGN GROUP
139 NORTH COUNTY ROAD SUITE 20B
PALM BEACH, FL 33480
561.832.4600
WWW.ENVIRONMENTDESIGNGROUP.COM

Civil Engineer
GRUBER CONSULTING ENGINEERS
2475 MERCER AVE
WEST PALM BEACH, FL 33401
561.312.2041

Application #: ARC-23-041
Final Submittal
Projected Hearing Date: 04.26.2023

Sheet Index

- Cover Sheet
- Zoning Legend / Vicinity Map
- L1.0 - Existing Condition Images
- L1.1 - Existing Conditions Inventory / Demolition Plan
- L1.2 - Construction Screening & Staging Plan
- L1.3 - Truck Logistics Plan
- L2.0 - Site Plan
- L2.1 - Site Data Calculations
- L3.0 - Landscape Plan
- Civil Engineering Plan
- Survey

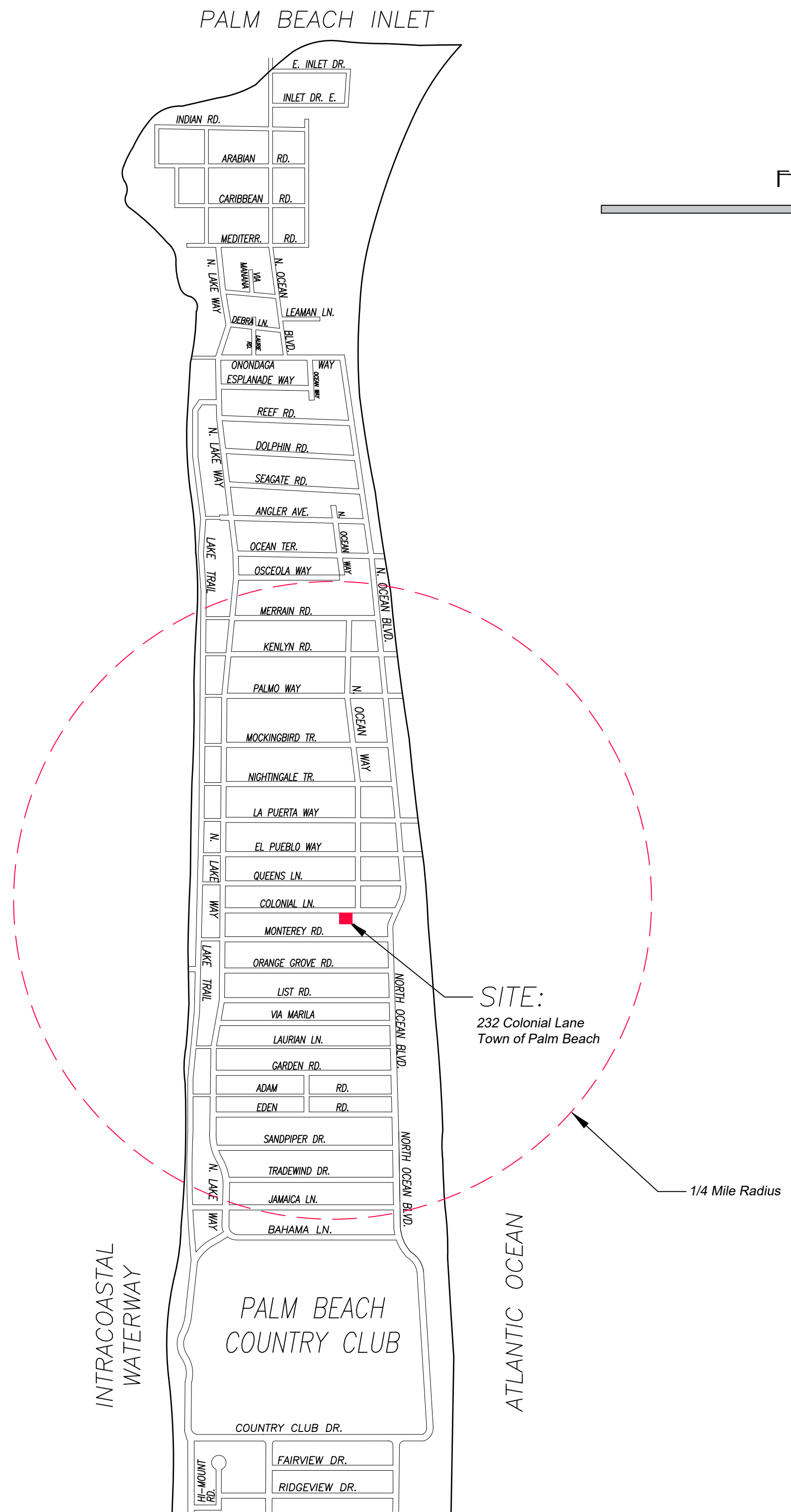
ENVIRONMENT
DESIGN
GROUP

139 North County Road S#20-B Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, MLA RLA #6666784
Dustin@environmentdesigngroup.com

Vicinity/Location Map



Private Residence
232 Colonial Lane
Palm Beach

F L O R I D A

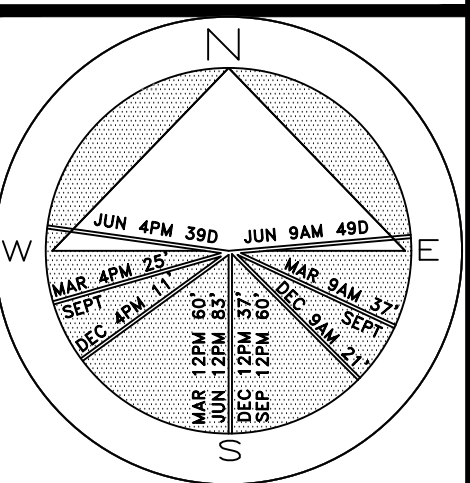
Zoning Legend

Property Address:	232 Colonial Way		
Zoning District:	R-B		
Structure Type:	Single Family Residence		
	Required/Allowed	Existing	Proposed
Lot Size:	10,000 SF min.	6,150 SF	6,150 SF
Lot Depth:	FT	82'	82'
Lot Width:	FT	75'	75'%
Lot Coverage:	%	%	N/A
Front Yard Setback:	N/A	N/A	N/A
Side Yard Setback (1st story):	N/A	N/A	N/A
Side Yard Setback (2nd story):	N/A	N/A	N/A
Rear Yard Setback:	N/A	N/A	N/A
Angle of Vision:	N/A	N/A	N/A
Building Height:	N/A	N/A	N/A
Overall Building Height:	N/A	N/A	N/A
Finish Floor Elevation (FFE) (NAVD):	N/A	N/A	N/A
Zero Datum for Pt of Measurement:	N/A	N/A	NAVD
Base Flood Elevation (BFE) (NAVD)	NAVD	NAVD	SF %
Landscape Open Space (LOS):	SF %	SF %	SF %
Perimeter LOS:	SF %	SF %	SF %
Front Yard LOS:	SF %	SF %	%
Native Plant Species Percentage:	%	%	

NOTES:
PERGOLA IS PROPOSED ON EXISTING DECK.
SITE DATA CALCULATIONS WILL NOT BE
AFFECTED BY PROPOSED MODIFICATIONS.
PROPOSED PERGOLA DOES NOT EXCEED 9'
IN HEIGHT.

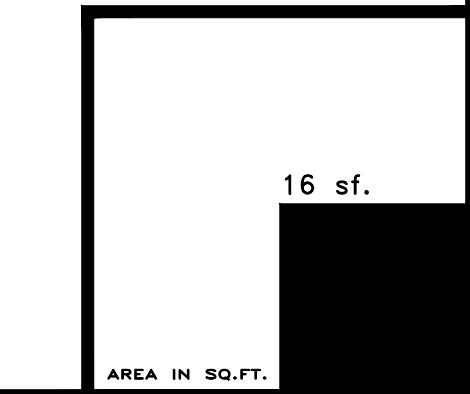


Private Residence
232 Colonial Lane
Town of Palm Beach



JOB NUMBER: # 22288.00 LA
DRAWN BY: Jean Twomey
Allison Padilla
DATE: 01.23.2023
02.27.2023
05.08.2023

SHEET L1.0

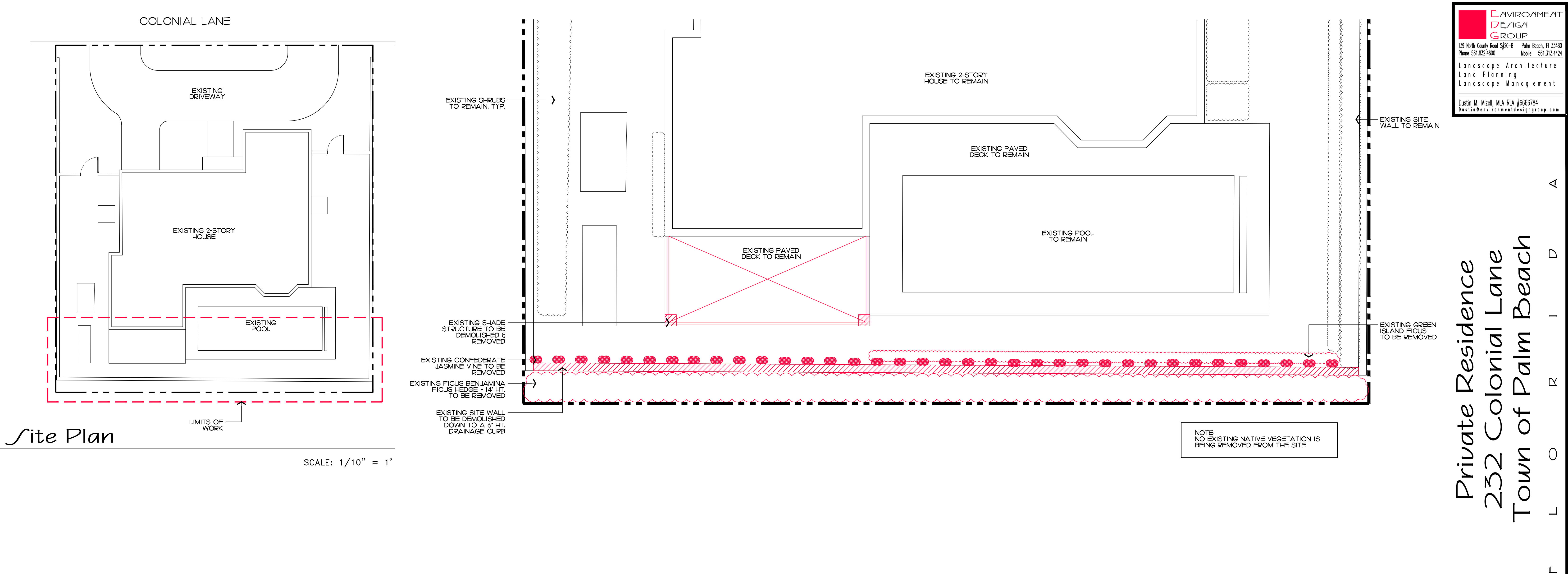


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ARC#-23-041
Existing Condition Images



Existing Condition Photos - Limits of Work

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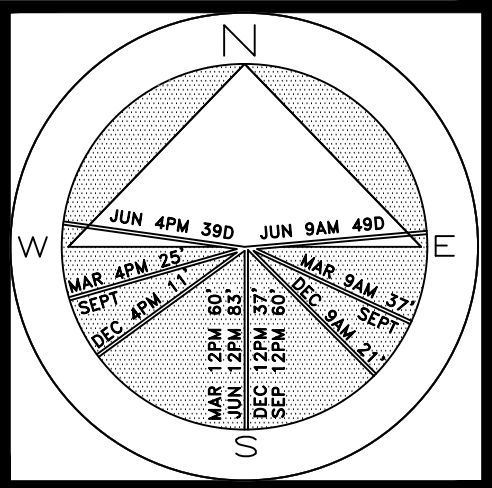
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Existing Conditions Inventory / Demolition Plan

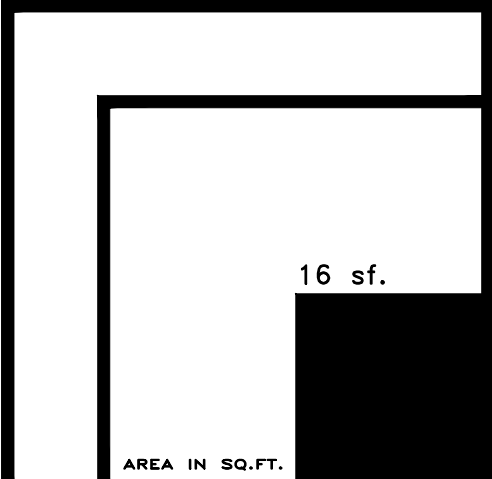
ARC#-23-041

SCALE IN FEET 0' 4' 8' 12'

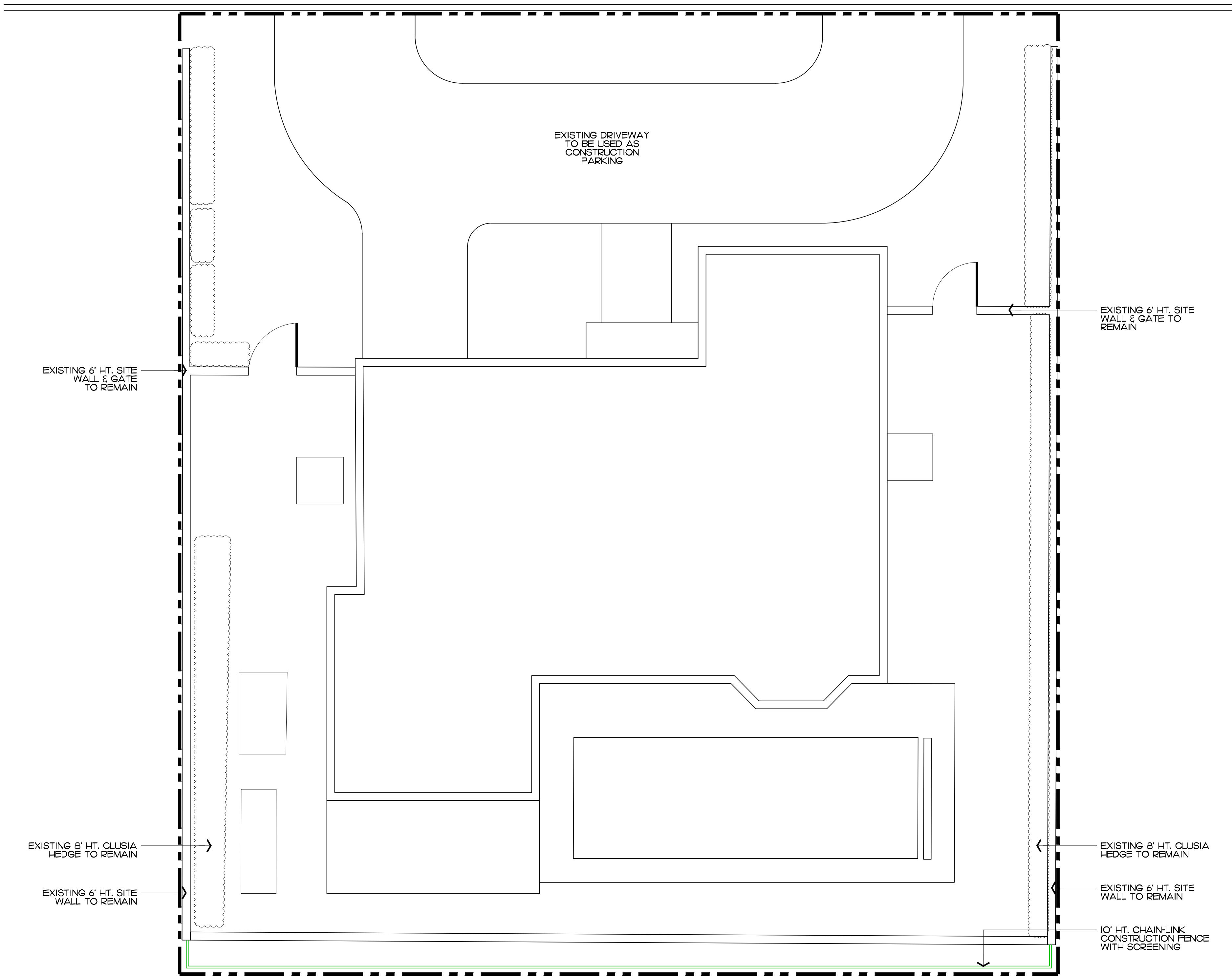


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DRAWN BY: Jean Twomey
Allison Padilla
DATE: 01.23.2023
02.27.2023
05.08.2023

SHEET L1.1



COLONIAL LANE



NOTE:
EXISTING SITE WALL AND LANDSCAPE BUFFER ALONG SOUTH
PROPERTY LINE WILL BE REMOVED WHEN NECESSARY FOR SITE
UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION
SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, NEW
FENCING, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE
SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT
OR TEMPORARY SCREENING DURING CONSTRUCTION.

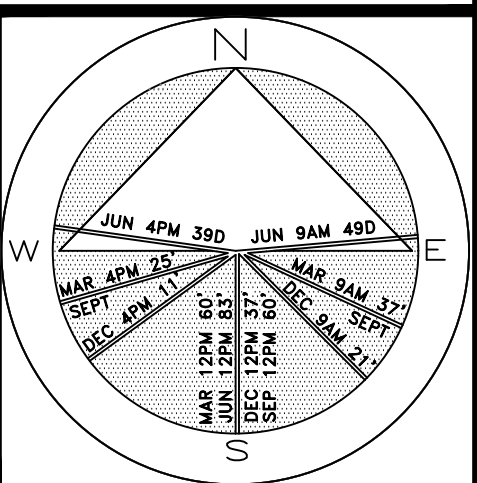
**ENVIRONMENT
DESIGN
GROUP**

139 North County Road 5420-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, MIA, RLA #6666784
Dustin@environmentdesigngroup.com

Private Residence
232 Colonial Lane
Town of Palm Beach



JOB NUMBER: # 22288.00 LA
DRAWN BY: Jean Twomey
DATE: 01.23.2023
02.27.2023
05.08.2023

SHEET L1.2

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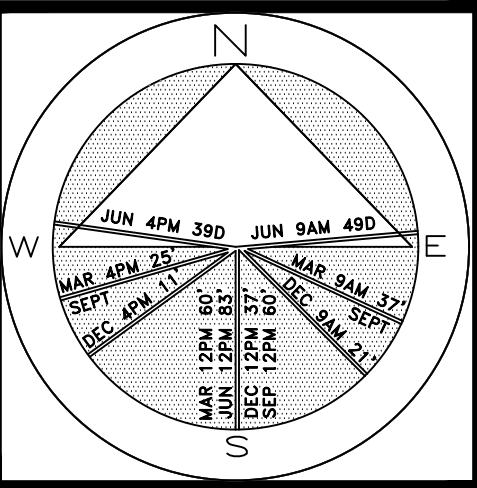
Construction Screening & Staging Plan

ARC#-23-041

SCALE IN FEET 0' 4' 8' 12'

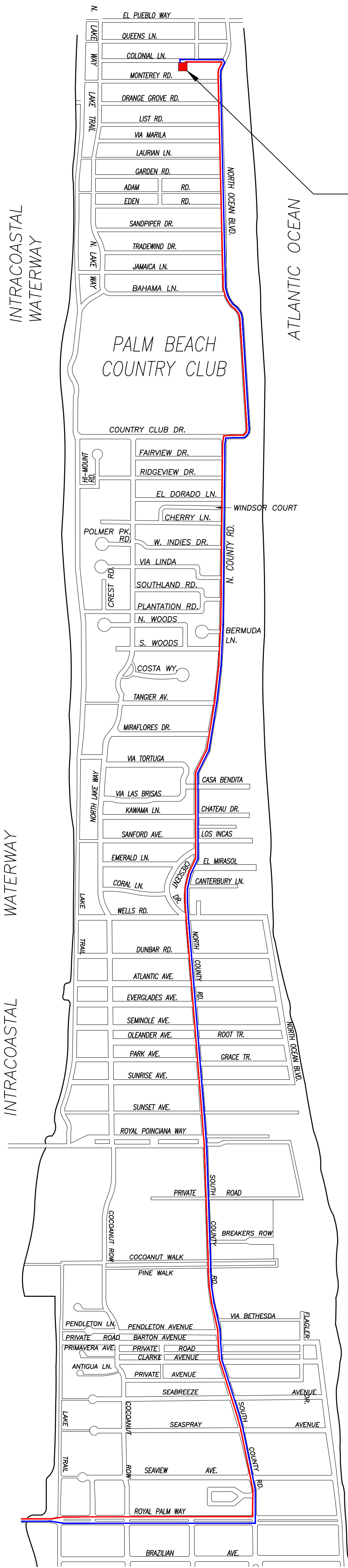
16 sf.
AREA IN SQ.FT.

Private Residence
232 Colonial Lane
Town of Palm Beach



JOB NUMBER: # 22288.00 LA
DRAWN BY: Jean Twomey
DATE: 01.23.2023
02.27.2023
05.08.2023

SHEET L1.3



SITE:
232 Colonial Lane
Palm Beach, FL 33480

1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND INSTALLATION
(30 DAYS)

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

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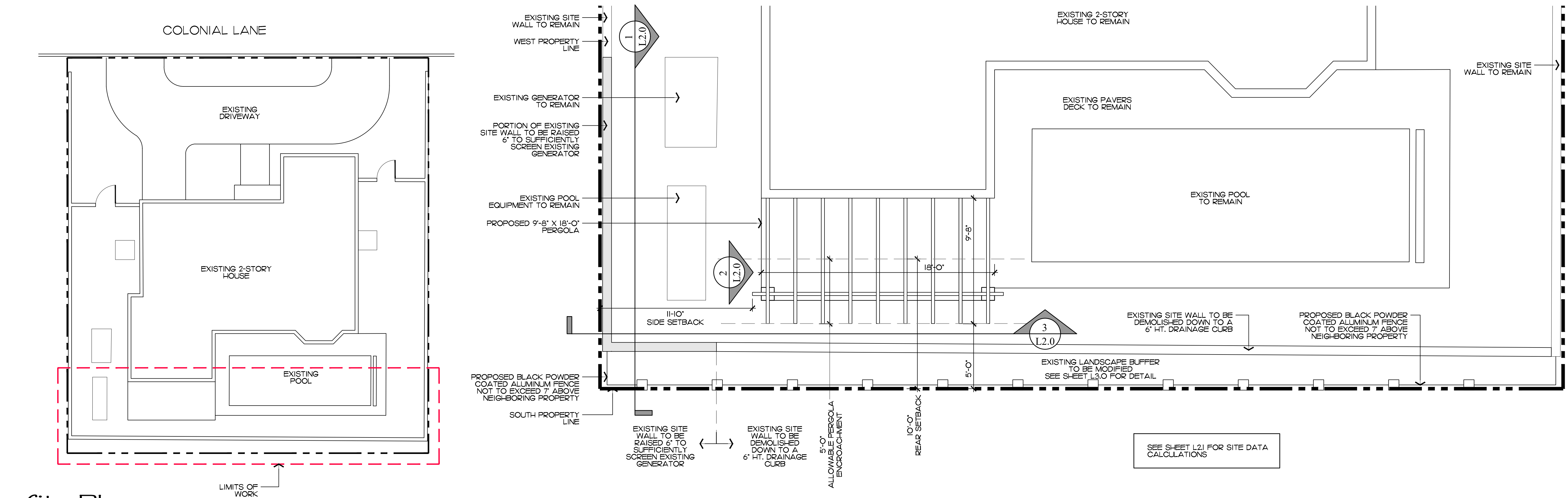
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ARC#-23-O41
Truck Logistics Plan

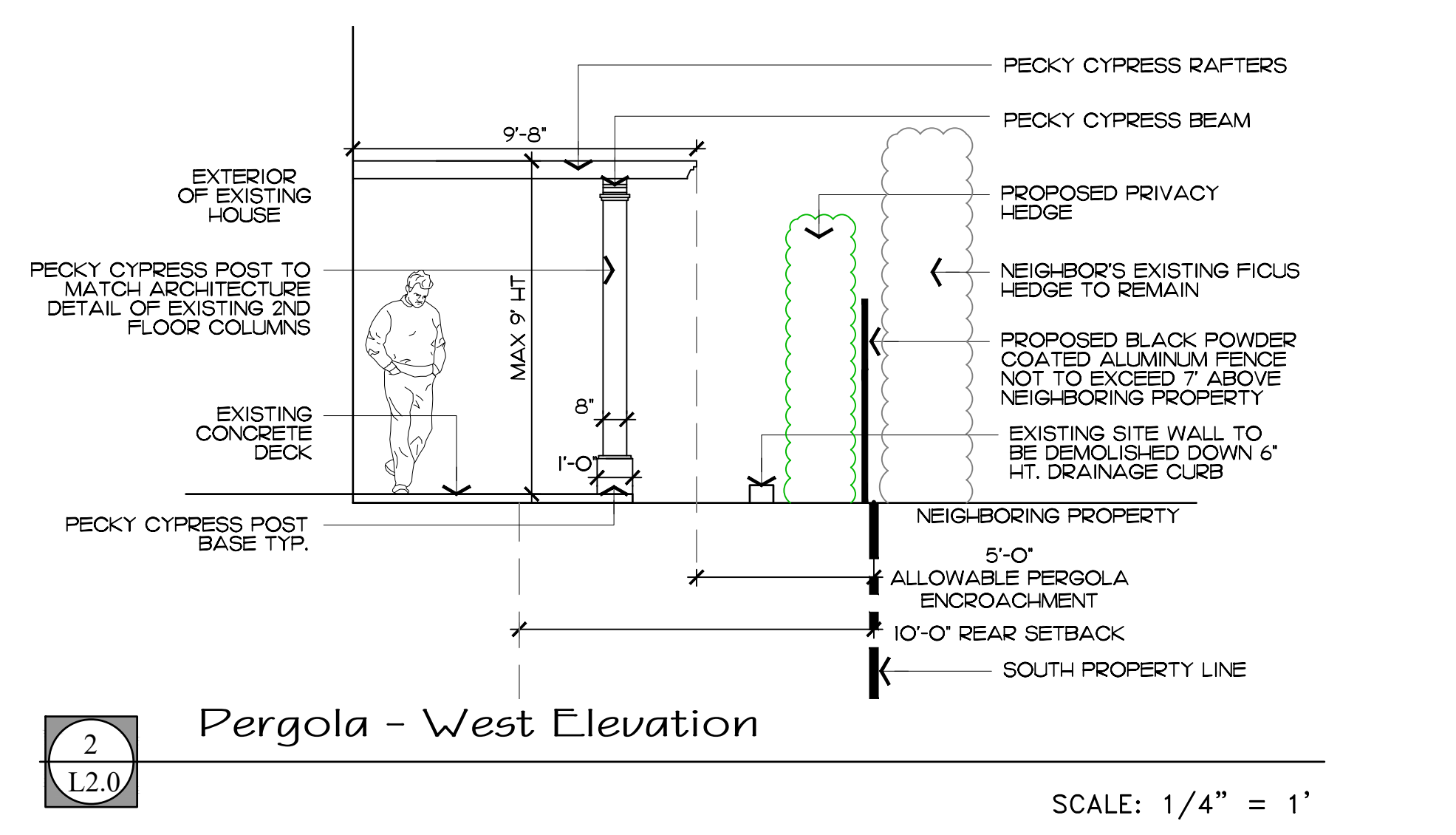
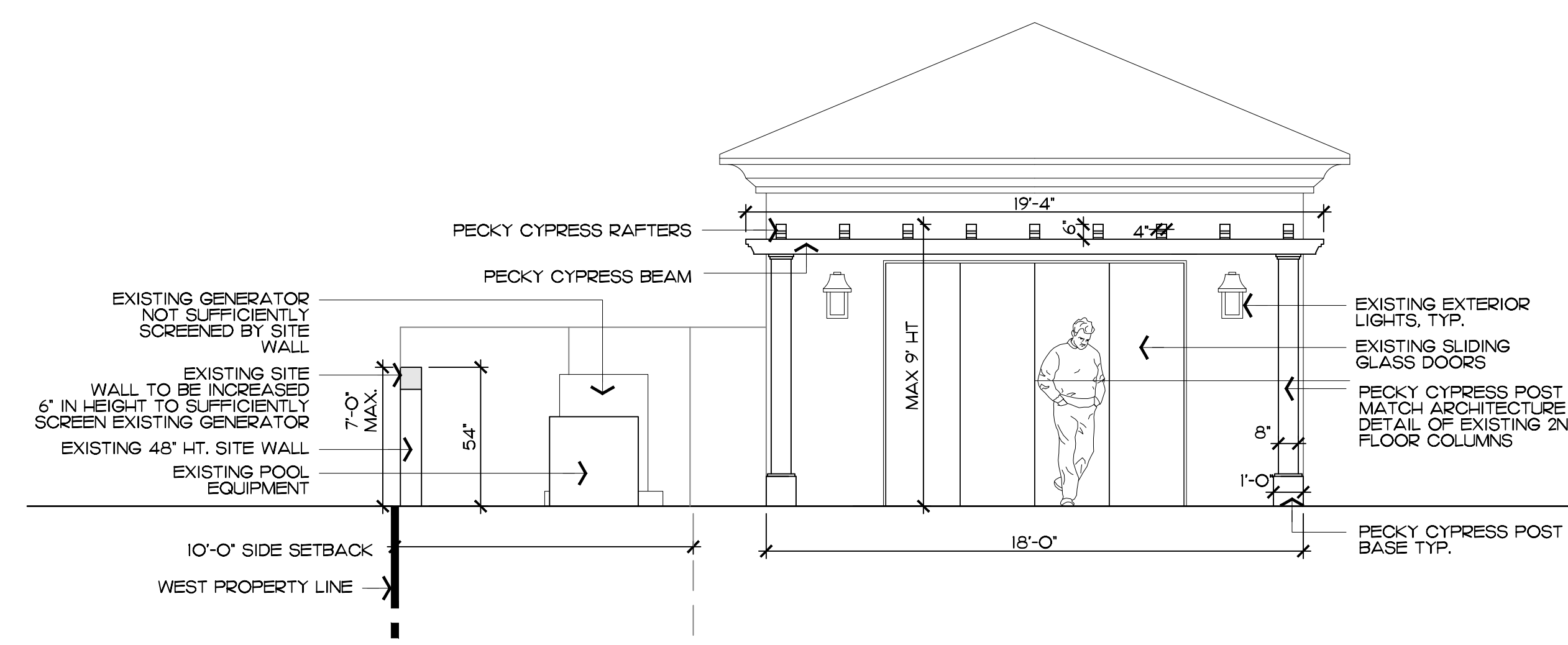
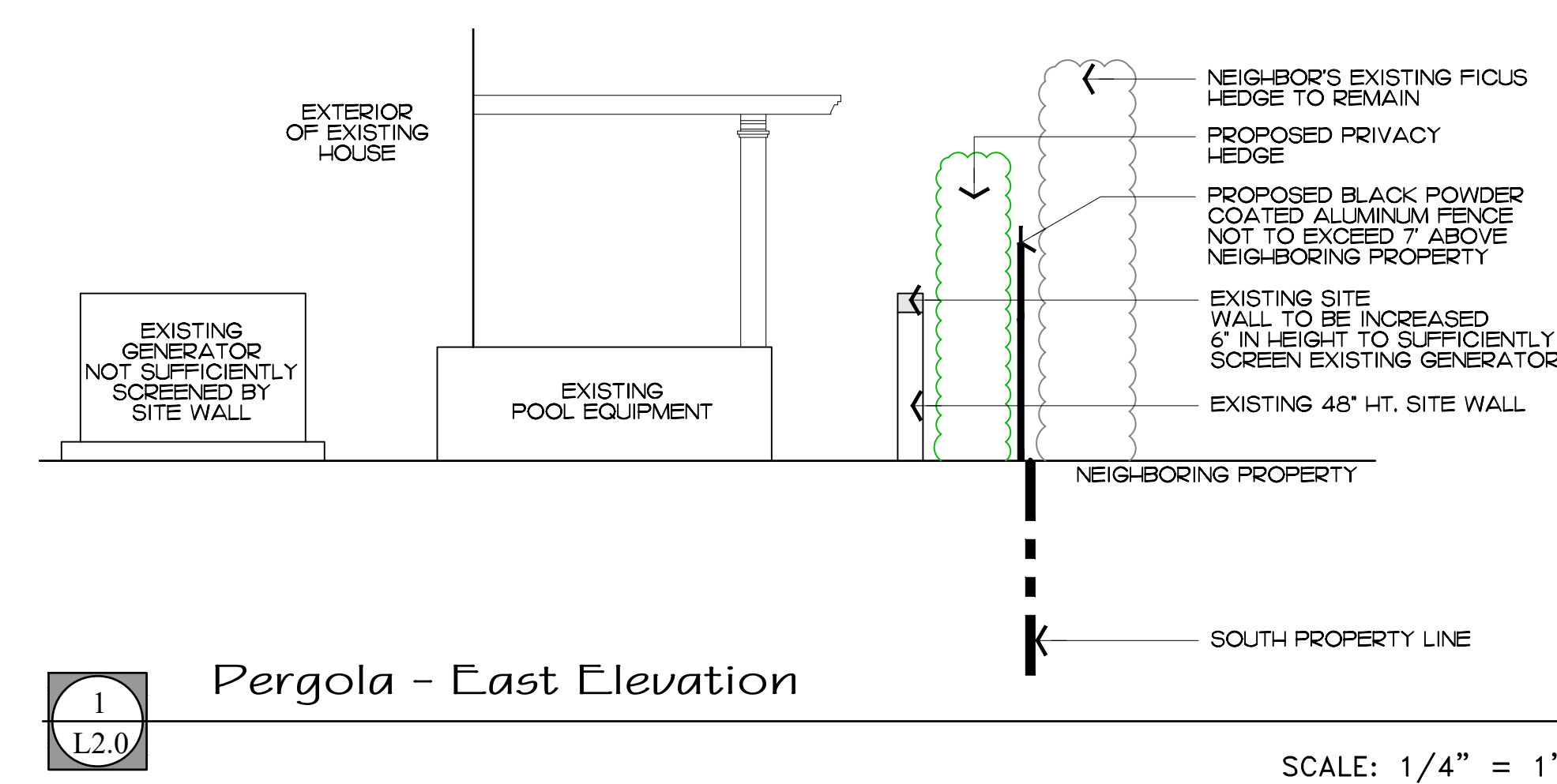
NOT TO SCALE

Private Residence
232 Colonial Lane
Town of Palm Beach

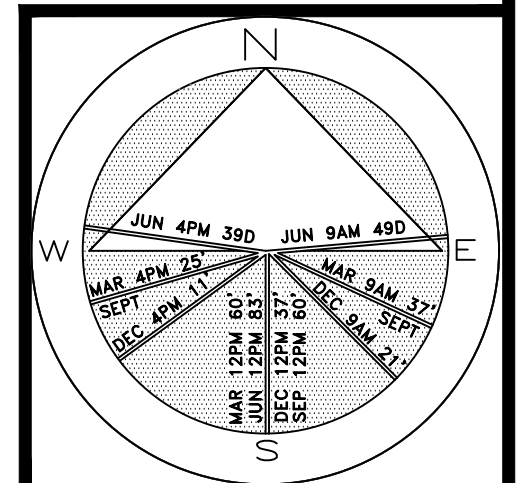
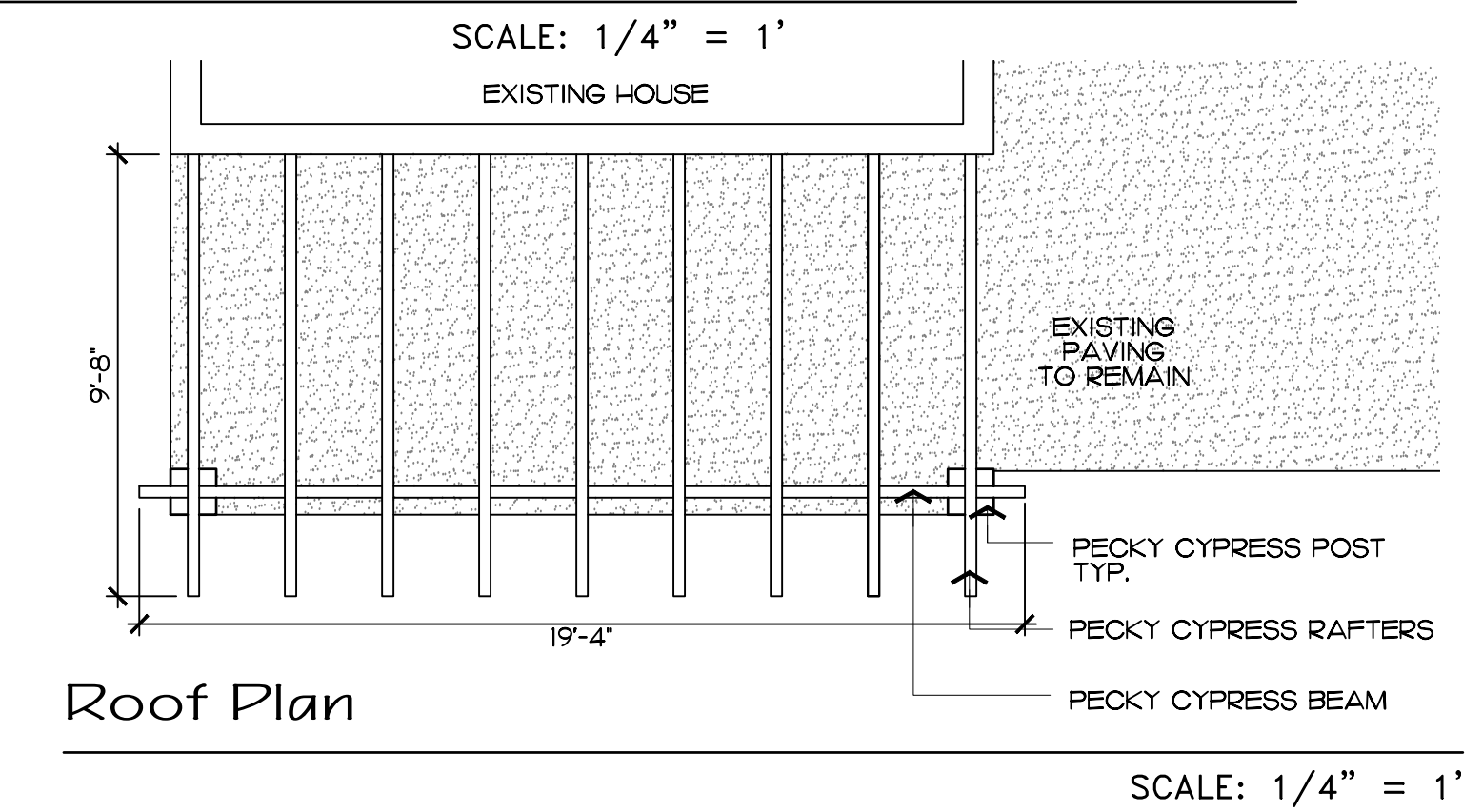


Site Plan

Hardscape Materials



PERGOLA TO BE PAINTED WHITE TO MATCH EXTERIOR OF EXISTING RESIDENCE



JOB NUMBER: # 22288.00 LA
DRAWN BY: Jean Twomey
Allison Padilla
DATE: 01.23.2023
02.27.2023
05.08.2023

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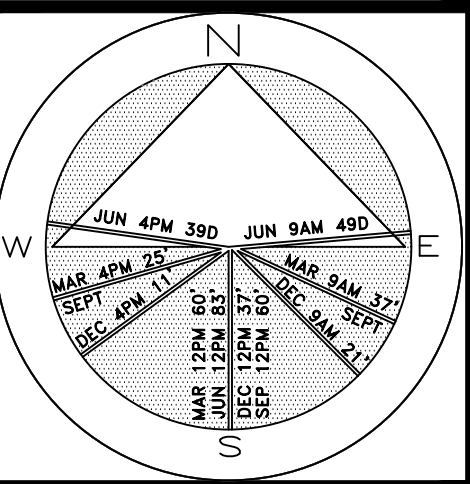
ARC#-23-041

Proposed Pergola

SCALE IN FEET 0' 4' 8' 12'

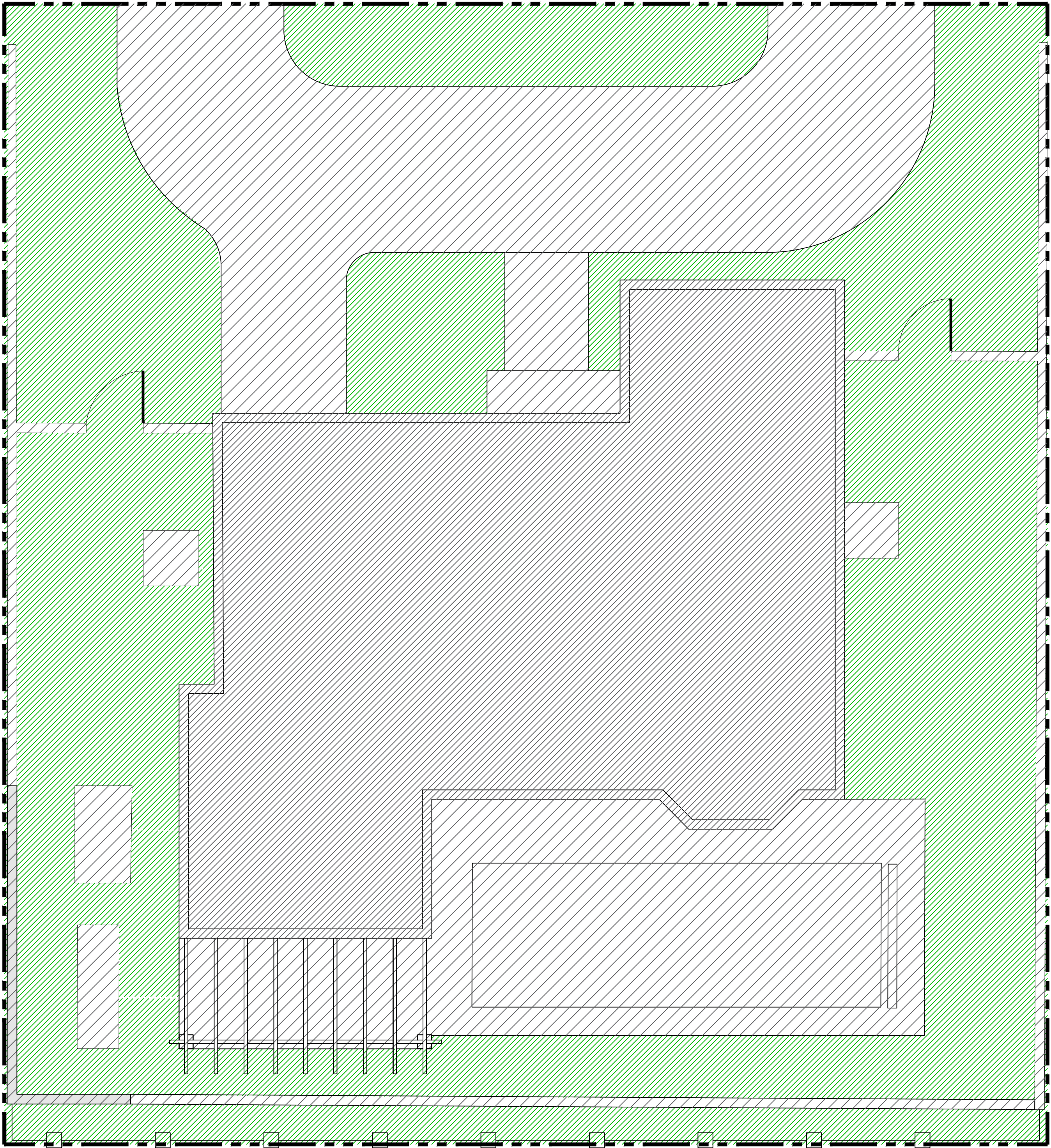
16 sf.
AREA IN SQ.FT.

Private Residence
232 Colonial Lane
Town of Palm Beach



JOB NUMBER: # 22288.00 LA
DRAWN BY: Jean Twomey
Allison Padilla
DATE: 03.03.2023
05.08.2023

SHEET L2.1



Proposed Site Data

	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 SQ. FT. MINIMUM	6,150 SQFT	6,150 SQFT
LOT COVERAGE TWO-STORY BLDG.	MAXIMUM 30% 1,845 S.F.	26% 1,604 S.F.	28.9% 1,778 S.F.
LANDSCAPE OPEN SPACE	45% 2,767.5 S.F.	40.9% 2,514 S.F.	40.9% 2,514 S.F.

NOTES:
PERGOLA IS PROPOSED ON EXISTING DECK.
SITE DATA CALCULATIONS WILL NOT BE
AFFECTED BY PROPOSED MODIFICATIONS.
PROPOSED PERGOLA IS UNENCLOSED AND
DOES NOT EXCEED 9' IN HEIGHT.
PROPOSED PERGOLA IS NOT MORE THAN 3%
OF THE OVERALL LOT COVERAGE

Legend

- BUILDING FOOTPRINT
- HARDSCAPE
- LANDSCAPE - OPEN SPACE

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ARC#-23-041
Site Calculation/Lot Coverage Graphics

SCALE: 3/16" = 1

COLONIAL LANE

EXISTING DRIVEWAY

EXISTING 2-STORY HOUSE

EXISTING POOL

LIMITS OF WORK

Site Plan

SCALE: 1/10" = 1'

EXISTING CLUSIA HEDGE TO REMAIN

(2) FICUS MICROCARPA GREEN ISLAND FICUS HEDGE 6' HT., 36" O.C.

(34) CHRYSOBALANUS ICACO GREEN TIP COCOPLUM

(24) FICUS MICROCARPA GREEN ISLAND FICUS HEDGE 6' HT., 36" O.C.

EXISTING 2-STORY HOUSE TO REMAIN

EXISTING PAVER DECK TO REMAIN

EXISTING POOL TO REMAIN

EXISTING CONCRETE DECK TO REMAIN

EXISTING CLUSIA HEDGE TO REMAIN TYP.

Private Residence

232 Colonial Lane

Town of Palm Beach

Shrubs

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CHRYSOBALANUS ICACO GREEN TIP COCOPLUM	34	7 GAL., 24" O.C.	YES
	FICUS MICROCARPA GREEN ISLAND FICUS HEDGE	26	6' HT., 36" O.C.	NO
TOTAL:		60		
NATIVE SPECIES:		34 (56.66%)		

JOB NUMBER: # 22288.00 LA
DRAWN BY: Jean Twomey
Allison Padilla
DATE: 01.23.2023
02.27.2023
05.08.2023

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ARC#-23-041

Landscape Plan

SCALE IN FEET 0' 4' 8' 12'

AREA IN SQ.FT. 16 sf.

ENVIRONMENT
DESIGN
GROUP

139 North County Road 5420-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, MIA RLA #6666784
Dustin@environmentdesigngroup.com

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Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
Certificate of Authorization No. 24199
Professional Engineer
WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
FAX: 561.317.7229
office@gruberengr.com

Project Information				
Project No.	2016-0115	Issue Date	06/25/2016	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
			CG	

Site Grading & Drainage Plan For:
Kleinfeld Residence
Palm Beach, Florida
232 Colonial Lane

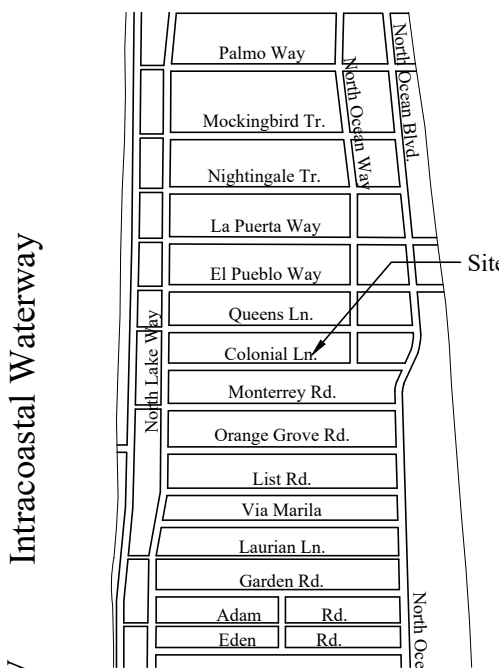
Revisions	
1	08/17/2016
2	11/16/2016
3	02/05/2019
4	10/07/2019
5	
6	
7	
8	
9	
10	

Chad M. Gruber

FL P.E. No. 57466

Sheet No.

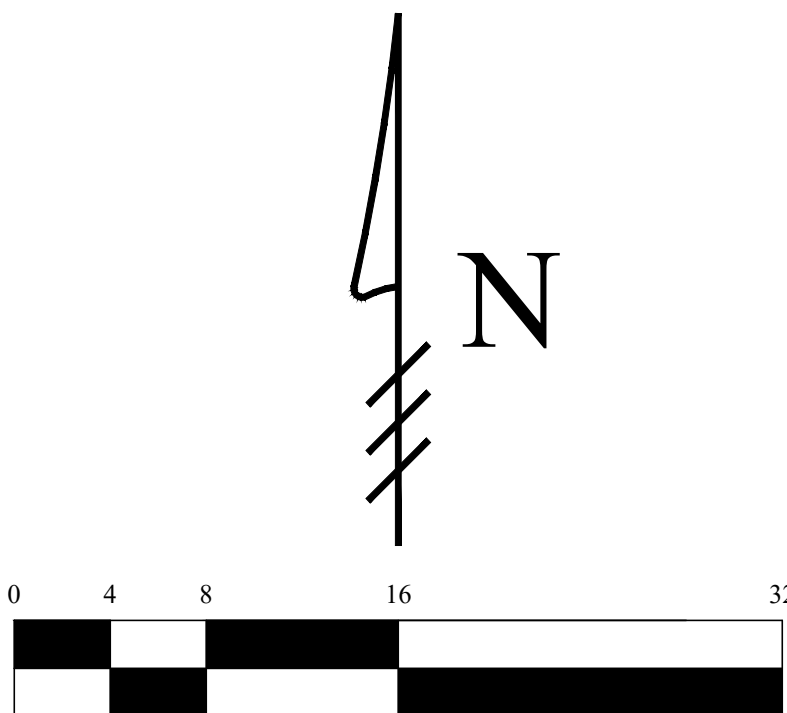
C-1



Location Map
N.T.S.

Legend

- EXISTING ELEVATION PER MILLER LAND SURVEYING (NGVD-29)
- PROPOSED ELEVATION (NGVD-29)
- PROPOSED ELEVATION CONTOUR (NGVD-29)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

Record Drawing

THIS RECORD DRAWING IS A COMPILED REPRESENTATION OF A COPY OF THE SEALED ENGINEERING OR SURVEYING DRAWING APPROVED FOR THIS PROJECT, MODIFIED BY ADDENDA, CHANGE ORDERS, AND INFORMATION FURNISHED BY OTHERS. THE INFORMATION SHOWN ON THE RECORD DRAWINGS IS, TO THE BEST OF OUR KNOWLEDGE CORRECT BASED ON OBSERVATIONS PERFORMED DURING CONSTRUCTION AND OTHER INFORMATION.

- | | | |
|---|----------|---|
| 1 | 08/17/16 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 2 | 11/16/16 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 3 | 02/05/19 | INDICATE EX. WALL ALONG SOUTH PROPERTY LINE TO BE LOWERED |
| 4 | 10/07/19 | UPDATE PLAN TO REFLECT AS-BUILT DRAINAGE SYSTEM CONFIGURATION |

Plan Background from Site Plan by
SKA Architect + Planner Received 11/14/16
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STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 6,150 sq.ft.

Drainage Area Impervious Surface
(existing driveway) = 3,445 sq.ft.

Drainage Area Pervious Surface = 2,705 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$) where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 3,445 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 574 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 2,705 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 90 \text{ cu.ft.}$

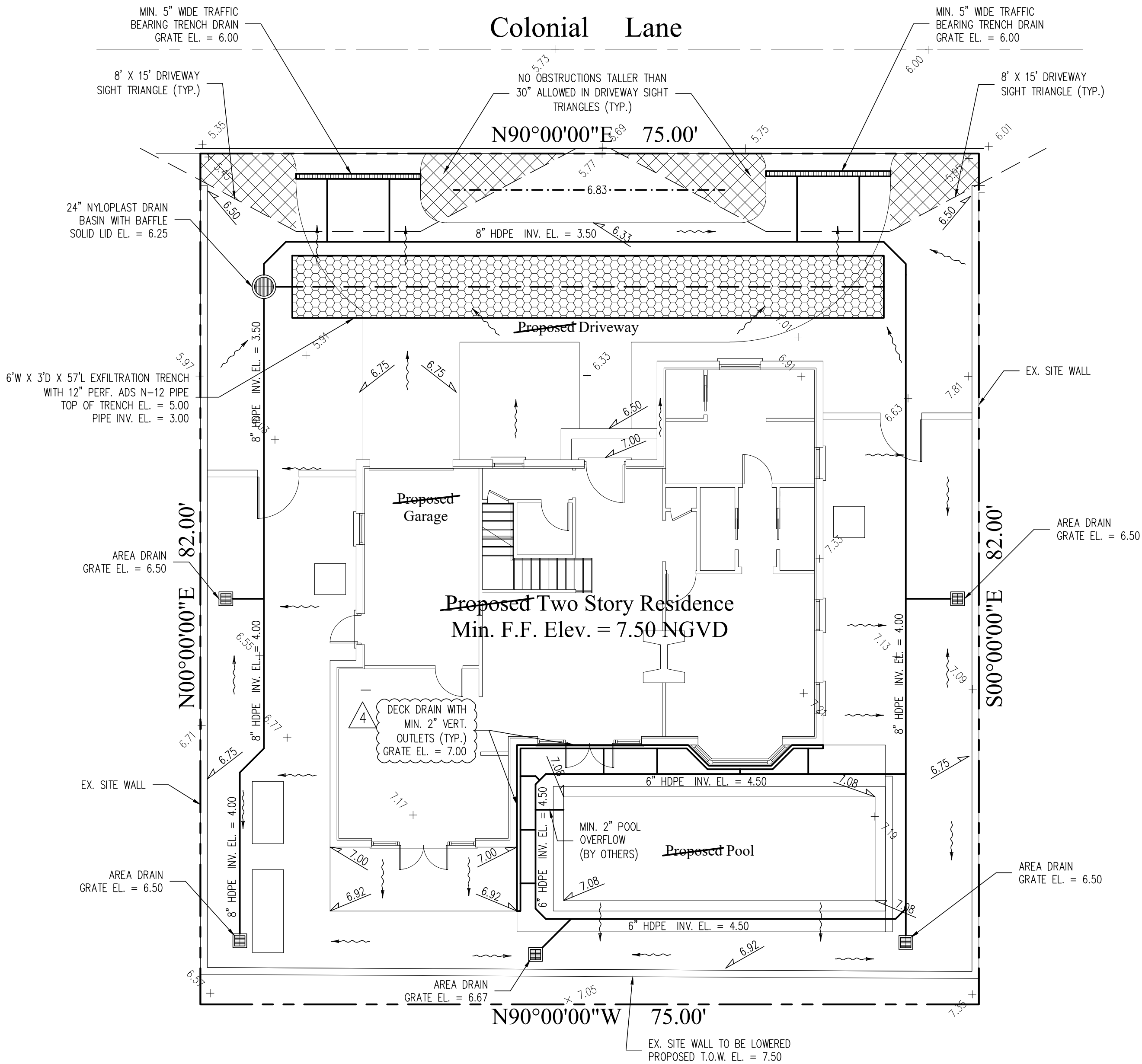
Total Volume to be Retained = 665 cu.ft.

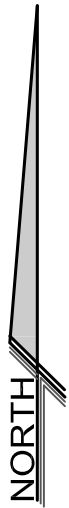
C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	57	ft
W	=	Trench Width	=	6	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	3.00	ft
DU	=	Un-Saturated Trench Depth	=	2.00	ft
DS	=	Saturated Trench Depth	=	1.00	ft
V	=	Volume Treated	=	676	cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.





DESCRIPTION:

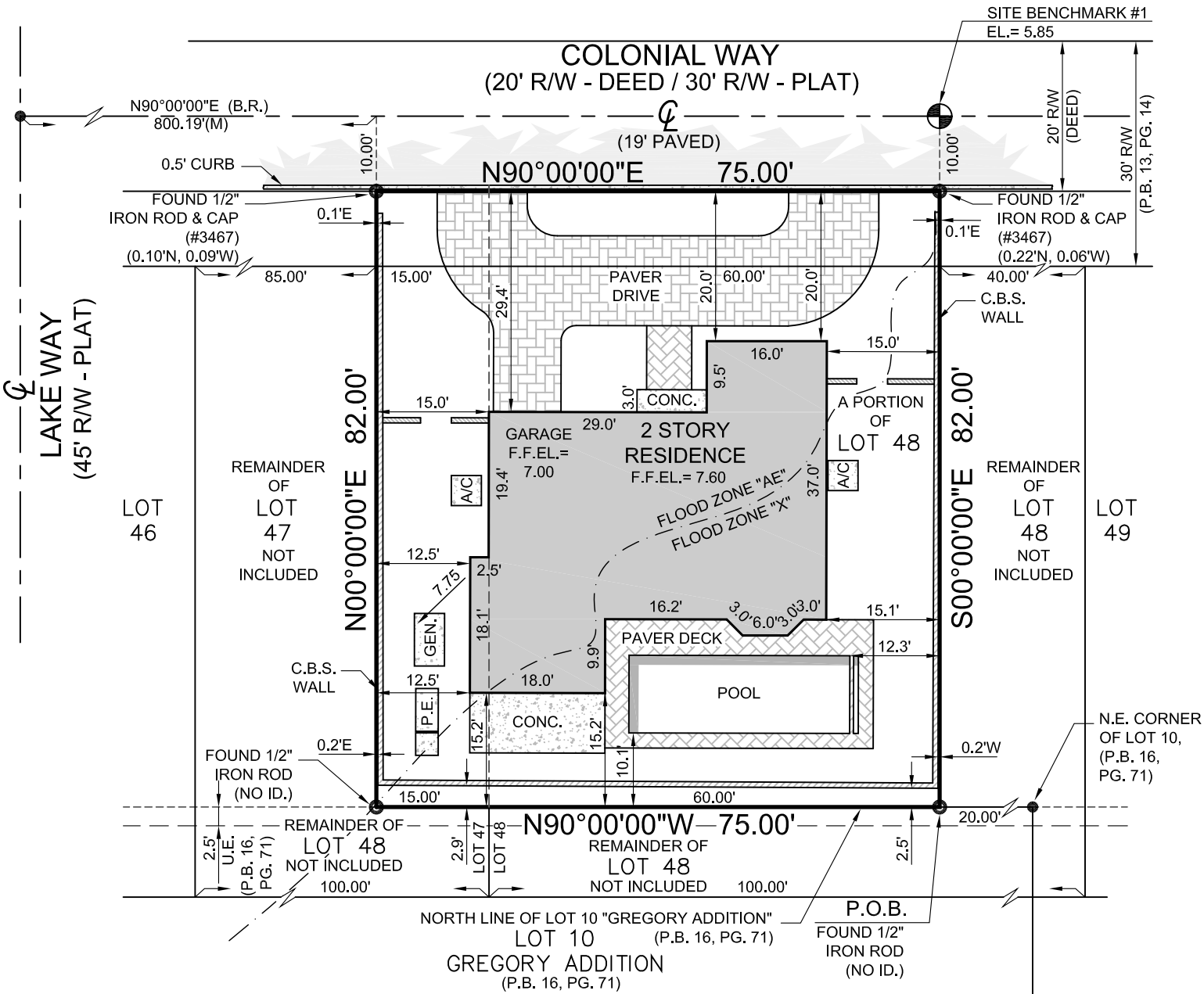
ALL THAT TRACT OR PARCEL OF LAND BEGINNING AT A POINT, WHICH POINT IS 20 FEET WESTERLY FROM THE NORTHEAST CORNER OF LOT 10, AS SHOWN ON THE PLAT OF GREGORY ADDITION TO THE TOWN OF PALM BEACH FLORIDA, ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 16, PAGE 71; AND WHICH POINT IS IN THE NORTHERLY LINE OF SAID LOT 10 OF GREGORY ADDITION; THENCE IN A WESTERLY DIRECTION ALONG THE NORTHERLY LINE OF SAID LOT 10 FOR A DISTANCE OF 75 FEET TO A POINT; THENCE AT RIGHT ANGLES, RUNNING IN A NORTHERLY DIRECTION, FOR A DISTANCE OF 82 FEET TO A POINT IN THE SOUTH LINE OF COLONIAL LANE; THENCE ALONG THE SOUTH LINE OF COLONIAL LANE IN AN EASTERLY DIRECTION FOR A DISTANCE OF 75 FEET; THENCE IN A SOUTHERLY DIRECTION FOR A DISTANCE OF 82 FEET TO A POINT OF BEGINNING; BEING A PART OF THE PROPERTY CONVEYED BY JOSEPH I. RISDEN TO JOHN C. GREGORY IN DEED DATED NOVEMBER 19, 1935, IN DEED BOOK 518, AT PAGE 540. BEING ALSO DESCRIBED AS THE EAST 15 FEET OF LOT 47 AND THE WEST 60 FEET OF LOT 48, (LESS THE SOUTH 12 FEET THEREOF) AND A 10 FOOT STRIP ADJOINING THERETO ON THE NORTH, AS SHOWN ON THE PLAT OF EL ENCANTO PLAT NO. 2, RECORDED IN PLAT BOOK 13, PAGE 14, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS.

SURVEY NOTES:

- Lands shown hereon reflect all pertinent easements and/or rights of way contained in Owners Title Insurance Policy by Law Office of John D. O'Neill, as agent for Commonwealth Land Title Insurance Company, Policy No. FL 1248-81-4069469-2013.8130609.88247701, dated November 2, 2012 @ 4:18 PM
- Elevations shown hereon are based on **National Geodetic Vertical Datum of 1929 (NGVD 29)**. To convert to NAVD 88, subtract 1.50' from the NGVD 29 elevation.
 - Originating benchmark = (ref. BB-20, pg. 24)
 -  = existing elevation (**NGVD 29 typical**).
- No underground improvements located.
- All bearings and distances shown hereon are plat and measured unless otherwise noted.
- This firms "Certificate of Authorization" number is "LB 6838".

LEGEND:

CALC.	= CALCULATED	(P)	= PLAT	P.I.	= POINT OF INTERSECTION		= ASPHALT PAVEMENT
C.B.S.	= CONCRETE BLOCK STRUCTURE	R	= RADIUS	P.O.C.	= POINT OF COMMENCEMENT		= CONCRETE FLATWORK
CONC. MON.	= CONCRETE MONUMENT	Δ	= CENTRAL "DELTA" ANGLE	P.O.B.	= POINT OF BEGINNING		= PAVER BRICK FLATWORK
CONC.	= CONCRETE	L	= ARC LENGTH	R/W	= RIGHT OF WAY		= WOOD POWER POLE
D.E.	= DRAINAGE EASEMENT	CH.B.	= CHORD BEARING		= CHAIN LINK FENCE		= WATER METER
U.E.	= UTILITY EASEMENT	N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM		= WOOD FENCE		= FIRE HYDRANT
P.E.	= POOL EQUIPMENT	O.R.B.	= OFFICIAL RECORD BOOK		= METAL FENCE		= CATCH BASIN
F.F.E.L.	= FINISHED FLOOR ELEVATION	P.B.	= PLAT BOOK		= CENTERLINE		= SANITARY MANHOLE
EL.	= ELEVATION	P.C.	= POINT OF CURVATURE		= EASEMENT		
(B.R.)	= BEARING REFERENCE	P.T.	= POINT OF TANGENCY		= COVERED		
(D)	= DEED	P.R.C.	= POINT OF REVERSE CURVATURE		= OVERHEAD LINES		
(M)	= MEASURED	P.C.C.	= POINT OF COMPOUND CURVATURE		= LOT TIE		



SITE SPECIFIC LEGEND:
(NF) = NO FOUNDATION

REVISIONS:

12/18/2019	remove pool pump pad on south line

CERTIFIED TO: SKIK, LLC.; Citibank, N.A., its successors and/or assigns as their interest may appear; John D. O'Neill, P.A.; Commonwealth Land Title Insurance Company
PROPERTY ADDRESS: 232 Colonial Lane, Palm Beach, FL 33480
FLOOD ZONE: AE (FIRM 120220 - 12099C0393F 10/5/2017)

FINAL ASBUILT SURVEY

This survey is not valid without embossed surveyor's seal and/or an authenticated electronic signature and authenticated electronic seal.


Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034

CRD. FILE NA

SCALE:	1" = 20'
DRAWN BY:	PICARD (C)
FIELD WK:	M.M. / B.M.
DATE:	09/26/2019

MILLER LAND SURVEYING
1121 LAKE AVENUE
LAKE WORTH, FLORIDA 33460
PHONE: (561) 586-2669 - FAX: (561) 582-0151
www.millersurveying.com
e-mail: orders@millersurveying.com

REF:	BB20/24 Y34/5 R53/2 L94/33 R45/42 L95/71 Z19/53 B85/13
PREV. JOB NO'S.	Y120921 Y180127 Y160516 Y180168 Y160562 Y190422 Y170321 Y170626 Y170851 Y171021
JOB NO.	Y190770
	S - 46,332 - K